



**City of Fairhope  
Planning Commission Agenda  
5:00 PM  
Council Chambers  
March 6, 2023**

Sherry Sullivan  
*Mayor*

*Council Members*

Kevin G. Boone

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC  
*City Clerk*

Kimberly Creech  
*City Treasurer*

1. Call to Order
2. Approval of Minutes
  - Feb. 6, 2023
3. Consideration of Agenda Items

**A. UR 23.03** Request of C-Spire or an 11.52.11 Utility Review and approval of the proposed installation of approximately 9896 LF of buried fiber cable in the ROW starting near Twin Beech Rd. and continuing through the Summer Lake Subdivision.

**B. SD 23.01** Public hearing to consider the request of Robert J. and Renee A. Witt, for approval of North Lot Subdivision, a 2-lot minor subdivision. The property is approximately .59 acres and is located on the northeast corner of N. Bayview St. and Blakeney Ave.

**PPIN # 14416**

**C. SD 23.07** Public hearing to consider the request of the Applicant S.E. Civil, LLC., acting on behalf of the owner, Olde Towne Investments, LLC, for preliminary approval of Dragonfly Commons, a 7-unit multiple occupancy project. The property is approximately 1.09 acres and is located on the west side of Bishop Rd. just north of Gayfer Ave.

**PPIN # 383706**

**D. SD 23.08** Public hearing to consider the request of Dewberry Engineers, on behalf of the Owner, Live Oak Properties, LLC, for approval of Parker Place Subdivision, a 4-lot minor subdivision. The property is approximately 3.80 acres and is located on the Southeast corner of Parker Rd. and Main St.

**PPIN #: 11947**

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

[www.fairhopeal.gov](http://www.fairhopeal.gov)

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*City Treasurer*

**E. SD 23.09** Public hearing to consider the request from the City of Fairhope Planning and Zoning Department, to accept Resolution 2023-01 for proposed amendment changes to the City of Fairhope's Subdivision Regulations.

**F. ZC 23.02** Public hearing to consider the request of Applicants, Shannon Hesse and Ron Norton, acting on behalf of the owners, Margaret and James Smith, to rezone property from R-2, Medium Density Single-Family Residential District to R-1, Low Density Single-Family Residential District. The property is approximately 5.19 acres and is located east of Onyx Lane and north of Longleaf Lane.

**PPIN # 80716**

4. Old/New Business

- SD 21.23 Overland Ph II-Request of the Applicant, S.E. Civil, LLC., for an extension of 1 year to submit for final plat approval.
- SD 21.03 The Flats at East Bay-Request of the Applicant, S.E. Civil, LLC., for an extension of 1 year to submit for final MOP approval.

5. Adjourn

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The Planning Commission met Monday, February 6, 2023, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Rebecca Bryant, Vice-Chair; Art Dyas; Harry Kohler; John Worsham; Hollie MacKellar; Clarice Hall-Black; Erik Cortinas, Building Official; Jack Burrell, City Council Liaison; Hunter Simmons, Planning and Zoning Manager; Mike Jeffries, Development Services Manager; Michelle Melton, City Planner; Casey Potts, City Planner; and Chris Williams, City Attorney.

Absent: Lee Turner, Chairman.

Vice-Chairman Bryant called the meeting to order at 5:01 PM.

**Old/New Business:**

**Appointment of Planning Commission Secretary**

**Summary:**

Staff recommends Hunter Simmons be appointed as Planning Commission Secretary, in the interim, until the Planning Clerk position is filled.

**Motion:**

Erik Cortinas made a motion to appoint Hunter Simmons as Planning Commission Secretary.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Rebecca Bryant, Art Dyas, John Worsham, Harry Kohler, Clarice Hall-Black, Hollie MacKellar, Councilman Burrell, and Erik Cortinas.

NAY: None.

**SD 20.11 – Hilltop Subdivision, Phase II** – Request of the applicant, Jade Consulting, LLC, for an extension of 6 months to submit for final plat approval.

**Summary:**

Hunter Simmons, Planning and Zoning Director, presented the extension request. A one-year extension was already granted and construction has begun. Staff does not have an issue with granting the six (6)month extension for the Hilltop Subdivision, Phase II Final Plat.

Rebecca Bryant clarified that the extension request is in addition to the one (1) year already granted. Mr. Simmons confirmed.

Rebecca Bryant then requested information regarding typical extension timeframes. Mr. Simmons responded that once the project is under construction, a one (1) year extension is typical. Additional time has been granted in the past under specific circumstances. A full second-year extension is not typical. However, six (6) months falls into what staff has recommended in the past.

Motion:

John Worsham made a motion to grant a six (6) month extension of SD 20.11 Hilltop Subdivision, Phase II.

Clarice Hall-Black seconded the motion.

Councilman Burrell asked to discuss. Councilman Burrell asked if the applicant had been granted an extension request prior.

Mr. Simmons responded that the six (6) month extension request is the second extension request for the project, the first extension being for one (1) year. Mr. Simmons explained that the project was originally outside of the City of Fairhope City Limits and later was annexed and zoned PUD, which created some delays for the project.

The motion carried unanimously with the following vote:

AYE: Rebecca Bryant, Art Dyas, John Worsham, Harry Kohler, Clarice Hall-Black, Hollie MacKellar, Councilman Burrell, and Erik Cortinas.

NAY: None.

**Approval of the Minutes January 5, 2023:**

Councilman Burrell made a motion to approve the minutes as presented from the January 5, 2023, meeting.

Art Dyas seconded the motion and the motion carried unanimously with the following vote:

AYE: Rebecca Bryant, Art Dyas, John Worsham, Harry Kohler, Clarice Hall-Black, Hollie MacKellar, Councilman Burrell, and Erik Cortinas.

NAY: None.

**Consideration of Agenda Items:**

**UR 23.02 Request of Mediacom for a Section 11.52.11 (Ala. Code) Utility Review and approval of the proposed underground installation of approximately 13,605 LF of fiber in the Twin Beech Estates & Live Oaks Subdivision.**

Summary:

Hunter Simmons presented on behalf of staff.

Recommendation:

Staff recommends approval of UR 23.02 subject to the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings. An additional right-of-way permit may be required for the potholing procedures.

4. Follow-up activities below required by staff and the applicant:
5. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps as needed.
6. Provide draft door hanger for approval at time of pre-construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (750ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

Motion:

Art Dyas made a motion to approve Case UR 23.02, the underground installation of approximately 13,605LF of fiber, subject to staff's recommendation.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Rebecca Bryant, Art Dyas, John Worsham, Harry Kohler, Clarice Hall-Black, Hollie MacKellar, Councilman Burrell, and Erik Cortinas.

NAY: None.

**ZC 23.01 Public hearing to consider the request of the Applicant, Kenneth Kleban, acting on behalf of the Owner, FST and Encounter Development, LLC, to establish an initial zoning of B-2, General Business District, concurrent with annexation into the City of Fairhope. The property is approximately 1.1 acres and is located near the northeast corner of State Highway 181 and State Highway 104. PPIN #77558**

Summary:

Casey Potts, City Planner presented on behalf of staff. Staff recommends approval of ZC 23.01.

Councilman Burrell asked if the historical significance of the site was known to the public. Mr. Simmons clarified that the subject parcel is not the filming location of the "Close Encounters of the Third Kind" movie. The filming site is located further north on US Hwy 181. Mr. Simmons also notes that the subject property appears to not have had a portion acquired by ALDOT, like adjacent properties.

Vice-Chair Bryant opened the public hearing. Having no one present to speak, the public hearing was closed.

Motion:

Art Dyas made a motion to recommend approval of Case ZC 23.01 to City Council.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Rebecca Bryant, Art Dyas, John Worsham, Harry Kohler, Clarice Hall-Black, Hollie MacKellar, Councilman Burrell, and Erik Cortinas.

NAY: None.

**SD 23.05 Public hearing to consider the request of the Applicant, Dewberry, acting on behalf of the Owner, North Hills at Fairhope, LLC for Final Plat Approval of North Hills, Phase 2, a 63-Lot Major Subdivision. The property is approximately 49.30 acres and is located north of State Highway 104, east of County Road 13, near the Waters Subdivision. PPIN #: 98367**

Summary:

Casey Potts presented the case summary, showing the site, plat, and drone footage. The remaining punch list items were discussed, specifically:

- Two (2) chimney seals and one (1) rain stopper have not been installed. The materials have been delivered to the contractor and installation is pending.
- All fire hydrant road markers have not been installed. An invoice has been provided.
- Aerator installation is pending the installation of power services. Invoice has been provided.

The applicant requested a waiver from the Preliminary Plat requirement of installing speed humps, per the approved design. The applicant proposes the installation of two (2) additional speed limit signs in lieu of the speed humps. The speed limit signs were ordered and would be installed promptly. Staff supports the waiver request.

Drone footage of the site was shown. Mr. Simmons clarified that the site is presently tidier than depicted in the footage.

Follow up activities are required by the applicant:

- Copy of the recorded plat. Final plat must be recorded within 120 days after the date of final approval.
- Copy of the recorded O&M agreement
- Maintenance and Guaranty (M&G) Agreement executed by the developer – the mayor signs this agreement to fully execute it

Sidewalks and street trees were installed with the Final Plat request. As such, a performance bond was not required.

Recommendation:

Staff recommends approval with the following conditions.

1. Installation of the remaining punch list items.
2. Complete required follow up activities.

Staff believes this is a good opportunity to amend the subdivision regulations in the future to address alternatives to speed humps, which are not favored by Public Works or Planning Staff due to ongoing maintenance issues. Existing traffic control measures are vague, which inhibits input in preliminary stages of design and review.

Mike Jeffries added that speed humps can be added to the development at a later date by City Council approval, if needed.

Vice-Chair Bryant opened the public hearing. Having no one present to speak, the public hearing was closed.

Rance Reehl, the developer, was present and spoke to the waiver request. He stated that discussions were had between the Right-of-Way Inspector and Planning Staff and the consensus was that the speed humps were not necessary. He clarified that, if the Commission required their installation, he would install the speed humps. He stated that speed limit signs will be added to regulate traffic in lieu of the speed humps.

Motion for Waiver Request:

Councilman Burrell agreed with Mr. Reehl's comments and made a motion to grant a waiver from installing the speed humps.

Art Dyas seconded the motion and the motion carried unanimously with the following vote:

AYE: Rebecca Bryant, Art Dyas, John Worsham, Harry Kohler, Clarice Hall-Black, Hollie MacKellar, Councilman Burrell, and Erik Cortinas.

NAY: None.

Motion for SD 23.05:

Erik Cortinas made a motion to approve Case SD 23.05. Mr. Simmons then clarified if the intent was to approve subject to staff conditions. Mr. Cortinas then amended the motion to approve subject to staff conditions.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Rebecca Bryant, Art Dyas, John Worsham, Harry Kohler, Clarice Hall-Black, Hollie MacKellar, Councilman Burrell, and Erik Cortinas.

NAY: None.

**SD 23.06 Public hearing to consider the request of the Applicant, S.E. Civil, acting on behalf of the Owner, 68V Overland Villas, LLC, for Final Plat Approval of Overland Townhomes, a 16-Unit Multiple Occupancy Project (MOP). The property is approximately 2.42 acres and is located on the south side of County Road 48, east of the River Mill Subdivision. PPIN #: 43640**

Summary:

Michelle Melton presented the case summary, showing the site, plat, and drone footage. In order to close out the MOP, the Applicant will need to complete the following "Follow Up Requirements of Applicant":

1. Provide Maintenance Bond and Agreement for utilities being accepted by the City of Fairhope. Be sure to include a clear exhibit of what is being accepted.
2. Provide a copy of the recorded O&M Agreement.
3. Record a copy of the As-Built Site Plan with corrected "Property Zoning" as "PUD" in the site data table. (Labeled MOP Site Plan in Applicant submittals)
4. A specific note on the recorded As-Built Site Plan pursuant to Subdivision Regulations, Art. V, Section F(3)(d)(4). *"A property owners association (POA) is required to be formed. The POA is required to maintain any and all storm water facilities and structures located outside the publicly accepted right-of-way."*

5. A specific note on the recorded As-Built Site Plan stating the following:

*“The internal right-of-ways, roads, easements and drainage facilities are private and will be maintained by the POA. The internal right-of-ways, roads, easements and drainage facilities will not be maintained by the City of Fairhope. If individual lots, sites, units, etc. are to be sold, the developer/owner shall be required to meet the current City of Fairhope Subdivision Regulations in effect at that time, and the property shall be brought into compliance with those regulations prior to such sale or attempted sale.”*

Recommendation:

Staff recommends approval with the following conditions.

1. Install fencing for safety around pond.
2. Complete the aforementioned “Follow Up Requirements of Applicant”

Mrs. Bryant expressed her disappointment that the fence alters the greenspace applicability of the pond. She states that this case presents an opportunity for greenspace regulation changes in the future.

Vice-Chair Bryant opened the public hearing. Having no one present to speak, the public hearing was closed.

Larry Smith, engineer, was present and elected to speak to the project. He stated that the pond is lined with bentonite clay, which will keep it from infiltrating. The pond is able to keep a static water level. He stated the confusion probably stemmed from pumping the water level down to make repair to a mitered in section that was not poured and then inspecting the repair. The pond is tied to irrigation to maintain a static water level.

Motion:

Mr. Simmons requested to clarify the conditions recommended by staff. He recommended removal of condition #1 from the recommendation, since the applicant has addressed this item.

John Worsham made a motion to approve Case SD 23.06 subject to Condition #2, the completion of the aforementioned “Follow Up Requirements of Applicant.”

Art Dyas seconded the motion.

Jack Burrell requested to discuss the application further. He questioned whether removing the fence condition of approval would remove the requirement to have a fence installed in perpetuity.

Mr. Smith offered to add a note on the MOP as-builts that fencing shall be required.

John Worsham amended his motion to approve with the following conditions:

1. Complete the aforementioned “Follow Up Requirements of Applicant.”
2. Adding the fencing around the pond on the as-built drawings.

Art Dyas seconded the motion and the motion carried unanimously with the following vote:



AYE: Rebecca Bryant, Art Dyas, John Worsham, Harry Kohler, Clarice Hall-Black, Hollie MacKellar, Councilman Burrell, and Erik Cortinas.

NAY: None.

**SD 22.30 Public hearing to consider the request of the City of Fairhope's Planning and Zoning Department, to accept Resolution 2022-06 for various proposed amendments to the City of Fairhope's Subdivision Regulations**

Summary:

Hunter Simmons presented the proposed Subdivision Regulation amendment. He stated that the majority of the changes are due to the change in enforcement of the Subdivision Regulations in the Extra-Territorial Jurisdiction that were approved by Planning Commission in December 2022. The definition and responsibility of the Subdivider, Contractor, and other parties are also clarified in the amendment.

Mr. Simmons noted that a modification was made to the proposed Subdivision Regulations amendment proposed with the Staff Report. As presented at the meeting, Article V, Section C of the Subdivision Regulations was revised to address the impact of County maintained rights-of-way on development within the City Limits.

Erik Cortinas requested that the definition of "flood insurance study" in Article II be amended to state "current Flood Insurance Rate Map (FIRM) published for Fairhope, AL (#010006)" in lieu of "the floodways as identified or delineated in the Flood Insurance Study for Baldwin County, Alabama."

Motion:

Mr. Cortinas made a motion to approve the proposed Subdivision Regulations amendment subject to amending the definition of Floodway (a) in Article II to read "the floodways as identified or delineated in the current Flood Insurance Rate Map (FIRM) published for Fairhope, AL (#010006)" in lieu of "the floodways as identified or delineated in the Flood Insurance Study for Baldwin County, Alabama."

Clarice Hall-Black seconded the motion and the motion carried unanimously with the following vote:

AYE: Rebecca Bryant, Art Dyas, John Worsham, Harry Kohler, Clarice Hall-Black, Hollie MacKellar, Councilman Burrell, and Erik Cortinas.

NAY: None.

**Adjournment**

Rebecca Bryant made a motion to adjourn. Councilman Burrell seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Rebecca Bryant, Art Dyas, Harry Kohler, John Worsham, Hollie MacKellar, Erik Cortinas, and Councilman Burrell.

NAY: None.

Adjourned at 5:52 p.m.

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Lee Turner, Chairman

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Hunter Simmons, Interim  
Secretary



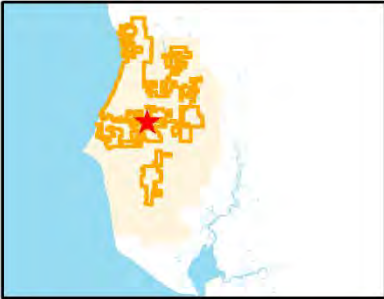
This digital package has been condensed for size and some documents may not contain all the original pages. All submittals were reviewed in full by staff in preparation for the reports prepared for the Planning Commission.

# City of Fairhope Planning Commission

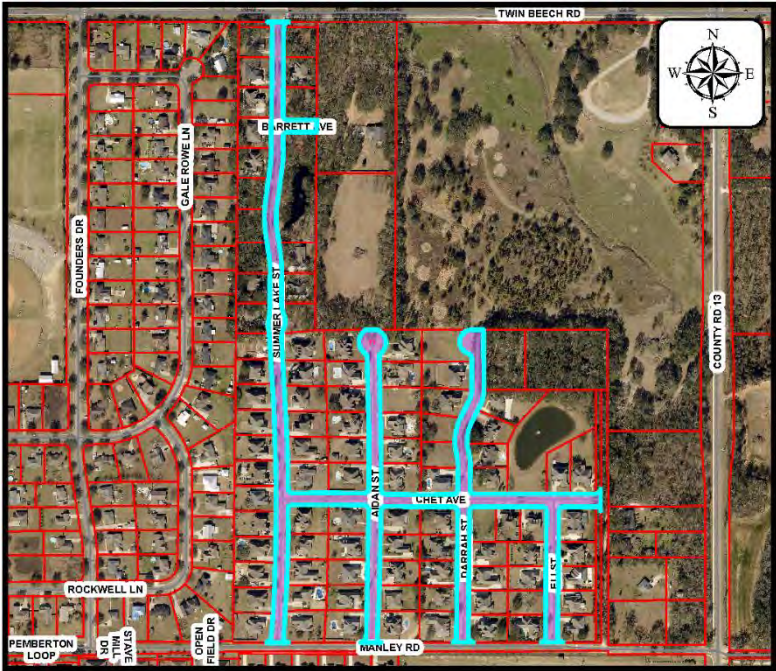
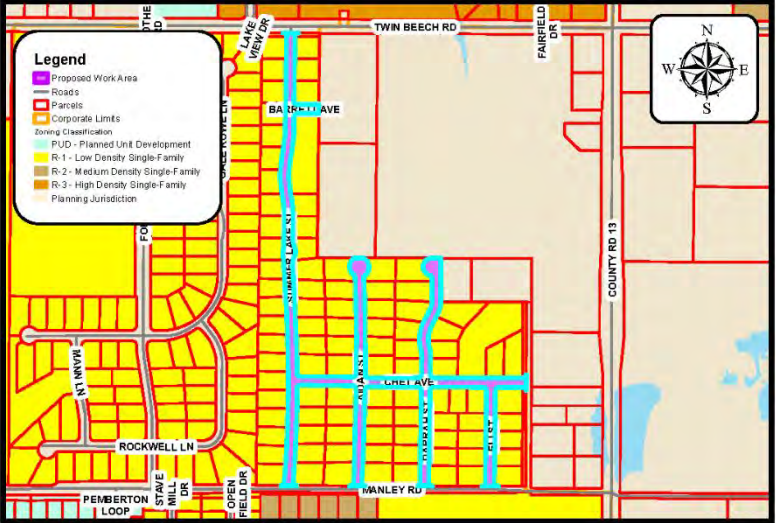
March 6, 2023



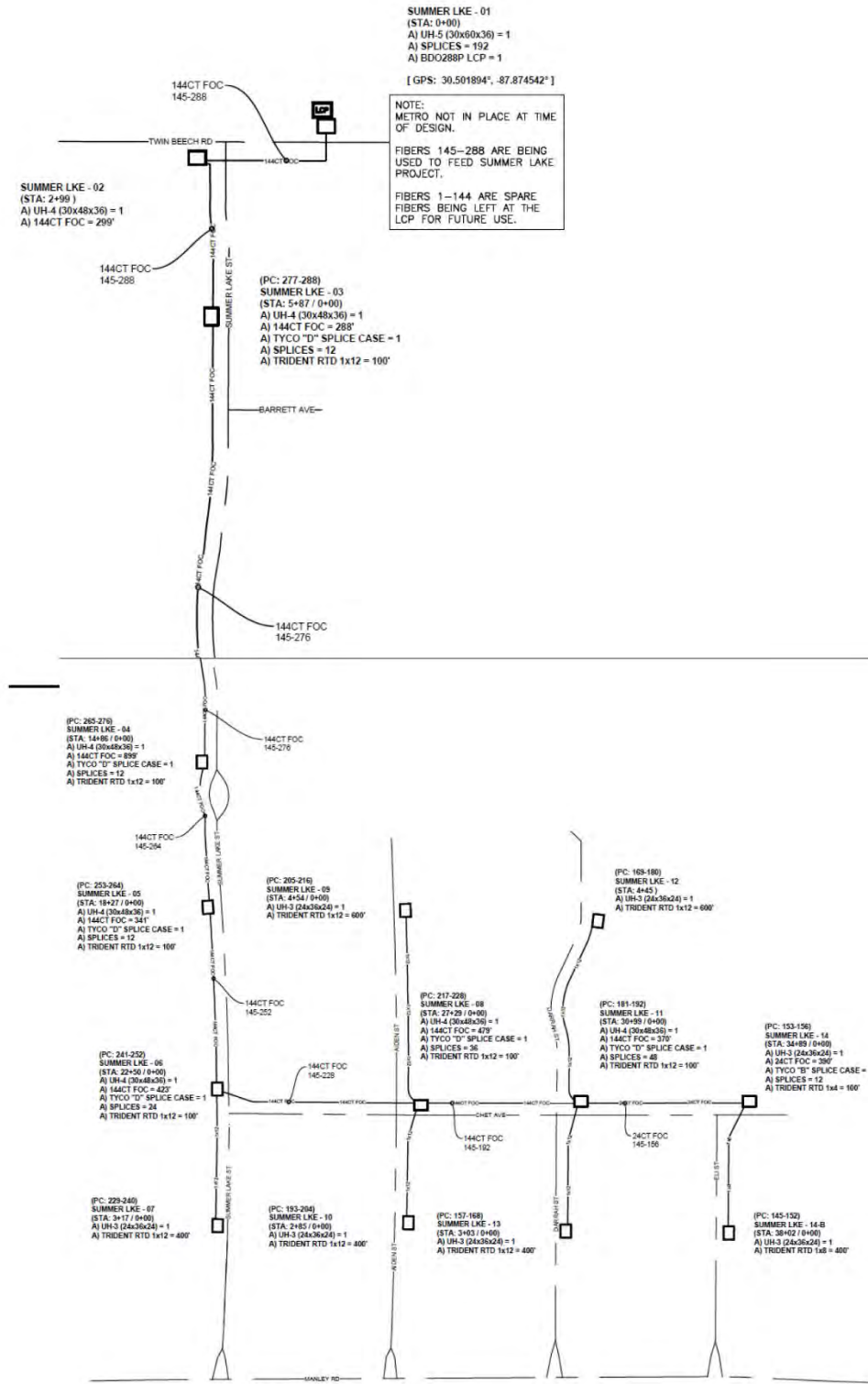
## UR 23.03 - C-Spire, Summer Lake



<b>Project Name:</b>	C-Spire Fiber Installation
<b>Site Data:</b>	6,700 Linear Feet
<b>Project Type:</b>	Fiber Installation
<b>Jurisdiction:</b>	Fairhope Planning Jurisdiction
<b>Zoning District:</b>	R-1
<b>PPIN Number:</b>	
<b>General Location:</b>	Summer Lake Subdivision, East of Boothe Rd on Twin Beech Rd
<b>Surveyor of Record:</b>	Delta Fiber
<b>Engineer of Record:</b>	Delta Fiber
<b>Owner / Developer:</b>	C-Spire
<b>School District:</b>	Fairhope Elementary School Fairhope Middle and High Schools
<b>Recommendation:</b>	Approved with Conditions
<b>Prepared by:</b>	Chris Ambron



**Summary of Request:** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately **6,700 linear feet of buried fiber** along routes outlined on the below location map.



## **1. Citizen Communication & Notification**

- Provide Door Hangers at preconstruction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

## **2. Permitting, Locating & Phasing**

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

## **3. Construction**

- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30".
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for \*excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not "publicly maintained" (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

#### **4. Horticultural**

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

#### **5. Erosion Control**

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.
- 

#### **6. Project Completion, Punch List Walk, & As Built**

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency.

## 7. Staff Recommendation

- The proposed utility construction falls within the corporate limits of the City of Fairhope. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.
- This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:
  - i. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
  - ii. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
  - iii. City of Fairhope Erosion and Sediment Control Ordinance (#1398).
  - iv. Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754)
  - v. City of Fairhope Tree and Landscape Ordinance (#1444)
- Staff Recommendation: **Approval with Conditions of UR 23.03**

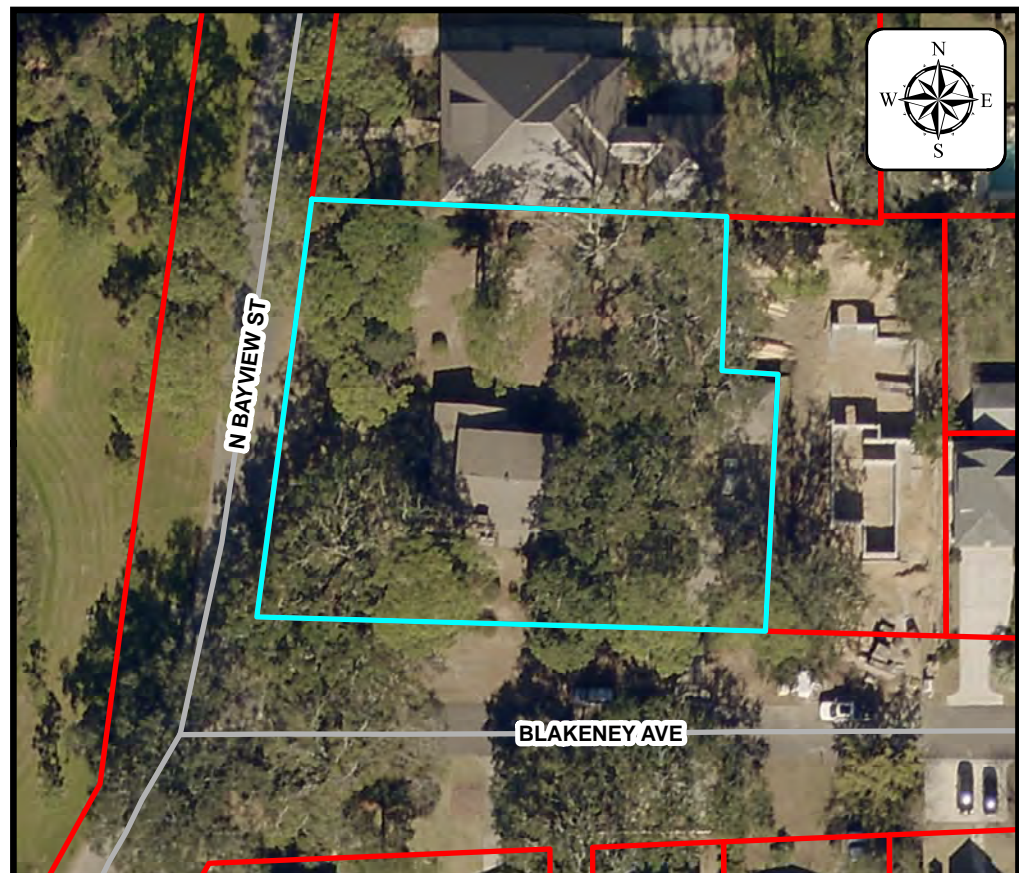
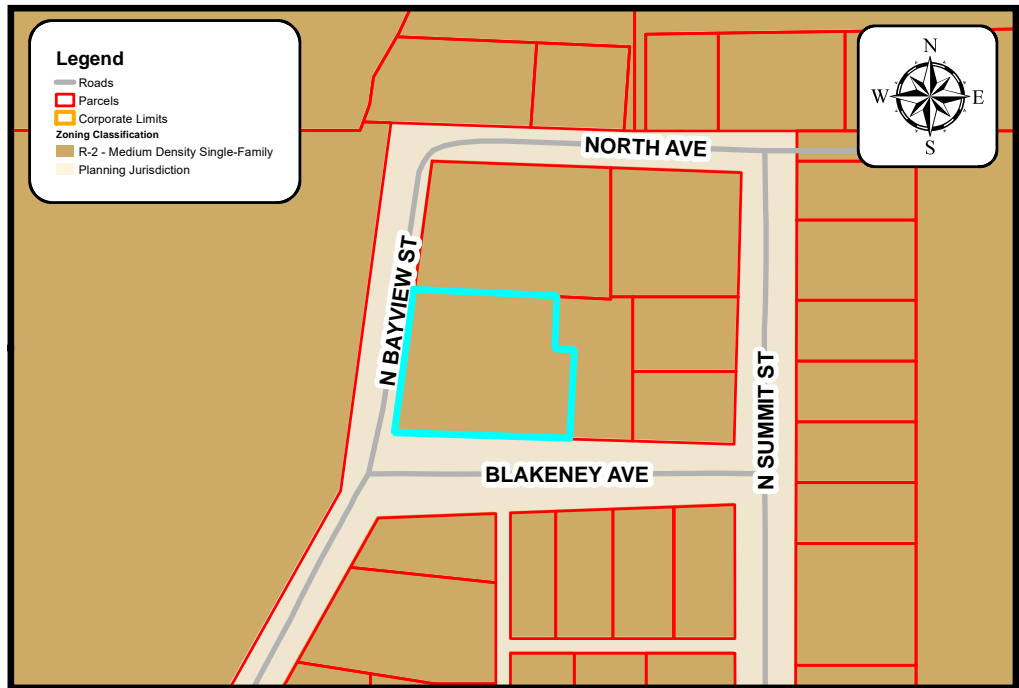
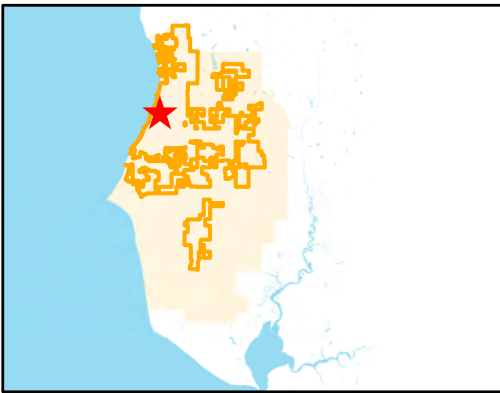


# City of Fairhope Planning Commission

January 5, 2023



## SD 23.01 - 350 N. Bayview



<b>Project Name:</b>	350 N. Bayview, Minor
<b>Site Data:</b>	0.59 acres
<b>Project Type:</b>	2-Lot Minor Subdivision
<b>Jurisdiction:</b>	Fairhope Planning Jurisdiction
<b>Zoning District:</b>	R-2
<b>PPIN Number:</b>	14416
<b>General Location:</b>	East side of North Bayview Street, North side of Blakeney Avenue
<b>Surveyor of Record:</b>	David Lowery Surveying, LLC
<b>Engineer of Record:</b>	N/A
<b>Owner / Developer:</b>	FST, Robert J. Witt & Renee Witt
<b>School District:</b>	Fairhope Elementary School Fairhope Middle and High Schools
<b>Recommendation:</b>	Approve with Conditions
<b>Prepared by:</b>	Mike Jeffries



**APPLICATION FOR SUBDIVISION PLAT APPROVAL**

Application Type:  Village Subdivision  Minor Subdivision  Informal (No Fee)  
 Preliminary Plat  Final Plat  Multiple Occupancy Project

Attachments:  Articles of Incorporation or List all associated investors  
Date of Application: \_\_\_\_\_

**Property Owner / Leaseholder Information**  
Name of Property Owner: Robert J. an Renee A. Witt Phone Number: 832-477-5455  
Address of Property Owner: 5280 Caroline St. #1013  
City: Houston State: TX Zip: 77004

Proposed Subdivision Name: North Lot Subdivision  
No. Acres in Plat: 0.59 acres No. Lots/Units: 2  
Parcel No: 05-46-03-37-0-005-0062.000 Current Zoning: R-2

**Authorized Agent Information**  
*Plat must be signed by the property owner before acceptance by the City of Fairhope*  
Name of Authorized Agent: N/A Phone Number: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Contact Person: \_\_\_\_\_

**Surveyor/Engineer Information**  
Name of Firm: David Lowery Surveying, LLC Phone Number: 251-937-2757  
Address: 55284 Martin Ln  
City: Stockton State: AL Zip: 36579  
Contact Person: David Lowery

Plat Fee Calculation:  
**Reference: Ordinance 1269**

Signatures:  
I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Robert J. and Renee A. Witt  
Property Owner/Leaseholder Printed Name Signature  
28 Oct 2022  
Date Fairhope Single Tax Corp. (If Applicable)

**Summary of Request:**

The owners and applicants are Robert J. and Renee A. Witt for the project. This application is for a 2-lot minor subdivision located on the northeast corner of N. Bayview St. and Blakeney Ave. Subject property is zoned R-2 and approximately .59 acres. The site data table is included below:

SITE DATA:

---

ZONING : R-2  
SETBACKS: (UNLESS SHOWN OTHERWISE)  
FRONT: 35'  
REAR: 35'  
SIDE: 10'  
SIDE ROAD: 20'

**General Comments:**

- All lots front on a publicly maintained road and meet the lot size requirements.

**Drainage Comments:**

- The property is vacant and existing flow patterns are not being changed.

**Utility Comments:**

- Electric, Water, Sewer, and Gas are provided by the City of Fairhope.
- Telephone is provided by AT&T
- Based off the flow model the applicant’s engineer has stated that installing an automatic fire sprinkler system meets the current ISO Fire Suppression Rating Schedule Paragraph 340 Exception 1. The city requires fire flow to meet International Fire Code and it does not.
- Currently state law prohibits Building Departments from requiring sprinkler systems in one-family or two-family dwellings.

**Connectivity:**

- Sidewalks do not exist along either of the existing roads adjacent to this subdivision. The Subdivision Regulations allow for the Planning Commission to allow for a 10’ sidewalk easement in lieu of installing sidewalks due to the absence of other sidewalks in the proximity to the subdivision. The applicant is asking for a waiver from installing sidewalks or providing an easement. Waiver requests are included in the Planning Commission packet. Staff does not support the waiver request. Staff is in support of an easement in place of the sidewalk as permitted by the subdivision regulations.

**Easements:**

- The applicant is asking for a waiver from providing the 15’ required drainage and utility easements along the property lines. Staff does not support the waiver request.

**Waiver Standards:**

1. An extraordinary hardship may result from strict compliance with these regulations due to unusual topographic or other physical conditions of the land or surrounding area not generally applicable to other land areas. **Does not Meet**
2. The condition is beyond the control of the sub-divider. **Does not Meet**
3. The requested waiver will not have the effect of nullifying the purpose and intent of the regulations, the Zoning Ordinance, or the Comprehensive Plan. **Does not Meet**
4. The waiver is the minimum deviation from the required standard necessary to relieve the hardship; **Does not Meet there is not a hardship.**
5. The waiver shall not have an adverse effect on adjacent landowners, or future landowners, or the public; **The waivers are for easements that can be used in the future.**
6. The waiver is necessary so that substantial justice is done. **Does not Meet**

**Additional comments:**

- Currently an accessory structure exists on the easterly side of the lot. The structure is currently non-conforming. Staff's recommendation is the new lot and structure need to be brought into conformance and the structure be removed. The structure will also be inside the drainage and utility easement without approval of the waiver request. The structure should have been removed at the same time the applicant chose to remove the house.

**Comments:**

The City of Fairhope Subdivision Regulations contain the following criteria in Article V.B.2. **Approval Standards.**

**"2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:**

**a. The proposed subdivision is not consistent with the City's Comprehensive Plan, and/or the City's Zoning ordinance, where applicable;**

- **Meets with removal of the accessory structure**

**b. The proposed subdivision is not consistent with the City's Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;**

- Meets

**c. The proposed subdivision is not consistent with these Regulations;**

- meets

**d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;**

- Meets

**e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City."**

- **Meets with removal of the accessory structure**

**Recommendation:**

Waiver Request for not providing sidewalks or sidewalk easement.

Staff **does not** support.

Waiver Request for not providing Utility or Drainage Easements.  
Staff **does not** support.

Staff recommends **approval** of SD 23.01 350 N. Bayview with the following conditions:

1. The accessory structure is removed.
2. The easements for utilities, drainage, and sidewalk are added to the plat.
3. A solution to the fire flow is reached between the City and owner.

# NORTH LOT SUBDIVISION

- NOTES**
- All bearings shown hereon are relative to GRID NORTH, GRID NORTH is obtained by G.P.S. observations.
  - Corner monuments shown as set upon pins are 5/8" reinforcing bars with a diameter grade as shown on drawing.
  - Only Staked Tied Interior Improvements shown hereon.
  - This survey was prepared for the client shown and is not to be used for any other purpose without prior approval from the surveyor.
  - No instruments of record reflecting easements, right of ways, and/or ownership were furnished this surveyor, except as shown or noted.
  - No underground installations or improvements have been located, except as shown or noted.
  - This survey was prepared without the benefit of an abstract of title or a title search unless stated hereon. No liability is assumed by the undersigned for loss relating to any matter that might be discovered by an abstract, title search, or legal judgment rendered on the property.
  - Liability of the undersigned for the survey shown shall not exceed the amount paid for the survey.

"NOTE"

- The finished floor elevation for each lot shall be a minimum of 15 inches above grade.
- Where an driveway is in the side, and extends past the front of the principal structure, the side setback shall be 15 feet. Driveways shall not be within 5 feet of the side set line. The area between the side set line and driveway shall be vegetated and remain permanent.

Description as surveyed  
Lots 1 & 2, the portion of the vacated alley East of and adjacent to aforementioned lots, a portion of Lot 10 in Block 5 of Division 3 of the Lands of the Fairhope Single Tax Colony as shown on the Plat of Record recorded in Map Book 1 on pages 330-321 in the Probate Records of Baldwin County, AL, all being more particularly described as follows:

Beginning at a SET 5/8" CAPPED REBAR at the SW corner of Lot 1 of Block 5, Division 3 of the Lands of the Fairhope Single Tax Colony in the City of Fairhope as recorded in Map Book 1 pages 330-321, and point being the intersection of the North R.O.W. of Bayview Ave and the East R.O.W. of North Bayview Street, thence S20°17'10"E, along the East R.O.W. of North Bayview Street a distance of 135.00 feet to a 1/2" CAPPED REBAR (GEO) at the NW corner of Lot 2 of said subdivision, thence S89°32'49"E along the North line of Lot 2 and its Eastern extension thereof a distance of 145.97 feet to a 1/2" CAPPED REBAR (SUDGERS), thence S00°02'24"W, a distance of 56.50 feet to a 1/2" REBAR, thence N89°32'49"E, a distance of 20.95 feet to a 1/2" REBAR, thence S00°11'13"W, a distance of 85.19 feet to a 1/2" CAPPED REBAR (COUNT) on the North R.O.W. of Bayview Ave, thence N89°32'49"W, along and North R.O.W. a distance of 105.76 feet to the POINT OF BEGINNING, said parcel containing 0.59 acres, more or less and is situated in Fractional Section 1.0 T-2-S-R-2-E Baldwin County AL.

RECORD DESCRIPTION  
Lots 1 & 2 and, subject to a easement to the City for electric and water lines, that portion of the platred area, and a part of Lot 10 enclosed by the following: begin at the SE corner of Lot 1, thence East to a point 36.62 feet West of the SE corner of Lot 10, thence North 95.25 feet, West 21 feet, North 56.55 feet more or less to the extended North line of Lot 2, West to the NE corner of Lot 2 and Southeast to the Point of Beginning, Block 5, Division 3, of the land of the town in the City of Fairhope, Alabama as per a Plat thereof recorded September 13, 1911 and Council Action February 7, 1952.

ELEVATIONS SHOWN HEREON ARE RELATIVE TO NAVD 1988  
CONTOURS ARE FROM COUNTY LIDAR.

ZONING: R-2  
Parcel Number: 05-46-03-37-0-005-064 500  
PIN: 14532  
Owner Name: FAIRHOPE, CITY OF  
Address: P O DRAWER 428  
City: FAIRHOPE  
State: AL  
Zip: 36533

**CERTIFICATE OF APPROVAL BY FAIRHOPE GAS**

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE GAS, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, AL.

THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

**CERTIFICATE OF APPROVAL BY FAIRHOPE WATER & SEWER**

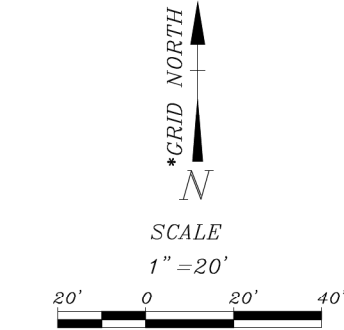
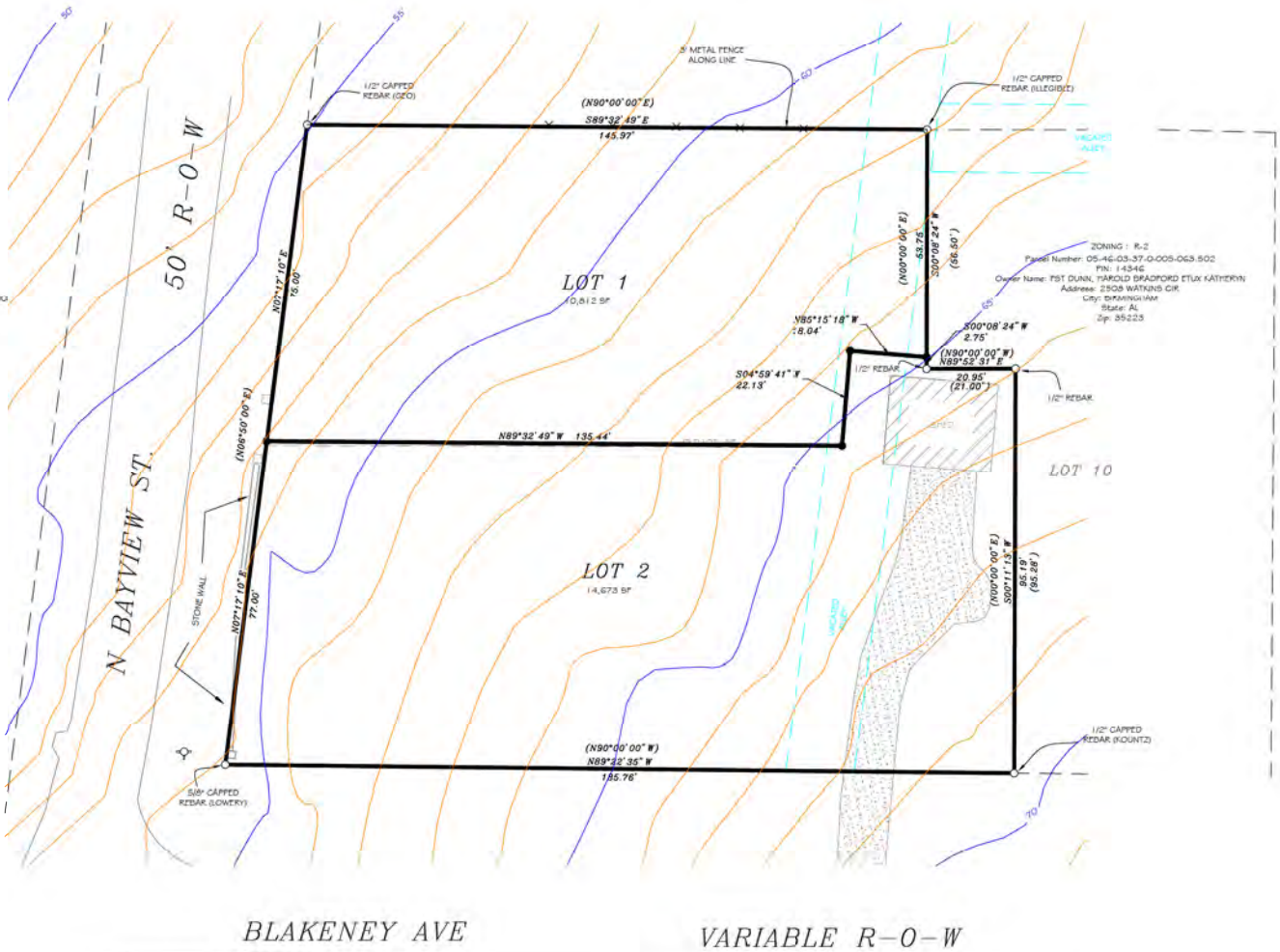
THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE WATER & SEWER, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, AL.

THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

**CERTIFICATE OF APPROVAL BY FAIRHOPE POWER**

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE POWER, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, AL.

THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_



THIS PARCEL IS ZONED R-2  
MEDIUM DENSITY SINGLE FAMILY.

ZONING: R-2  
Parcel Number: 05-46-03-37-0-005-064 501  
PIN: 14512  
Owner Name: FST AND CLAY, RICHARD L  
Address: 301 POKERS AVE NE STE 301  
City: HUNTSVILLE  
State: AL  
Zip: 35801

ZONING: R-2  
Parcel Number: 05-46-03-37-0-005-064 511  
PIN: 14538  
Owner Name: FST AND MCLAUGHLIN, CAROLYN T  
Address: 100 BLAKENEY AVE  
City: FAIRHOPE  
State: AL  
Zip: 36532

ZONING: R-2  
Parcel Number: 05-46-03-37-0-005-064 510  
PIN: 14443  
Owner Name: FST AND DE GUTZ, DONALD M ETAL DE GUTZ, COLE AND TEN A  
Address: 110 BLAKENEY AVE  
City: FAIRHOPE  
State: AL  
Zip: 36532

PRELIMINARY-FINAL PLAT  
PREPARED FOR  
**BOB WRITT  
BALDWIN CO., AL.**

**DAVID LOWERY  
SURVEYING, L.L.C.**

55284 MARTIN LN.  
STOCKTON, AL 36579  
251-937-2757 ph. 251-937-2756 fax  
dsurvey25@hotmail.com

- LEGEND AND SYMBOLS**
- (M) RECORD BEARING/DISTANCE
  - (O) OVERHEAD ELECTRIC
  - (●) SET IRON PIN
  - (○) FOUND IRON PIN
  - (△) PIN NOT SET
  - (P.O.C.) POINT OF COMMENCEMENT
  - (P.D.S.) POINT OF BEGINNING
  - (N) NOT TO SCALE
  - (- - -) FENCE
  - (■) FENCE CORNER POST
  - (■) CONCRETE MONUMENT

**SURVEYORS CERTIFICATION**  
I, David Lowery, a licensed land surveyor in the State of Alabama, do hereby certify that I have surveyed property shown hereon and all parts of this survey and that have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama, to the best of my knowledge, information, and belief.  
All according to my survey made this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_  
The certification on this Plat does not reflect any title search unless otherwise shown or noted hereon.

David Lowery P.L.S.  
No. License # 26623

**CERTIFICATION OF BALDWIN COUNTY E-9 | ADDRESSING**  
I, THE UNDERSIGNED, AS AUTHORIZED BY THE BALDWIN COUNTY E-9 | ADDRESSING BOARD, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING IN THE PROBATE RECORDS OF BALDWIN COUNTY, AL THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
BALDWIN COUNTY E-9 | ADDRESSING

**CERTIFICATION OF LEASEHOLDER AND DEDICATION**  
I, RENEE A WRITT, AS LEASEHOLDER OF THE LANDS EMBRACED IN THE WITHIN PLAT TO BE SURVEYED, Laid Out and Platted to be known as NORTH LOT SUBDIVISION, A PART OF SECTION 37, T-2-S, R-2-E, BALDWIN COUNTY, ALABAMA.

RENEE A WRITT DATE \_\_\_\_\_

CERTIFICATION BY NOTARY PUBLIC  
STATE OF ALABAMA  
COUNTY OF BALDWIN

I, \_\_\_\_\_ NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY RENEE A WRITT, AS THE LEASEHOLDER, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**CERTIFICATION OF LEASEHOLDER AND DEDICATION**

I, ROBERT J WRITT, AS LEASEHOLDER OF THE LANDS EMBRACED IN THE WITHIN PLAT TO BE SURVEYED, Laid Out and Platted to be known as NORTH LOT SUBDIVISION, A PART OF SECTION 37, T-2-S, R-2-E, BALDWIN COUNTY, ALABAMA.

ROBERT J WRITT DATE \_\_\_\_\_

CERTIFICATION BY NOTARY PUBLIC  
STATE OF ALABAMA  
COUNTY OF BALDWIN

I, \_\_\_\_\_ NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY ROBERT J WRITT, AS THE LEASEHOLDER, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**CERTIFICATION OF OWNERSHIP**

WE, THE FAIRHOPE SINGLE TAX CORPORATION, AN ALABAMA CORPORATION, HEREBY STATE THAT WE ARE THE OWNER OF THE LANDS DESCRIBED HEREON.  
WE, LEE TURNER AND REUBEN E. DAVIDSON, III, WHOSE NAMES AS PRESIDENT AND SECRETARY OF THE FAIRHOPE SINGLE TAX CORPORATION, DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME ABOVE UNDER THE DESIGN AND TITLE HEREON INDICATED.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

FAIRHOPE SINGLE TAX CORPORATION, AN ALABAMA CORPORATION

BY: \_\_\_\_\_  
LEE TURNER, ITS PRESIDENT

BY: \_\_\_\_\_  
REUBEN E. DAVIDSON, III, ITS SECRETARY

CERTIFICATION BY NOTARY PUBLIC  
STATE OF ALABAMA  
COUNTY OF BALDWIN

I, \_\_\_\_\_ NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY LEE TURNER AND REUBEN E. DAVIDSON, III, WHOSE NAMES AS PRESIDENT AND SECRETARY OF THE FAIRHOPE SINGLE TAX CORPORATION, WHOSE NAMES ARE SIGNED ABOVE AND WHO ARE KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THE ABOVE, THEY EXECUTED THE SAME VOLUNTARILY ON THE DAY THE SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**SITE DATA:**  
ZONING: R-2  
SETBACKS: (UNLESS SHOWN OTHERWISE)  
FRONT: 35'  
REAR: 35'  
SIDE: 10'  
SIDE ROAD: 20'  
**SEC 37-T6S-R2E**  
Parcel Number: 05-46-03-37-0-005-063 501  
PIN Number: 14416  
TOTAL # OF LOTS: 2  
TOTAL AREA: 28,485 SF  
**OWNER:**  
ROBERT J AND  
RENEE A WRITT  
PO BOX 163  
Summerfield, PA 17731  
PROPERTY LINES ARE IN THE CORPORATE LIMITS OF THE CITY OF FAIRHOPE



DAVID LOWERY SURVEYING LLC  
55284 MARTIN LN.  
STOCKTON, AL 36579  
DAVID LOWERY, PLS. LIC. NO. 26623

DAVID LOWERY SURVEYING, L.L.C.

# NORTH LOT SUBDIVISION

- NOTES**
- All bearings shown herein are relative to GRID NORTH, GRID NORTH was obtained by G.P.S. observations.
  - Corner monuments shown as set iron pins are 5/8" reinforcing bars with a diameter of 1/2" unless otherwise noted.
  - Only Standard Total Station Improvements shown herein.
  - This survey was prepared for the client shown and is not to be used for any other purpose without prior approval from the surveyor.
  - No instruments of record reflecting easements, right of ways, and/or ownership were furnished this surveyor, except as shown or noted.
  - No underground installations or improvements have been located, except as shown or noted.
  - This survey was prepared without the benefit of an abstract of title or a title search unless stated herein. No liability is assumed by the undersigned for loss relating to any matter that might be discovered by an abstract, title search, or legal judgment rendered on the property.
  - Liability of the undersigned for the survey shown shall not exceed the amount paid for the survey.

- "NOTES"**
- The finished floor elevation for each lot shall be a minimum of 15 inches above grade.
  - Where an driveway is in the side, and extends past the front of the principal structure, the side setback shall be 15 feet. Driveways shall not be within 3 feet of the side lot line. The area between the side lot line and driveway shall be vegetated and remain permeable.

Description as surveyed  
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**RECORD DESCRIPTION**  
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ELEVATIONS SHOWN HEREON ARE RELATIVE TO NAVD 1988  
 CONTOURS ARE FROM COUNTY LIDAR

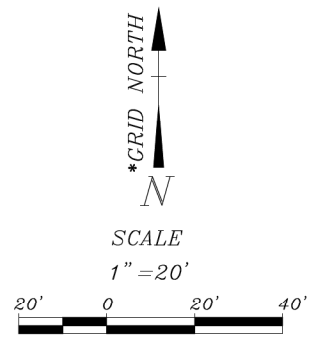
**CERTIFICATE OF APPROVAL BY FAIRHOPE GAS**  
 THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE GAS, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, AL  
 THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

**CERTIFICATE OF APPROVAL BY FAIRHOPE WATER & SEWER**  
 THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE WATER & SEWER, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, AL  
 THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

**CERTIFICATE OF APPROVAL BY FAIRHOPE POWER**  
 THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE POWER, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, AL  
 THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

ZONING: R-2  
 Parcel Number: 05-46-03-37-0-005-062 5000  
 PIN: 14320  
 Owner Name: FAIRHOPE, CITY OF  
 Address: P O DRAWER 429  
 City: FAIRHOPE  
 State: AL  
 Zip: 36533

ZONING: R-2  
 Parcel Number: 05-46-03-37-0-005-063 506  
 PIN: 14333  
 Owner Name: FST BRODERICK-GANTWELL, JONNETAL BRODER  
 Address: 356 BAYVIEW AVE N  
 City: FAIRHOPE  
 State: AL  
 Zip: 36532



THIS PARCEL IS ZONED R-2  
 MEDIUM DENSITY SINGLE FAMILY.

PRELIMINARY-FINAL PLAT  
 PREPARED FOR  
**BOB WRITT  
 BALDWIN CO., AL.**

**DAVID LOWERY  
 SURVEYING, L.L.C.**  
 55284 MARTIN LN.  
 STOCKTON, AL 36579  
 251-937-2757 ph. 251-937-2756 fax  
 dsurvey25@hotmail.com

**LEGEND AND SYMBOLS**

(M)	RECORD BEARING/DISTANCE
DE	OVERHEAD ELECTRIC
●	SET IRON PIN
○	FOUND IRON PIN
△	FIN NOT SET
P.O.C.	POINT OF COMMENCEMENT
P.D.S.	POINT OF BEGINNING
~	NOT TO SCALE
-X-	FENCE
■	FENCE CORNER POST
■	CONCRETE MONUMENT

**SURVEYORS CERTIFICATION**  
 I, David Lowery, a licensed land surveyor in the State of Alabama, do hereby certify that I have surveyed property shown herein and all parts of this survey and that have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama, to the best of my knowledge, information, and belief.  
 All according to my survey made this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.  
 The certification on this Plat does not reflect any title search unless otherwise shown or noted herein.  
 David Lowery P.L.S.  
 Ala. License # 26623

ZONING: R-2  
 Parcel Number: 05-46-03-37-0-005-064 501  
 PIN: 14312  
 Owner Name: FST AND CLAY, RICHARD L  
 Address: 301 POKERS AVE NE SITE 301  
 City: PRATTSVILLE  
 State: AL  
 Zip: 36051

ZONING: R-2  
 Parcel Number: 05-46-03-37-0-005-064 511  
 PIN: 14338  
 Owner Name: FST AND MCLAUGHLIN, CAROLYN T  
 Address: 100 BLAKENEY AVE  
 City: FAIRHOPE  
 State: AL  
 Zip: 36532

ZONING: R-2  
 Parcel Number: 05-46-03-37-0-005-064 510  
 PIN: 14443  
 Owner Name: FST AND DE GUTZ, DONALD M ETAL DE GUTZ, COOL  
 AND TEN A  
 Address: 110 BLAKENEY AVE  
 City: FAIRHOPE  
 State: AL  
 Zip: 36532

**CERTIFICATION OF BALDWIN COUNTY E-9 | ADDRESSING**  
 I, THE UNDERSIGNED, AS AUTHORIZED BY THE BALDWIN COUNTY E-9 | ADDRESSING BOARD, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING IN THE PROBATE RECORDS OF BALDWIN COUNTY, AL THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.  
 BALDWIN COUNTY E-9 | ADDRESSING

**CERTIFICATION OF LEASEHOLDER AND DEDICATION**  
 I, RENEE A WRITT, AS LEASEHOLDER OF THE LANDS EMBRACED IN THE WITHIN PLAT TO BE SURVEYED, Laid OUT AND PLATTED TO BE KNOWN AS "NORTH LOT SUBDIVISION", A PART OF SECTION 37, T-2-S, R-2-E, BALDWIN COUNTY, ALABAMA.  
 RENEE A WRITT DATE \_\_\_\_\_  
 CERTIFICATION BY NOTARY PUBLIC  
 STATE OF ALABAMA  
 COUNTY OF BALDWIN

I, \_\_\_\_\_ NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY RENEE A WRITT, AS THE LEASEHOLDER, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.  
 GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.  
 NOTARY  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**CERTIFICATION OF LEASEHOLDER AND DEDICATION**  
 I, ROBERT J WRITT, AS LEASEHOLDER OF THE LANDS EMBRACED IN THE WITHIN PLAT TO BE SURVEYED, Laid OUT AND PLATTED TO BE KNOWN AS "NORTH LOT SUBDIVISION", A PART OF SECTION 37, T-2-S, R-2-E, BALDWIN COUNTY, ALABAMA.  
 ROBERT J WRITT DATE \_\_\_\_\_  
 CERTIFICATION BY NOTARY PUBLIC  
 STATE OF ALABAMA  
 COUNTY OF BALDWIN

I, \_\_\_\_\_ NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY ROBERT J WRITT, AS THE LEASEHOLDER, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.  
 GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.  
 NOTARY  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**CERTIFICATION OF OWNERSHIP**  
 WE, THE FAIRHOPE SINGLE TAX CORPORATION, AN ALABAMA CORPORATION, HEREBY STATE THAT WE ARE THE OWNER OF THE LANDS DESCRIBED HEREON.  
 WE, LEE TURNER AND REUBEN E. DAVIDSON, III, WHOSE NAMES AS PRESIDENT AND SECRETARY OF THE FAIRHOPE SINGLE TAX CORPORATION, DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME ABOVE UNDER THE DESIGN AND TITLE HEREON INDICATED.  
 BATED THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2021.  
 FAIRHOPE SINGLE TAX CORPORATION, AN ALABAMA CORPORATION

BY: \_\_\_\_\_  
 LEE TURNER, ITS PRESIDENT  
 BY: \_\_\_\_\_  
 REUBEN E. DAVIDSON, III, ITS SECRETARY

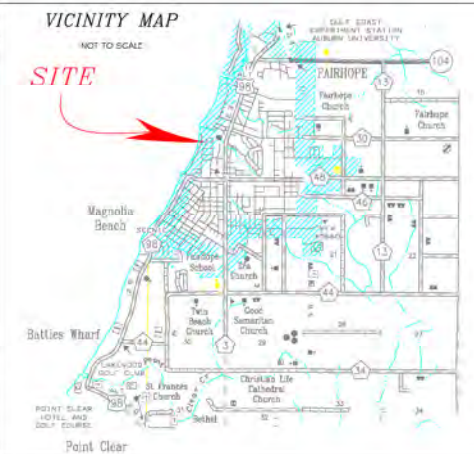
**CERTIFICATION BY NOTARY PUBLIC**  
 STATE OF ALABAMA  
 COUNTY OF BALDWIN

I, \_\_\_\_\_ NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY LEE TURNER AND REUBEN E. DAVIDSON, III, WHOSE NAMES AS PRESIDENT AND SECRETARY OF THE FAIRHOPE SINGLE TAX CORPORATION, WHOSE NAMES ARE SIGNED ABOVE AND WHO ARE KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THE ABOVE, THEY EXECUTED THE SAME VOLUNTARILY ON THE DAY THE SAME BEARS DATE.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.  
 NOTARY  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**SITE DATA:**

ZONING:	R-2
SETBACKS: (UNLESS SHOWN OTHERWISE)	
FRONT:	35'
REAR:	35'
SIDE:	10'
TOTAL AREA:	25,485 SF
OWNER:	
ROBERT J AND	
RENEA A WRITT	
PO BOX 163	
EAGLES MEZE, PA 17731	
PROPERTY LINES ARE IN THE CORPORATE	
LIMITS OF THE CITY OF FAIRHOPE	
NOTE:	
ANY AND ALL STRUCTURES ON THESE LOTS	
IS TO BE REMOVED OR DEMOLISHED AT A	
FUTURE DATE.	
DAVID LOWERY SURVEYING LLC	
55284 MARTIN LN.	
STOCKTON, AL 36579	
DAVID LOWERY, PLS. LIC. NO. 26623	



DAVID LOWERY SURVEYING, L.L.C.

# Robert J. Wrutt

5280 Caroline St #1013 • Houston, Texas USA 77004  
Phone: +1-832-477-5455 • E-Mail: bob.wrutt@icloud.com

17 February 2023

City of Fairhope  
Mr. Mike Jefferies  
555 S. Section Street  
Fairhope, AL 36533

Re: Your email dated 17 Feb 2023

Minor Subdivision – 350 N. Bayview Fairhope, AL 36532

Dear Mr. Jefferies,

Per your request, please find below the two waivers requested:

- 1) *The 15' utility and drainage easements need to be added to the rear and side lot lines.*

We are requesting a waiver for the 15' utility and drainage easements as they are unnecessary. Utilities are available along Blakeney and N. Bayview to service Lot 2 and along N. Bayview to service Lot 1. The adjacent parcels having existing homes and do not require utility access across Lots 1 & 2.

Drainage easements are also unnecessary for the lots for the following reasons:

- 1) The lots slope 7% from Southeast to Northwest (towards the bay).
  - 2) No standing water has been observed on the lots.
  - 3) GeoCon performed a geotechnical survey in April 2022 on the lot. Three core penetrations were performed at depths ranging 22-26'. Groundwater was not encountered at the depths tested. Underneath the 6" of topsoil are 5'-6' sandy soils are which are in a very loose to loose condition, providing good drainage.
  - 4) The elevation of the lots ranges from 69'-55' above sea level and are near the bluff above Mobile Bay.
- 2) *If requesting a waiver from the required sidewalks along the ROW's of Blakeney St. and N. Bayview St. you will need to provide a 10' sidewalk easement along the lot lines adjacent to the ROW's*

We respectfully contend a sidewalk easement is unnecessary on the lots as the Planning Department describes above. Under Article 2, Definitions of the Subdivision Regulations, the Right of Way is inclusive of the sidewalk and the "Sidewalk: [is] the portion of the right-of-way paved for the use as a walkway for pedestrians". The 50' Right of Ways along Blakeney and N. Bayview are adequate in width to accommodate future sidewalks per the Subdivision Regulations.

Please do not hesitate to contact me at 832-477-5455 or email me at [bob.wrutt@icloud.com](mailto:bob.wrutt@icloud.com) if you require any further information.

Sincerely,



Robert J. Wrutt

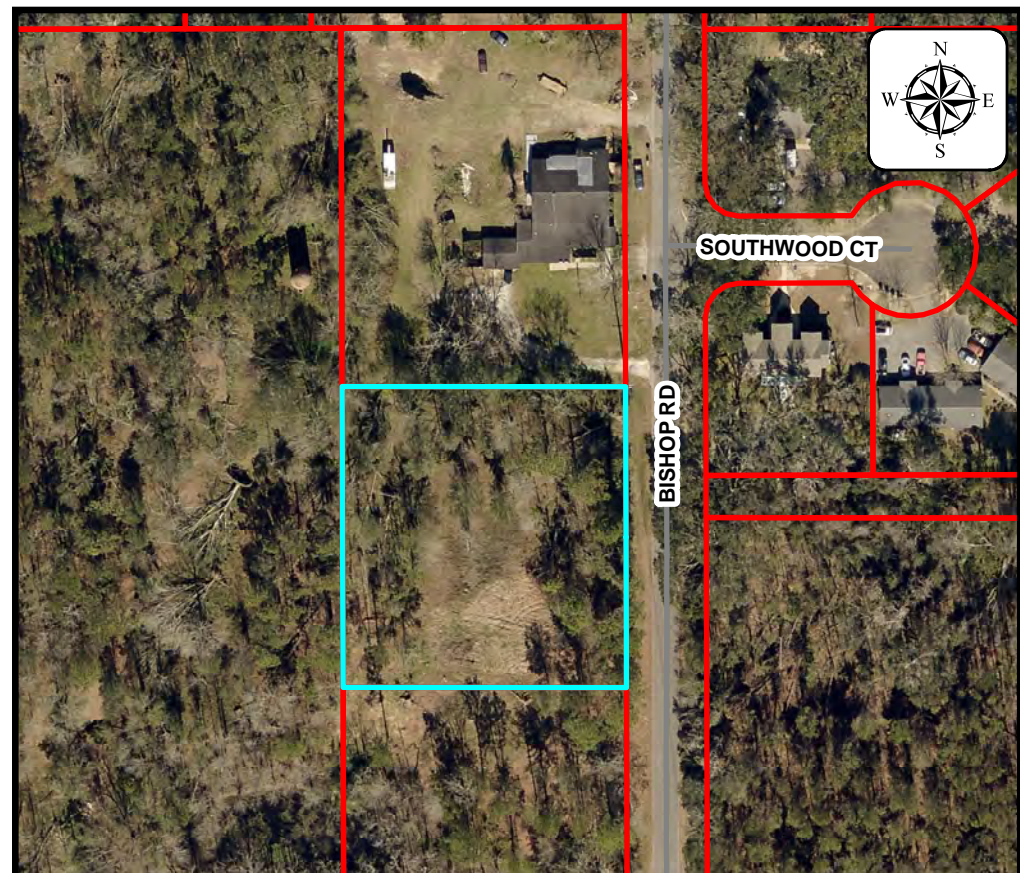
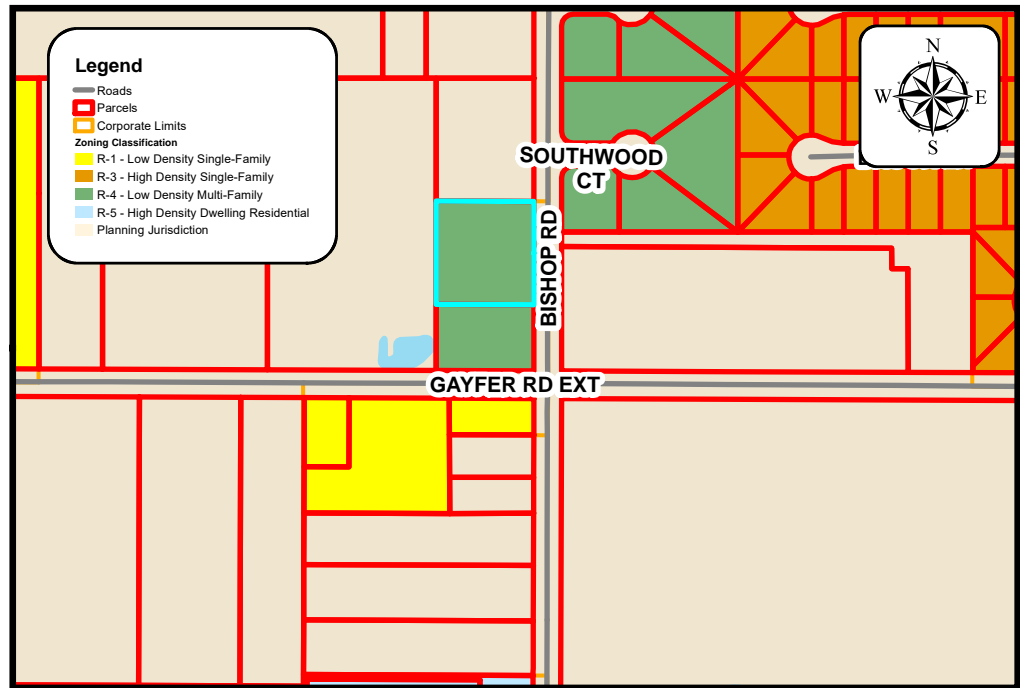
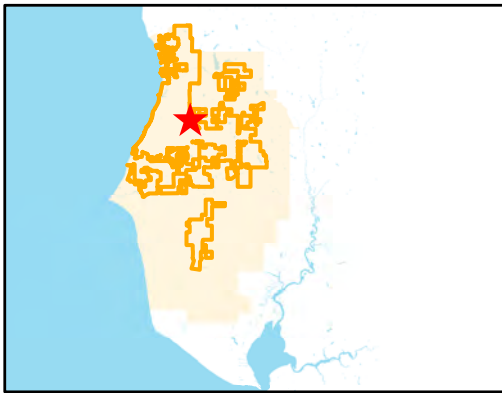


# City of Fairhope Planning Commission

March 6, 2023



## SD 23.07 - Dragonfly Commons MOP



<b>Project Name:</b>	Dragonfly Commons
<b>Site Data:</b>	1.086 acres
<b>Project Type:</b>	7-Unit Multiple Occupany Project
<b>Jurisdiction:</b>	Fairhope Planning Jurisdiction
<b>Zoning District:</b>	R-4
<b>PPIN Number:</b>	383706
<b>General Location:</b>	North side of Gayfer Road Ext, East side of Bishop Road
<b>Surveyor of Record:</b>	SE Civil, LLC
<b>Engineer of Record:</b>	SE Civil, LLC
<b>Owner / Developer:</b>	Old Towne Investments, LLC
<b>School District:</b>	Fairhope Elementary School Fairhope Middle and High Schools
<b>Recommendation:</b>	Approval
<b>Prepared by:</b>	Michelle Melton



**APPLICATION FOR SUBDIVISION PLAT APPROVAL**

Application Type:  Village Subdivision  Minor Subdivision  Informal (No Fee)  
 Preliminary Plat  Final Plat  Multiple Occupancy Project

Attachments:  Articles of Incorporation or List all associated investors  
Date of Application: January 24, 2023

**Property Owner / Leaseholder Information**  
Name of Property Owner: Old Towne Investments, LLC Phone Number: 251-990-9006  
Address of Property Owner: 2210 Main St STE C  
City: Daphne State: AL Zip: 36526

Proposed Subdivision Name: Dragonfly Commons No. \_\_\_\_\_  
Acres in Plat: 1.086 No. Lots/Units: 7  
Parcel No: 05-46-02-09-0-000-015.002 Current Zoning: R-4

**Authorized Agent Information**  
*Plat must be signed by the property owner before acceptance by the City of Fairhope*  
Name of Authorized Agent: SE Civil, LLC Phone Number: (251) 990-6566  
Address: 9969 Windmill Road  
City: Fairhope State: AL Zip: 36532  
Contact Person: Larry Smith, PE

**Surveyor/Engineer Information**  
Name of Firm: SE Civil, LLC Phone Number: (251) 990-6566  
Address: 9969 Windmill Road  
City: Fairhope State: AL Zip: 36532  
Contact Person: Larry Smith

Plat Fee Calculation:

**Reference: Ordinance 1269**

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

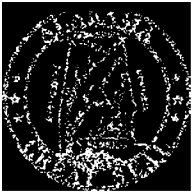
Geoff Lane as Manager  
Old Towne Investments LLC

Property Owner/Leaseholder Printed Name

Signature

1-23-2023  
Date

Fairhope Single Tax Corp. (If Applicable)



# STATE OF ALABAMA

## DOMESTIC LIMITED LIABILITY COMPANY (LLC) CERTIFICATE OF FORMATION

BALDWIN COUNTY, ALABAMA  
Probate Judge:  
TIM RUSSELL  
Filed: 04/23/2018 02:10 PM  
Total: \$60.00 3 PAGES  
Certified Copy

9200301

(FOR COUNTY PROBATE OFFICE USE ONLY)

1. THE NAME OF THE LIMITED LIABILITY COMPANY

**Olde Towne Investments, LLC**

2. THIS FORM WAS PREPARED BY:

Geoffrey A. Lane

3. THE NAME AND STREET (NO PO BOXES) ADDRESS OF THE REGISTERED AGENT LOCATED AT THE REGISTERED OFFICE (MUST BE LOCATED IN ALABAMA):

Geoffrey A Lane  
19940 State Highway 181  
Fairhope, AL 36532  
BALDWIN

MAILING ADDRESS IN ALABAMA OF REGISTERED OFFICE (IF DIFFERENT FROM STREET ADDRESS):

4. THE UNDERSIGNED CERTIFY THAT THERE IS AT LEAST ONE MEMBER OF THE LIMITED LIABILITY COMPANY.

5. CHECK ONLY IF THE TYPE APPLIES TO THE LIMITED LIABILITY COMPANY BEING FORMED:

- NON-PROFIT LLC
- NON-PROFIT SERIES LLC
- PROFESSIONAL SERIES LLC
- PROFESSIONAL LLC COMPLYING WITH TITLE 10A, CHAPTER 5A, ARTICLE 8
- SERIES LLC COMPLYING WITH TITLE 10A, CHAPTER 5A, ARTICLE 11

(FOR SOS OFFICE USE ONLY)

Alabama	
Sec. Of State	
516-134	DLL
Date	04/23/2018
Time	14:11:00
File	\$100.00
Exp	\$100.00
	-----
Total	\$200.00

6. THE UNDERSIGNED SPECIFY 04/23/2018 14:10:08 AS THE EFFECTIVE DATE AND THE TIME OF FILING

ATTACHED ARE ANY OTHER MATTERS THE MEMBERS DETERMINE TO INCLUDE HEREIN

7. ORGANIZER(S) -OPTIONAL

Not Applicable

04/23/2018

DATE

Geoffrey A. Lane Member

ELECTRONIC SIGNATURE & TITLE

John H. Merrill  
Secretary of State

P.O. Box 5616  
Montgomery, AL 36103-5616

# STATE OF ALABAMA

**I, John H. Merrill, Secretary of State of Alabama, having custody of the Great and Principal Seal of said State, do hereby certify that**

pursuant to the provisions of Title 10A, Chapter 1, Article 5, Code of Alabama 1975, and upon an examination of the entity records on file in this office, the following entity name is reserved as available:

**Olde Towne Investments, LLC**

This name reservation is for the exclusive use of Geoffrey A. Lane, 19940 State Highway 181, Fairhope, AL 36532 for a period of one year beginning April 23, 2018 and expiring April 23, 2019

**In Testimony Whereof, I have hereunto set my hand and affixed the Great Seal of the State, at the Capitol, in the city of Montgomery, on this day.**



RES795443

April 23, 2018

Date

John H. Merrill

Secretary of State

**Summary of Request:**

Public hearing to consider the request of Olde Towne Investments, LLC for preliminary approval Dragonfly Commons MOP, a 7-unit multiple occupancy project. The project was previously known as Bishop Road MOP (SD 20.27) and the preliminary plat was approved in 2020; however, a final plat was not submitted within two (2) years of said approval; thus, the 2020 approval expired. The current project is essentially the same as the project previously approved. This application will require final MOP approval.

The property is approximately 1.09 acres and is located on the west side of Bishop Road just north of Gayfer Road. Mr. Larry Smith, PE of S.E. Civil, serves as the engineer of record (EOR) for subject application. The property is zoned R-4.

**Comments:**

The applicant has provided a site plan illustrating two (2) proposed buildings on a 1.09 acre property with a gross density of 6.42 units per acre. The site plan illustrates a sidewalk along Bishop Road. There are a total of 22 parking spaces provided. Each unit will have a single car garage. There is also an uncovered parking space (driveway). The City of Fairhope does not recognize individual garage space(s) as counted parking. Nonetheless, the 15 outside parking spaces provided surpass the parking requirements. Thus far, utilities and roads/drives in the development have *not* been requested to be accepted by the City of Fairhope. Utilities and roads/drives are to remain private and will not be the responsibility of the City of Fairhope to maintain.

SITE ANALYSIS		
<u>SITE ACREAGE (PROPOSED)</u> ±1.09 AC (47,344 SF)	<u>BUILDING HEIGHT</u> 30 FT (MAX.)	<u>BUILDING (UNDER ROOF)</u> 6,817 SF (7 UNITS)
<u>REQUIRED PARKING</u> 14 SPACES (SEE PARKING DATA)	<u>PROVIDED PARKING</u> 22 SPACES	
<u>JURISDICTION</u> CITY OF FAIRHOPE	<u>ZONING</u> R-4	
<u>IMPERVIOUS AREA</u> 0.37 AC (33.5%)	<u>PERVIOUS AREA</u> 0.72 AC (66.5%)	
<b>BUILDING SETBACKS:</b> FRONT YARD: SIDE YARD: REAR YARD:	<b>REQUIRED:</b> 30 FT 10 FT 35 FT	
<b>MAXIMUM BUILDING HEIGHT:</b>	30 FT	

**Utilities:**

- Fairhope Utilities are available for all utilities; however, they will remain private inside the development.

- Electrical routing is to be determined and will be provided in final plat submittal.
- AT&T provides telecommunications services.
- Trash is individual roll-out cans.
- A fire hydrant was required in the previous case (SD 20.27) and has since been installed.

**Traffic:**

- A letter was provided by the Engineer of Record that the daily trips do not trigger a traffic study per the subdivision regulations.

**Drainage:**

- Two (2) detention ponds are being created mostly facing Bishop Road. The Engineer of Record provided a written statement stating that the ponds, as designed, conform to the requirements of the Fairhope Subdivision Regulations and all other applicable rules, regulations, laws and ordinances.
- An Operations and Maintenance Plan (“O&M Plan”) has been provided and will be recorded holding the owner responsible for routine inspections and maintenance.

**Greenspace Requirements:**

- The greenspace requirement per Article V, Section C(2) is 25% for this residential MOP, which translates to 0.27 acres. The Greenspace Plan has 0.44 acres of greenspace.

*Article V, Section C.2. Applicability and Requirements: the regulations in this Section C. shall apply to any development, whether or not in the City Limits. Greenspace amounts to be provided shall be based on the dwelling unit per acre of a subdivision. For the purposes of this section, *net density of a site* is the resulting number of units per acre after removing public or private rights-of-way, storm water infrastructure, wetlands, water course and undevelopable land based on topography or physical constraints. Greenspace shall be provided as follows:*

<b>Units per Acre</b>	<b>Open Space Amount</b>
Less than 2 units per acre	10%
2-4 units per acre	15%
4-6 units per acre	20%
More than 6 units per acre	25%
Multiple Occupancy Project (commercial)	10%
<b>Multiple Occupancy Project (residential)</b>	<b>Open Space Amount</b>
3 units per acre	15%
4-6 units per acre	20%
More than 6 units per acre	25%

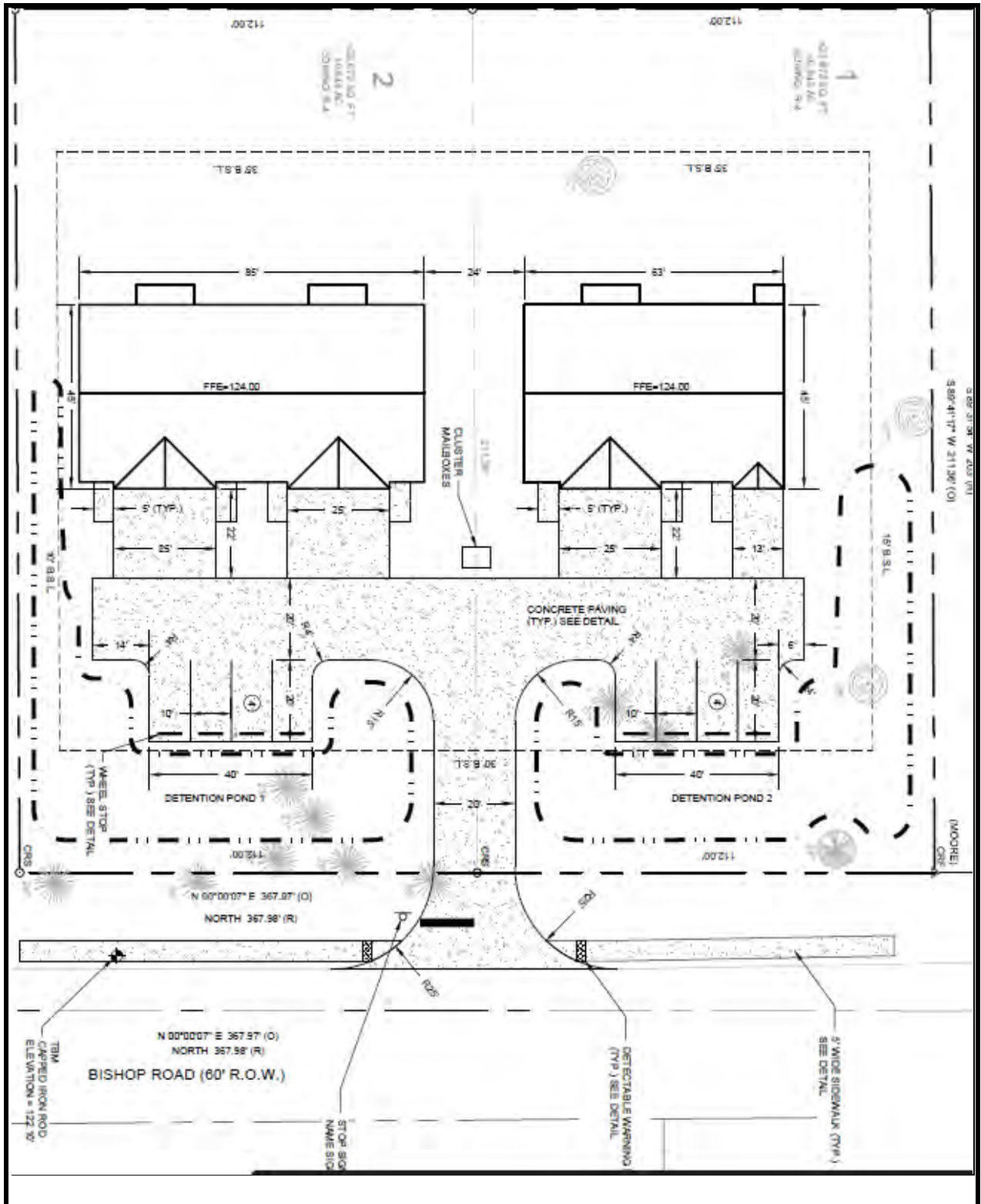
**Landscaping Requirements:**

- The landscape plan is the same as the previously approved one in SD 20.27 and has been re-approved. A 20” pine tree needs to be removed from the ROW (driveway) and will require a tree removal permit.

### Sidewalks:

- A sidewalk is planned along Bishop Road per Article V, Section D(6)(a) of the Subdivision Regulations.

### Site Plan





**Recommendation:**

Staff recommends **approval** of the Preliminary Plat for SD 23.07.

LAND USAGE		
DESCRIPTION	AREA	% OF PROPERTY AREA
PROPERTY AREA	1.09 ACRES (47,344 SF)	--
BUILDING AREA (UNDER ROOF)	0.16 ACRES (6,817 SF)	14.4%
IMPERVIOUS PAVING	0.21 ACRES (9,052 SF)	19.1%
GRASSED/LANDSCAPED AREA	0.72 ACRES (31,475 SF)	66.5%

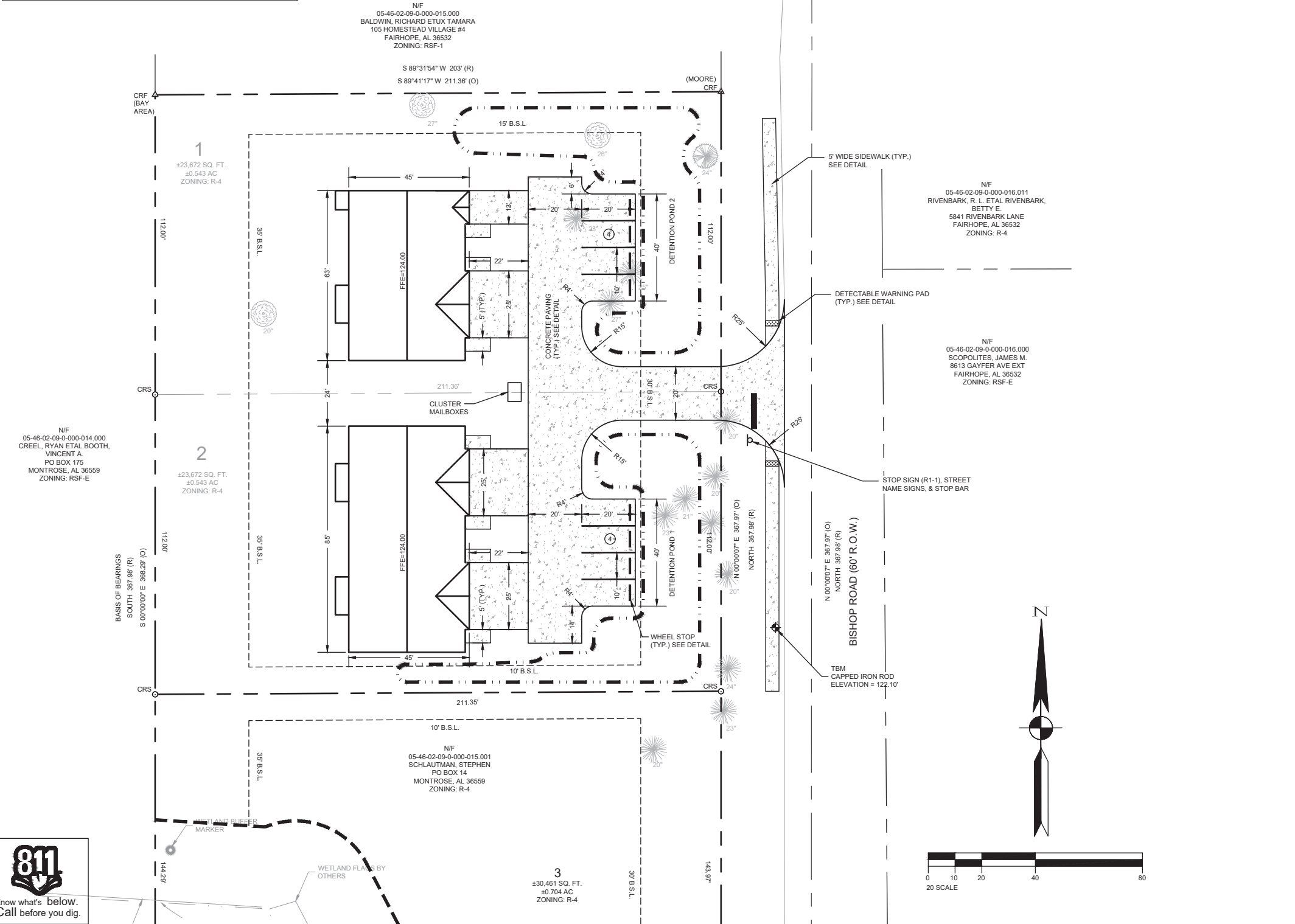
PARKING DATA	
PARKING REQUIREMENT	SPACES
TOTAL REQUIRED (2 SPACES/ UNIT) =	14
TOTAL PROVIDED =	22
PARKING - EACH UNIT HAS A SINGLE CAR GARAGE. THERE IS ALSO AN UNCOVERED PARKING SPACE (DRIVEWAY)	

SITE ANALYSIS		
SITE ACREAGE (PROPOSED)	BUILDING HEIGHT	BUILDING (UNDER ROOF)
±1.09 AC (47,344 SF)	30 FT (MAX.)	6,817 SF (7 UNITS)
REQUIRED PARKING 14 SPACES (SEE PARKING DATA)		PROVIDED PARKING 22 SPACES
JURISDICTION CITY OF FAIRHOPE		ZONING R-4
IMPERVIOUS AREA 0.37 AC (33.5%)		PERVIOUS AREA 0.72 AC (66.5%)
BUILDING SETBACKS: FRONT YARD: 30 FT SIDE YARD: 10 FT REAR YARD: 35 FT		REQUIRED: 30 FT 10 FT 35 FT
MAXIMUM BUILDING HEIGHT:		30 FT

SITE PLAN LEGEND		
EXISTING		PROPOSED
	TRAFFIC CONTROL ARROW	
	EDGE OF PAVEMENT	
	HEADER CURB	
	RIBBON CURB	
	GRAVEL PAVING	
	CONCRETE PAVING	
	ASPHALT PAVING	
X" SYSL - X" WIDE SINGLE YELLOW SOLID LINE X" DYSL - X" WIDE DOUBLE YELLOW SOLID LINE X" SWSL - X" WIDE SINGLE WHITE SOLID LINE		

### SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF FAIRHOPE AND BALDWIN COUNTY REGULATIONS AND CODES AS WELL AS O.S.H.A. AND ALDOT STANDARDS.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED.
- ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
- REFER TO THE LANDSCAPING PLANS FOR PLANTING LOCATIONS AND ISLAND DETAILS.
- PAINTED STRIPING SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
- CURBING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBING SHALL BE 3000 PSI.
- THIS SITE IS R-4.
- TOTAL SITE ACREAGE = 1.09 ACRES.
- NOTIFY CITY OF FAIRHOPE INSPECTIONS 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- ALL STRIPING IN R.O.W. TO BE CLASS A TYPE 2 THERMOPLASTIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED R.O.W. AND MUST BE STORED WITHIN THE SITE.
- DURING CONSTRUCTION, ACCESS ROADWAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED. THE WIDTH OF THE ACCESS ROADWAY, DURING CONSTRUCTION, SHALL BE 20 FT PER STANDARD FIRE PREVENTION CODE, LATEST EDITION.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION. REFERENCE THE SIGN CODES CONTAINED IN THE MUTCD FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAVEMENT MARKINGS, REFERENCING DETAILS IN ALDOT'S ROADWAY AND TRAFFIC DESIGN STANDARDS WHERE APPLICABLE.
- NO "PROTECTED TREES" WILL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
- FIRE LANES AND SIGNAGE TO MEET REQUIREMENTS OF NFPA 1 CHAPTER 18.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE INCLUDING UTILITIES, SURFACES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO NEW AND EXISTING CONSTRUCTION, PROPERTY AND ANY UNAUTHORIZED DISRUPTION TO UTILITIES ON SITE AND TO ADJACENT PROPERTIES.
- PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATIONS, ELEVATION AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DEVIATIONS OR CONFLICTS.
- CONTRACTOR SHALL REFER TO THE ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THE DIMENSIONS SHOWN ARE TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.



SITE DATA:	
1. ACREAGE IN TOTAL TRACT:	1.09 ACRES
2. SMALLEST LOT/UNIT SIZE:	1,814 SF
3. TOTAL SQUARE FEET OF EACH LOT OR UNIT:	12,698 SF
4. TOTAL NUMBER OF LOTS OR UNITS:	7
5. LINEAR FEET IN STREETS:	265 LF (PRIVATE)
6. NUMBER OF PARKING SPACES:	22 SPACES
7. AMOUNT OF IMPERVIOUS SURFACE:	0.37 ACRES
8. DENSITY (GROSS):	6.42 UNITS/AC
9. DENSITY (NET, FOR CALCULATING GREENSPACE, FAIRHOPE):	8.54 UNITS/AC
10. TOTAL SF OF ALL AREAS RESERVED FOR TOTAL OPEN SPACE:	N/A
11. TOTAL SF OF ALL AREAS RESERVED FOR USEABLE OPEN SPACE:	N/A
12. GREENSPACE:	0.44 ACRES

OWNER:  
KATAPULT PROPERTIES, LLC  
19940 STATE HWY 181  
FAIRHOPE, AL 36532

FLOOD ZONE:  
FIRM NO. D10030642M EFFECTIVE DATE APRIL 19, 2019, SHOWS THE PROPERTY TO BE SITUATED IN ZONE X UNSHADED.

UTILITY PROVIDERS:  
WATER - FAIRHOPE UTILITIES  
SEWER - FAIRHOPE UTILITIES  
ELECTRIC - RIVIERA UTILITIES

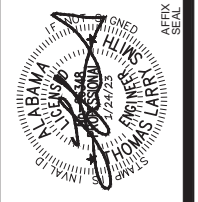
GREENSPACE CALCULATIONS (CITY OF FAIRHOPE):	
ACREAGE IN TOTAL TRACT:	1.09 ACRES
WETLANDS:	0 ACRES
PONDS:	0.11 ACRES
ASPHALT ROADS:	0.16 ACRES
NET ACREAGE:	0.82 ACRES
DENSITY (NET) = 7 UNITS/0.82 ACRES:	8.54 UNITS/ACRE
GREENSPACE REQUIRED (25% OF 1.09 ACRES):	0.27 ACRES
GREENSPACE PROVIDED:	0.44 ACRES

REVISION	DATE



### SITE PLAN

Dragonfly Commons  
Bishop Road  
Fairhope, AL 36532



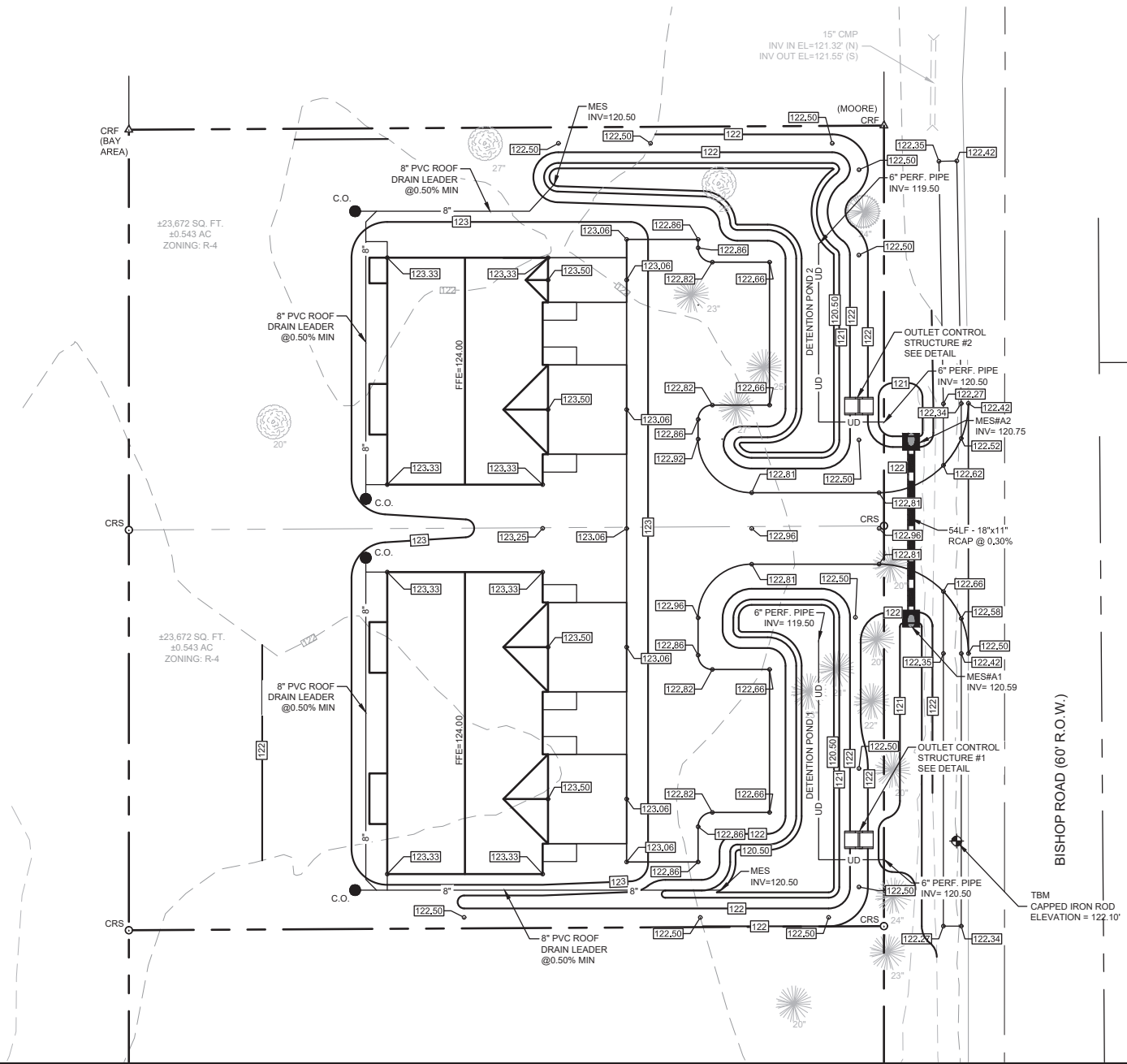
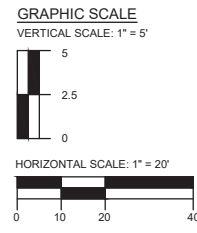
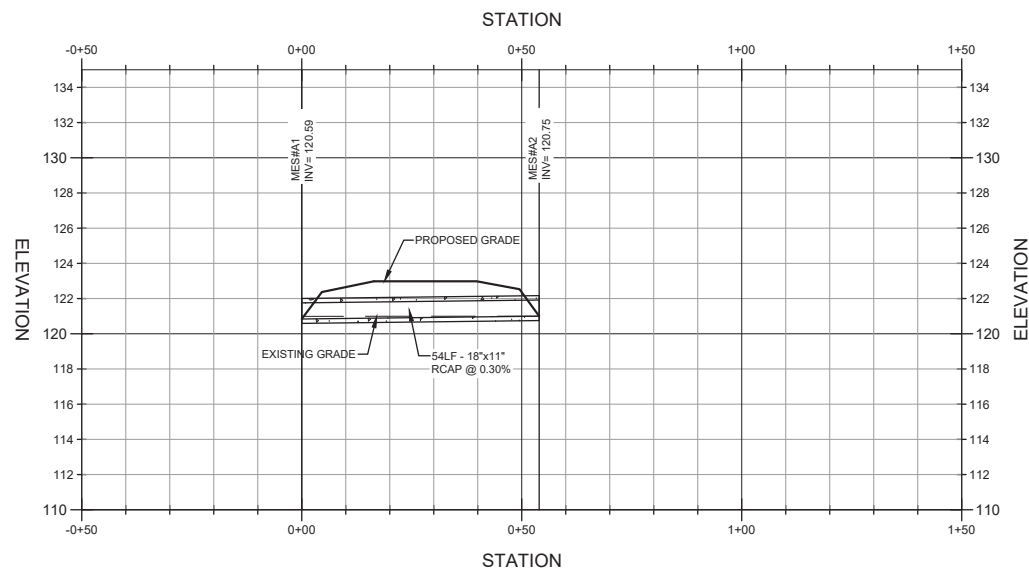
JOB No. 20190565	DATE 1/24/23
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DRAWN JRB	SCALE 1"=20'
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SHEET  
**C01**



### STORM LINE A PROFILE

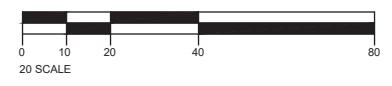


### GRADING & DRAINAGE NOTES

- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED. SLOPES STEEPER THAN 3:1 SHALL BE COVERED WITH CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY OR EQUAL.
- ALL DISTURBED AREAS NOT OTHERWISE COVERED BY BUILDINGS OR PAVEMENT SHALL RECEIVE FOUR INCHES OF TOPSOIL AND STABILIZED PER THE LANDSCAPE PLAN.
- STORM PIPE SHALL BE AS FOLLOWS:  
RCP, CLASS III PER ALDOT SPECIFICATIONS.  
HOPE ADS 1/2 PIPE PER SPECIFICATIONS.  
PVC, SCH. 40 PIPE PER SPECIFICATIONS.  
THE TYPE OF PIPE MAY BE ALTERED IF APPROVED BY THE ENGINEER.
- ALL CAST IN PLACE CONCRETE TO HAVE A MIN. 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- THE CONTOUR INTERVAL IS ONE FOOT OR AS SHOWN.
- FIRM NO. 01003C0642M EFFECTIVE DATE APRIL 19, 2019, SHOWS THE PROPERTY TO BE SITUATED IN ZONE X UNSHADED.
- UTILITY TRENCHES SHALL BE DE-WATERED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND THE SPECIFICATIONS. APPROVED MEASURES SHALL BE TAKEN TO ENSURE THE PROPER INSTALLATION OF THE PIPING SYSTEM. THE CONTRACTOR SHALL HOLD THE OWNER AND ENGINEER HARMLESS FOR ADDITIONAL COSTS FOR DE-WATERING AND BACKFILL LABOR & MATERIALS.
- THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER RECORD DRAWINGS OF AS-BUILT CONDITIONS FOR THE DEVELOPMENT OF THE SITE.
- EXISTING INFORMATION IS SHOWN PER SURVEY BY SMITH CLARK & ASSOCIATES, LLC.
- ALL STRUCTURAL FILL AREAS TO BE CONSTRUCTED UNDER THE DIRECTION OF A SOILS ENGINEER.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPE SHALL BE WELL ROUNDED. ELEVATIONS REPRESENT FINAL GRADE.
- ALL SILT BARRIERS SHALL BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL THE TREE PROTECTION, SAVE AREAS, SILT BARRIER INSTALLATION AND DETENTION FACILITIES ARE CONSTRUCTED.
- THE LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- ALL O.S.H.A. CONSTRUCTION REQUIREMENTS SHALL BE STRICTLY ADHERED TO.
- PIPE LENGTHS SHOWN ARE LINEAR DISTANCES BETWEEN CENTER TO CENTER OF STRUCTURES. THE CONTRACTOR SHALL DETERMINE THE QUANTITY OF PIPE NEEDED FOR THE JOB, BASED ON SLOPE LENGTH AND WHOLE STANDARD PIPE SECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER TRAFFIC CONTROL FOR PUBLIC SAFETY ADJACENT TO THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES IN CONFORMITY WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
- MAXIMUM CUT OR FILL SLOPE IS 2H:1V
- CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN THE STORM SYSTEM AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING PAD.
- ALL ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
- CONTRACTOR SHALL PROVIDE A SURVEYED AS-BUILT OF THE DETENTION POND, OUTLET CONTROL STRUCTURE, AND STORM SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT OF WAY.
- DETENTION POND AND TEMPORARY SEDIMENT BASIN FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

### GRADING & DRAINAGE PLAN LEGEND

EXISTING	PROPOSED



REVISION	DATE



### GRADING & DRAINAGE PLAN & PROFILES

Dragonfly Commons  
Bishop Road  
Fairhope, AL 36532



JOB No. 20190565 DATE 1/24/23

DRAWN JRB SCALE 1"=20'

SHEET C02

### CONSTRUCTION SEQUENCE - PHASE 1

1. INSTALL TREE PROTECTION FENCING PER TREE PROTECTION ORDINANCE.
2. REMOVE VEGETATION ONLY IN AREAS OF THE PERIMETER SEDIMENT BARRIERS, SEDIMENT POND, AND CONSTRUCTION EXIT.
3. INSTALL THE CONSTRUCTION EXIT PER DETAILS.
4. INSTALL PERIMETER SEDIMENT BARRIERS PER DETAILS.
5. INSTALL SEDIMENT BASIN AND ASSOCIATED STORM PIPE.
6. REQUEST BMP & TREE PROTECTION INSPECTION PRIOR TO CLEARING.
7. ONCE INSPECTION IS COMPLETE AND APPROVED, CLEARING & SITE WORK CAN BEGIN (PHASE 2).

### CONSTRUCTION SEQUENCE - PHASE 2

1. PERFORM CLEARING & ROUGH GRADING ON THE LOT AND ESTABLISH COVER ON AREAS WHEN BROUGHT TO GRADE.
2. INSTALL STORM SYSTEM AND UTILITIES.
3. CONSTRUCT BUILDINGS.
4. INSTALL CURBING AND STONE BASE.
5. ESTABLISH VEGETATION ON AREAS NOT IMPACTED BY PAVING OPERATIONS.

### CONSTRUCTION SEQUENCE - PHASE 3

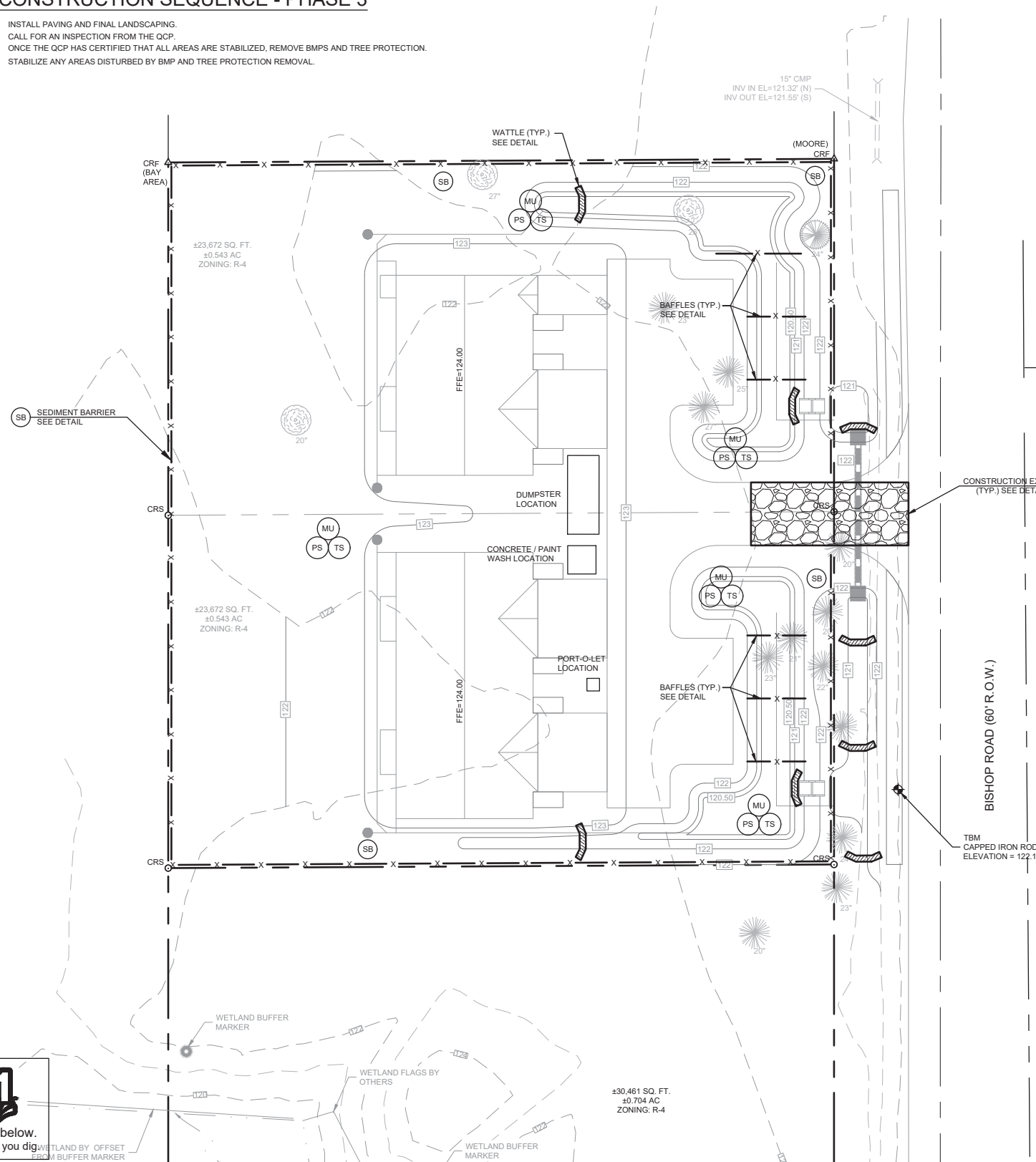
1. INSTALL PAVING AND FINAL LANDSCAPING.
2. CALL FOR AN INSPECTION FROM THE QCP.
3. ONCE THE QCP HAS CERTIFIED THAT ALL AREAS ARE STABILIZED, REMOVE BMPs AND TREE PROTECTION.
4. STABILIZE ANY AREAS DISTURBED BY BMP AND TREE PROTECTION REMOVAL.

### EROSION CONTROL PRACTICES

CODE	PRACTICE	DESCRIPTION
CEP	CONSTRUCTION EXIT PAD	Install exit pad that prevents mud from being tracked onto public right-of-way. This may require periodic top dressing with stone, as conditions demand, and repair and/or clean out of any structures used to trap sediment. All materials spilled, dropped, washed, or tracked from vehicle or site onto public roadway must be removed immediately.
SB	SEDIMENT BARRIER	Install sediment barrier to prevent sediment from leaving site. Sediment barrier shall be installed in accordance with the Alabama Handbook for Erosion Control, Sediment Control and Stormwater Management on Construction Sites and Urban Areas (Alabama Handbook).
MU	MULCHING	Apply mulch to exposed soil surfaces to prevent erosion and sedimentation. Mulch shall be applied in accordance with the Alabama Handbook for Erosion Control, Sediment Control and Stormwater Management on Construction Sites and Urban Areas (Alabama Handbook).
TS	TEMPORARY SEEDING	Apply temporary seeding to exposed soil surfaces to prevent erosion and sedimentation. Seeding shall be applied in accordance with the Alabama Handbook for Erosion Control, Sediment Control and Stormwater Management on Construction Sites and Urban Areas (Alabama Handbook).
PS	PERMANENT SEEDING	Apply permanent seeding to exposed soil surfaces to prevent erosion and sedimentation. Seeding shall be applied in accordance with the Alabama Handbook for Erosion Control, Sediment Control and Stormwater Management on Construction Sites and Urban Areas (Alabama Handbook).

### EROSION CONTROL NOTES

1. THE EXISTING SITE IS UNDEVELOPED.
2. CONTACT LARRY SMITH, PE 251-990-6566.
3. AREA TO BE DISTURBED = 0.89 ACRES
4. ALL VEGETATION SHALL BE PLANTED AND MAINTAINED PER THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS (ALABAMA HANDBOOK).
5. ALL EROSION CONTROL MEASURES SHALL BE PER THE DIRECTION OF THE ENGINEER, SOIL AND WATER CONSERVATION COMMITTEE OFFICER, AND THE FEDERAL E.P.A. GUIDELINES FOR THE NPDES PROGRAM.
6. ABSOLUTELY NO SEDIMENT SHALL BE PERMITTED TO LEAVE THE SITE DURING CONSTRUCTION. IF HEAVY RAINS OR UNUSUAL SITE CONDITIONS RESULT IN THE POLLUTION OF ROADWAYS OR ADJACENT PARCELS THEN THE GRADING CONTRACTOR SHALL CLEAN THE DISTURBED AREAS IMMEDIATELY AND RESTORE THE AREAS TO THE ORIGINAL CONDITION WITHIN 24 HOURS.
7. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND PERMANENTLY SEEDED WITH "SOUTH" TYPE SEEDINGS PER THE ALABAMA HANDBOOK.
8. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE GOVERNING OFFICIALS. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO BE INTIMATE WITH THE LOCAL EROSION CONTROL LAWS AND TO REFLECT THIS KNOWLEDGE IN HIS/HER ACTIONS AND QUOTATIONS.
9. REFERENCE THE CONSTRUCTION SEQUENCE FOR THE RELATIONSHIP BETWEEN THE INSTALLATION OF EROSION CONTROL FEATURES AND GENERAL CONSTRUCTION.
10. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
11. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE GOVERNING OFFICIAL OR ENGINEER OF RECORD.
12. ALL SILT BARRIERS SHALL BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL THE SEDIMENT BARRIERS HAVE BEEN CONSTRUCTED.
13. CONTRACTOR SHALL REMOVE EROSION CONTROL DEVICES AFTER PERMANENT GRASSING IS IN PLACE AND ESTABLISHED.
14. THE CONSTRUCTION EXIT PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
15. DISTURBED AREAS LEFT IDLE FOR TEN DAYS OR LONGER ARE TO BE SEEDED AND MULCHED.
16. SEDIMENT / EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 OF THE CAPACITY OF THE DEVICE.
17. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR.
18. THE CONTRACTOR SHALL PREVENT THE LOSS OF SEDIMENT DUE TO WIND VIA WATERING DRY SOILS. CAUTION SHOULD BE TAKEN TO ENSURE THAT THE SITE IS NOT OVER WATERED.
19. THE SITE IS TO BE CLEARED AND GRADED AS TO MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ONE TIME.
20. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
21. CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
22. BMP'S SHALL BE INSTALLED AS PER THE ALABAMA HANDBOOK STANDARDS.
23. BMP'S SHALL BE INSTALLED WITH MINIMAL CLEARING ACTIVITY.
24. REFER TO THE LANDSCAPE PLANS FOR FINAL STABILIZATION MEASURES.
25. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN 7 DAYS OF THEIR CONSTRUCTION.
26. ALL FILL SLOPES HAVE SILT FENCE AT THE TOE OF SLOPES.
27. EXISTING TREES, TO BE SAVED, SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. CARE SHALL BE TAKEN IN ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES OF EXISTING TREES. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPLACED OR REPAIRED AS NEEDED.
28. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING, OR GRADING.
29. CONTRACTOR TO CLEAN OUT ACCUMULATED SEDIMENT IN THE DETENTION POND AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
30. SEDIMENT STORAGE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
31. ALL SLOPES STEEPER THAN 3H:1V MUST BE MATTED AND STAKED WITH AMERICAN EXCELSIOR JUTE MAT.



### USDA SOIL SURVEY CLASSIFICATIONS

MiA - MARLBORO VERY FINE SANDY LOAM, 0 TO 2 PERCENT SLOPES - HSG C  
 G - GRADY SOILS, 0 TO 2 PERCENT SLOPES - HSG C/D



### EROSION & SEDIMENT CONTROL PLAN

Dragonfly Commons  
 Bishop Road  
 Fairhope, AL 36532



JOB No. 20190565 DATE 1/24/23

DRAWN JRB SCALE 1"=20'

SHEET  
**C03**



SITE DATA:		
1. ACREAGE IN TOTAL TRACT:		1.09 ACRES
2. SMALLEST LOT/UNIT SIZE:		1,814 SF
3. TOTAL SQUARE FEET OF EACH LOT OR UNIT:		12,698 SF
4. TOTAL NUMBER OF LOTS OR UNITS:		7
5. LINEAR FEET IN STREETS:		265 LF (PRIVATE)
6. NUMBER OF PARKING SPACES:		22 SPACES
7. AMOUNT OF IMPERVIOUS SURFACE:		0.37 ACRES
8. DENSITY (GROSS):		6.42 UNITS/AC
9. DENSITY (NET, FOR CALCULATING GREENSPACE, FAIRHOPE):		8.54 UNITS/AC
10. TOTAL SF OF ALL AREAS RESERVED FOR TOTAL OPEN SPACE:		N/A
11. TOTAL SF OF ALL AREAS RESERVED FOR USEABLE OPEN SPACE:		N/A
12. GREENSPACE:		0.44 ACRES

OWNER:  
KATAPULT PROPERTIES, LLC  
19940 STATE HWY 181  
FAIRHOPE, AL 36532

FLOOD ZONE:  
FIRM NO. 01003C0642M EFFECTIVE DATE APRIL 19, 2019, SHOWS THE PROPERTY TO BE SITUATED IN ZONE X UNSHADED.

UTILITY PROVIDERS:  
WATER - FAIRHOPE UTILITIES  
SEWER - FAIRHOPE UTILITIES  
ELECTRIC - RIVIERA UTILITIES

GREENSPACE CALCULATIONS (CITY OF FAIRHOPE):	
ACREAGE IN TOTAL TRACT:	1.09 ACRES
WETLANDS:	0 ACRES
PONDS:	0.11 ACRES
ASPHALT ROADS:	0.16 ACRES
NET ACREAGE:	0.82 ACRES
DENSITY (NET) = 7 UNITS/0.82 ACRES:	8.54 UNITS/ACRE
GREENSPACE REQUIRED (25% OF 1.09 ACRES):	0.27 ACRES
GREENSPACE PROVIDED:	0.44 ACRES

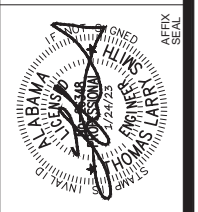
REVISION

DATE



GREENSPACE PLAN

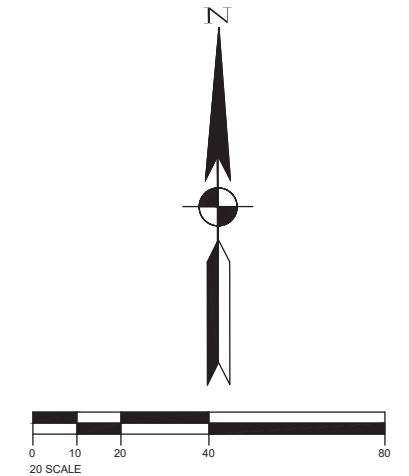
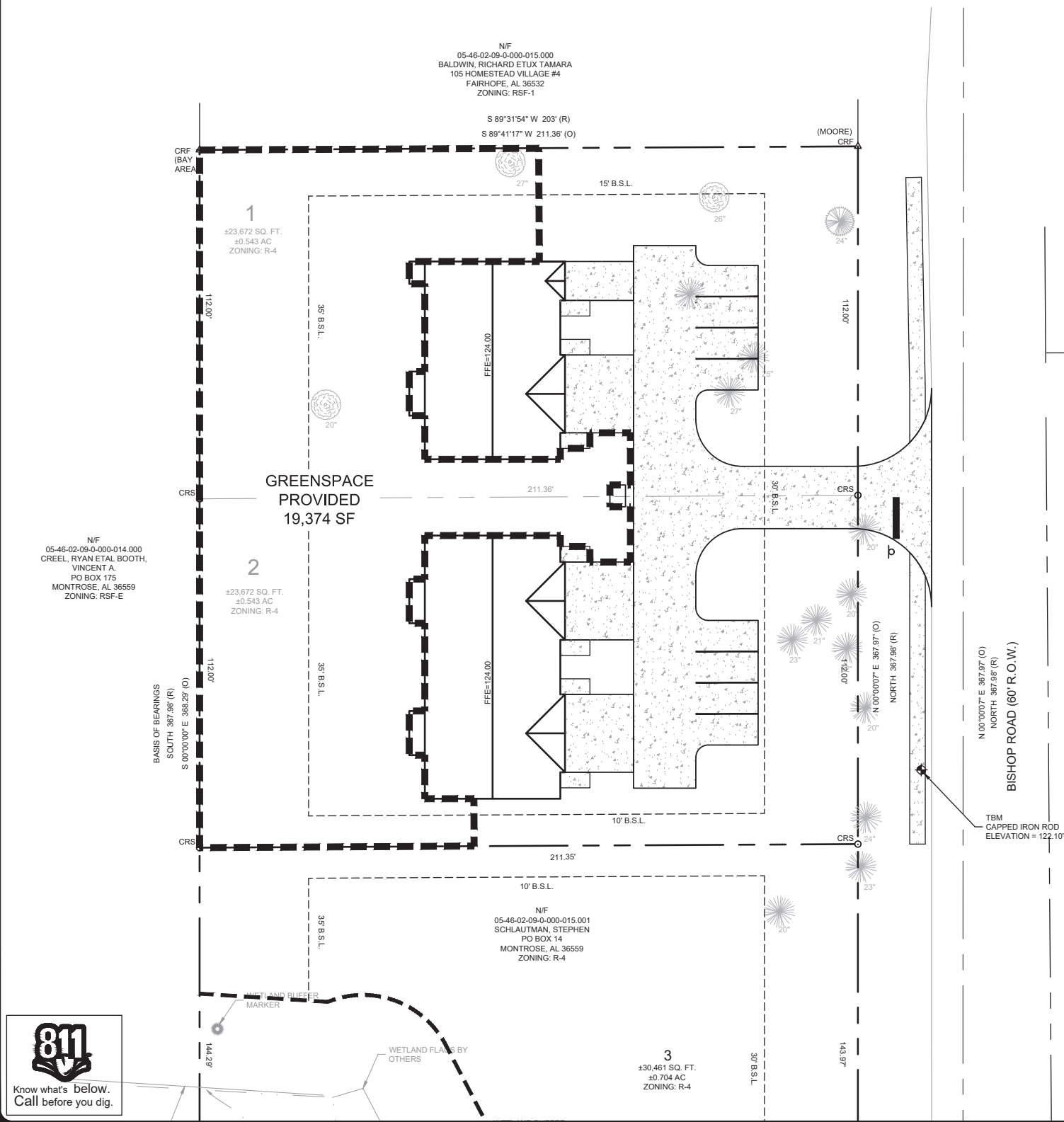
Dragonfly Commons  
Bishop Road  
Fairhope, AL 36532



JOB No. 20190565 DATE 1/24/23

DRAWN JRB SCALE 1"=20'

SHEET C05





January 24, 2023

**Hunter Simmons**  
City of Fairhope  
555 S. Section Street  
Fairhope, AL 36532

**Re: Dragonfly Commons**

Dear Hunter:

This letter is to serve as back up information as to why a Traffic Impact Study is not warranted for this project. According to the subdivision regulations a traffic impact study is required if a project will increase the average daily traffic by 1,000 trips or generate 50 trips or more during any peak hour period. Attached is the trip generation done for this project. The proposed project will add 7 new residential units. I have attached a Trip Generation Chart showing that the project will produce an estimated 41 daily trips with a total of 4 peak hour trips.

If you have any questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read 'Larry Smith', written over a horizontal line.

**Larry Smith, PE**  
lsmith@secivileng.com





April 9, 2020

Karin Wilson  
*Mayor*

*Council Members*

Kevin G. Boone

Robert A. Brown

Jack Burrell, ACMO

Jimmy Conyers

Jay Robinson

Lisa A. Hanks, MMC  
*City Clerk*

Kimberly Creech  
*City Treasurer*

Megan Smith  
Civil Engineering  
880 Holcomb Blvd., Suite 2F  
Fairhope, AL 36532

Ms. Smith,

The City of Fairhope currently has water, sewer, gas and electric available two properties located on Bishop Road.

- PIN: 383707
- PIN: 383706

All services shall be provided in accordance with City of Fairhope regul standards and policies for each service requested.

Please review this information at your convenience. If you have any quest comments, please call or email our office at 251.928.8003.

Sincerely,

A handwritten signature in black ink that reads "Mike Allison".

Mike Allison  
Operations Director, Utilities  
[mikeallison@fairhopeal.gov](mailto:mikeallison@fairhopeal.gov)

cc: Jay Whitman, Water and Wastewater Superintendent  
cc: Terry Holman, Gas Superintendent  
cc: Jeremy Morgan, Electric Superintendent

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36555

251-928-2156

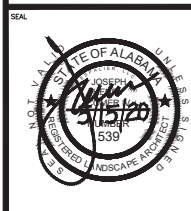
251-928-6776 Fax

[www.fairhopeal.gov](http://www.fairhopeal.gov)

*Printed on recycled paper*

# DRAGONFLY COMMONS MOP

Bishop Rd. & Gafyer Rd. Ext.  
FAIRHOPE, AL



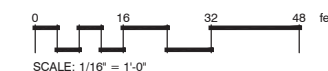
ISSUED/REVISED  
Permitting 4/23/20  
City Comment 5/15/20

LANDSCAPE PLAN

DESIGNED BY: JC  
DRAWN BY: JC  
CHECKED BY: JC  
PROJECT NO.: 2020  
DATE: 4/22/20

**DRAFT - FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**

See Sheet L-1.2 for plant list and landscape specifications.



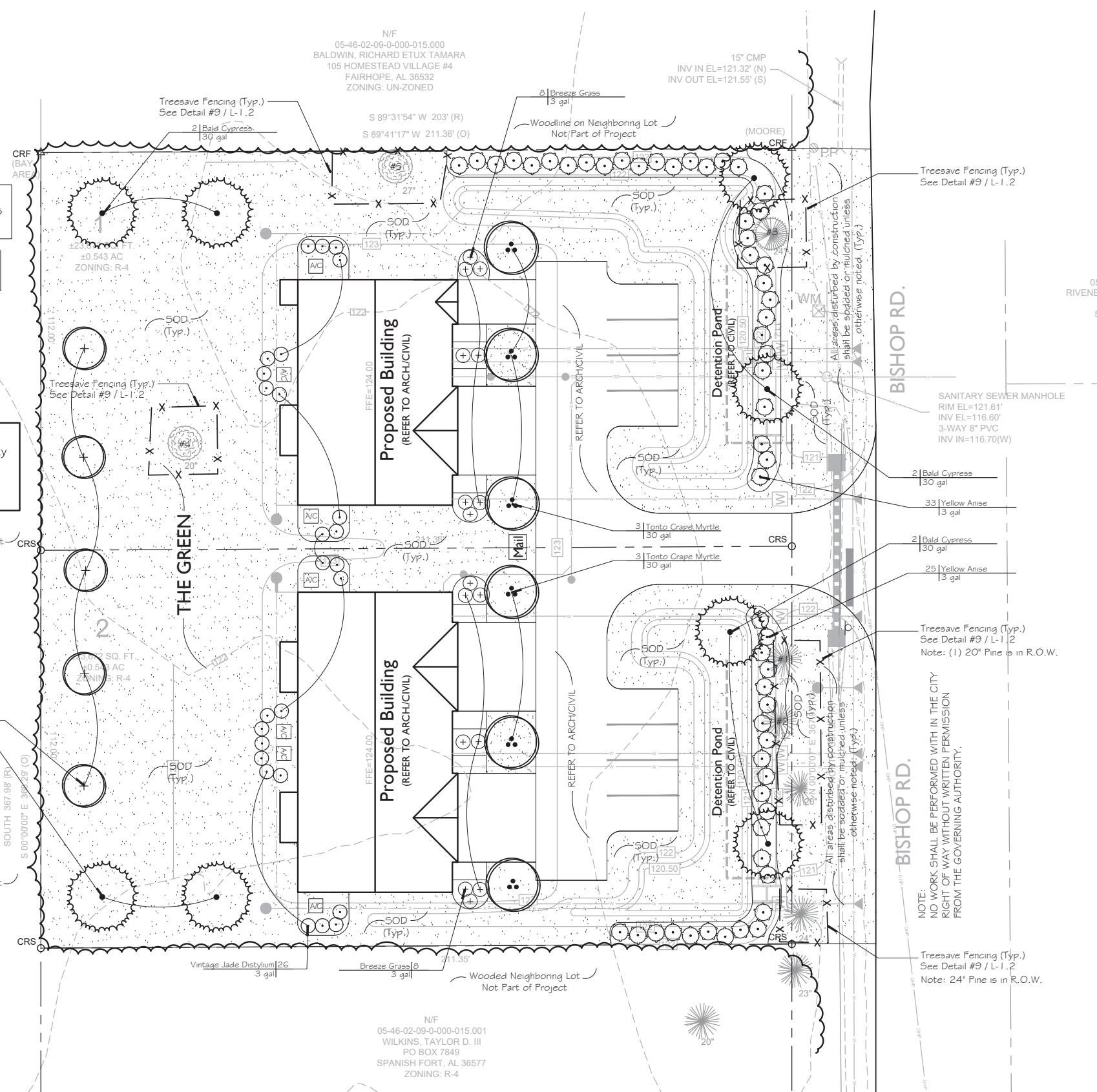
Contractor shall provide automatic irrigation with 100% head to head coverage or hand water all trees & sod until established as directed by Owner. (Typ.)

Landscape contractor shall coordinate with G.C. on tree locations prior to utility installation. (Typ.)

Refer to Civil for All Grading, Drainage, Erosion Control, & Site Stabilization Other than shown on landscape plan. (Typ.)

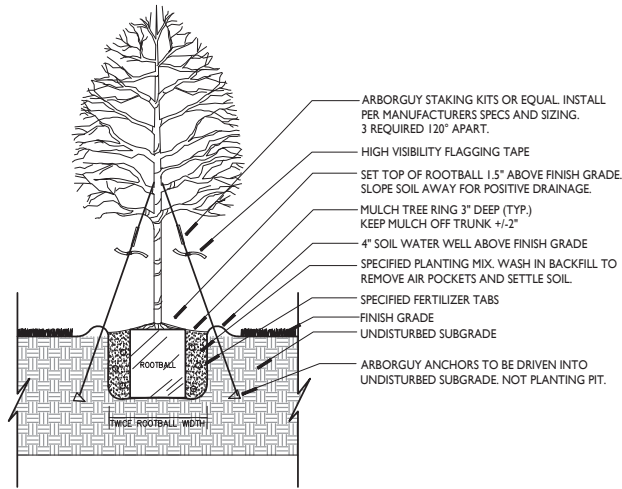
**Tree Protection Notes:**

Existing 'Heritage' Trees Exist. See detail for protection during construction as required by City of Fairhope Ordinance No. 1444 Sec.20.5-6 No site disturbance shall occur without properly installing the required tree protection.

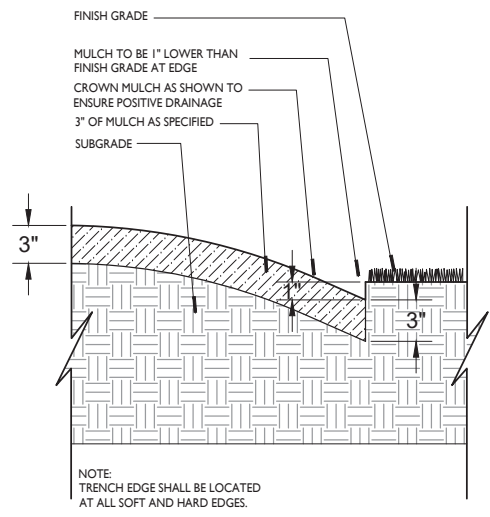


- NOTES:
1. BASE SURVEY PROVIDED BY S.E. CIVIL
  2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
  3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
  4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
  5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
  6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
  7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
  8. REFER TO CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

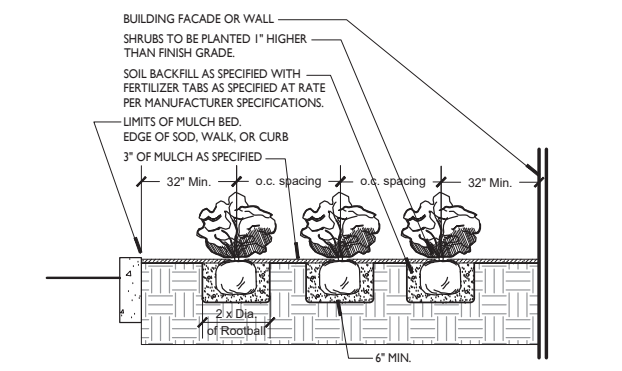




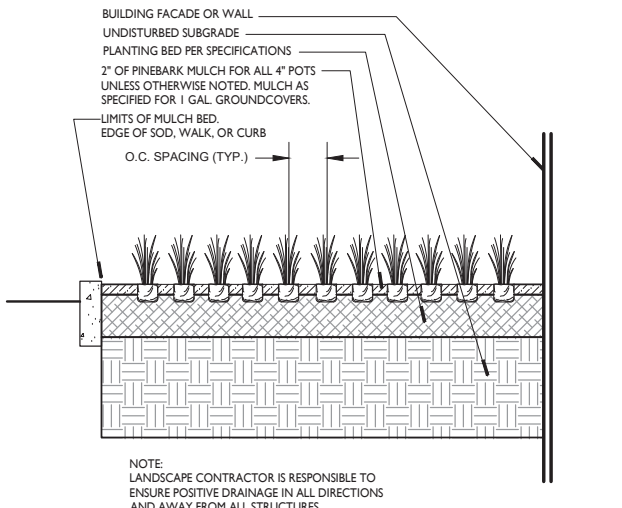
**1 TREE PLANTING**  
N.T.S. LA-01



**4 TRENCH BED EDGE**  
N.T.S. LA-04



**2 SHRUB PLANTING DETAIL**  
N.T.S. LA-02



**3 GROUNDCOVER PLANTING DETAIL**  
N.T.S. LA-03

**LANDSCAPE NOTES:**

- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
- Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
- Contractor is made aware of active existing underground utilities. It is the contractors responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
- Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
- Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architects attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
- The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
- Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
- Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to POA or ARB guidelines if applicable.
- All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
- Topsoil shall be sandy/loam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
- Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
- The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
- Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
- Quantities shown on plant list are for convenience only.
- All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rake beds smooth and top dress with 2" min. of ground pinebark prior to planting.
- All tree and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
- All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufactures recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufactures recommendations prior to mulching.
- All beds shall receive Freshhand pre-emergent herbicide or equal.
- Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinebark mulch unless otherwise noted.
- All bed lines shall have 3" V-Shaped trenches. See detail.
- All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
- All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
- All trees shall be staked with arbor guy (or equal) tree stakes per manufactures recommendations.
- All disturbed areas shall be irrigated and sodded.
- Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
- Brown or defoliated plants shall be removed and replaced immediately.
- All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
- No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

**6 LANDSCAPE NOTES**  
N.T.S. LA-16

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
+	IE	5	Ilex x attenuata 'Eagleston'	Tree Form Eagleston Holly	30 gal	1.5" Cal. Min., 8' Ht. Min. Greenforest Nursery	
⊙	LT	6	Lagerstroemia x 'Tonto'	Tonto Crape Myrtle	30 gal	Multi. Trunk, 3 Cane Min., 3/4" Per Cane Min. 8' Ht. Min. Do Not Substitute Vary	
⊙	TD	8	Taxodium distichum	Bald Cypress	30 gal	2" Cal. Min., 10' Ht. Min	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
⊙	D'	26	Distylium 'Vintage Jade'	Vintage Jade Distylium	3 gal	48" o.c.	
⊙	IP	58	Illicium parviflorum	Yellow Anise	3 gal	60" o.c.	
+	LB	16	Lomandra longifolia 'Breeze'	Breeze Grass	3 gal	48" o.c.	Do not substitute Katrinus.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
⊙	CD	33,569 sf	Cynodon dactylon	Bermuda Grass	sod		

**NOTES:**  
 1. MULCH ALL TREE RINGS & SHRUB AREAS WITH LONG LEAF PINESTRAW.  
 2. THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.  
 3. SOD ALL AREAS DISTURBED BY CONSTRUCTION.

**APPROVED NURSERIES:**  
 1. GREEN FOREST NURSERY  
 2. FLOWERWOOD NURSERY  
 3. GREENS NURSERY  
 4. CHERRY LAKE NURSERY  
 5. POSEY & SON NURSERY  
 Other nurseries may be approved at the discretion of the landscape architect.

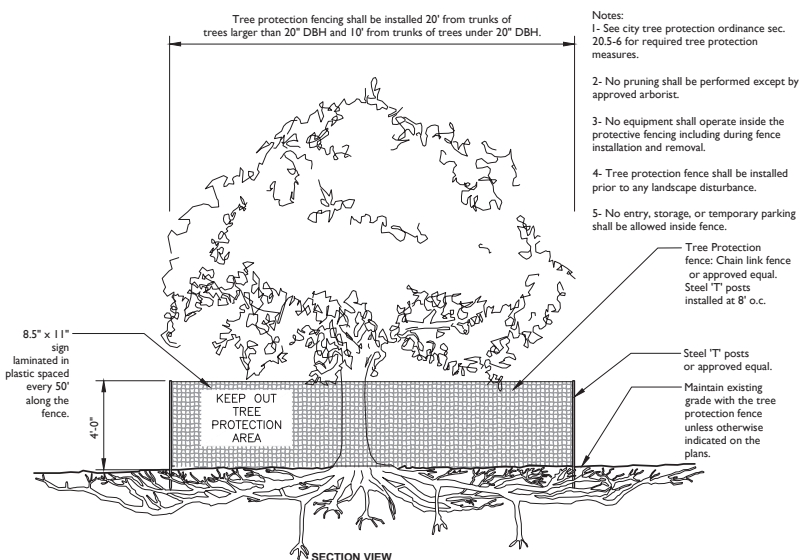
**CITY OF FAIRHOPE LANDSCAPE REQUIREMENTS:**

**PERIMETER REQUIREMENTS:**  
 Road Frontage Feet = 224'/30' = 7 Trees in First 25' regardless of tree credits.  
 Remaining Perimeter Feet = 646.7'/30' = 22 Trees  
 Parking Requirements (1 Tree/12 Spaces) = 1  
 Total Existing Tree Credits = 12  
 Total Trees Required = 7 Frontage (Overstory) & 11 Perimeter Trees (At Least 50% Overstory)

**EXISTING TREE CREDIT TABLE**

**TREES PROPOSED TO REMAIN:**

1.	20" Pine	/8 = 2
2.	22" Pine	/8 = 2
3.	24" Oak	/8 = 3
4.	20" Oak	/8 = 2
5.	27" Oak	/8 = 3
<b>Total Tree Credits</b>		<b>= 12</b>



**9 TREE PROTECTION DETAIL**  
NOT TO SCALE LA-32



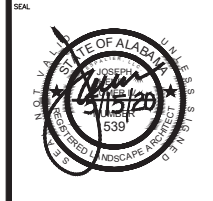
**ESPALIER**  
landscape architecture

Espalier, LLC  
 800 Box 1247  
 Fairhope, Alabama 36533  
 P: 251.454.3500  
 espalierdesign.com

**DRAGONFLY COMMONS MOP**

Bishop Rd. & Gafyer Rd. Ext.  
 FAIRHOPE, AL

**DRAFT - FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**



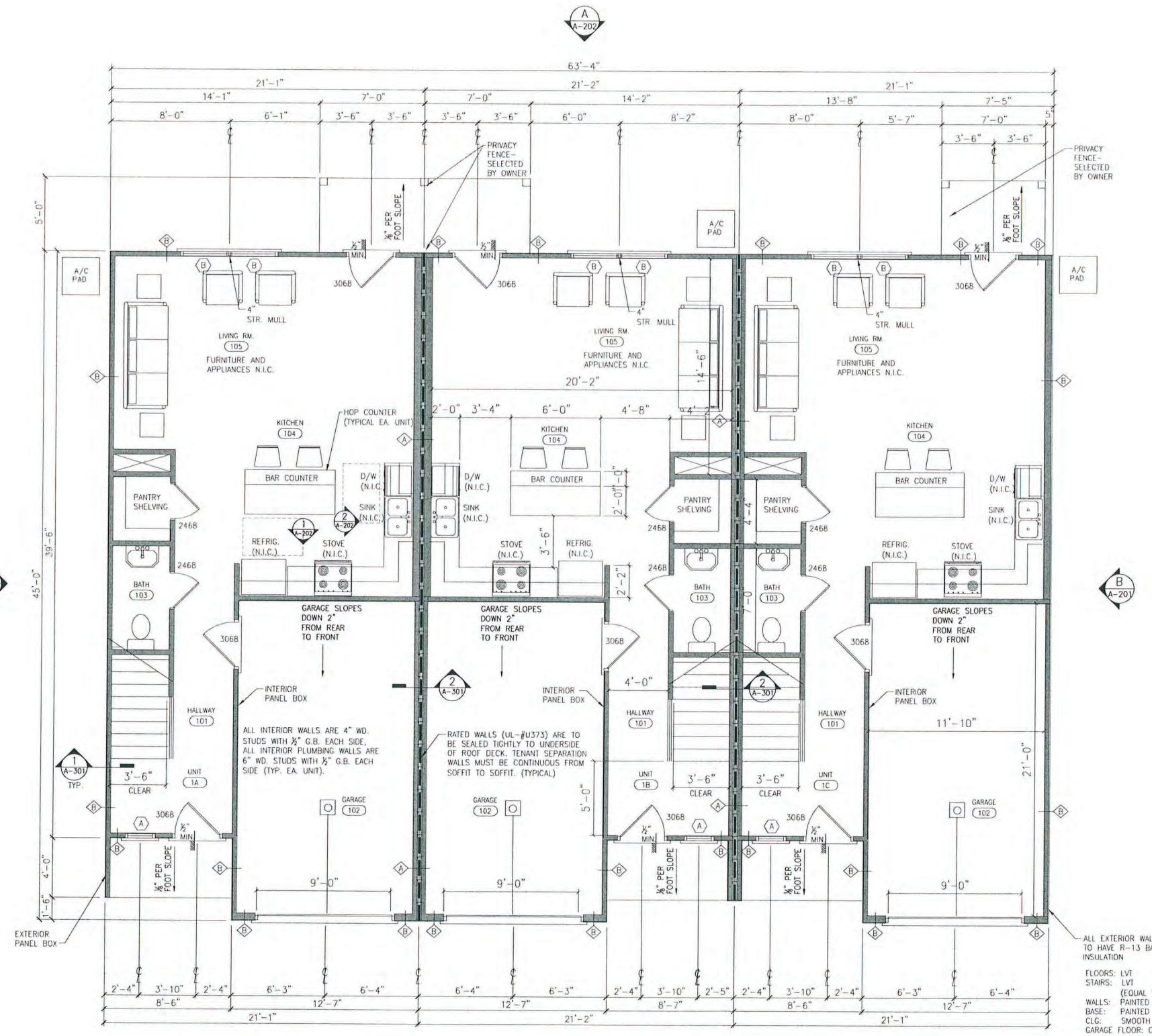
**ISSUED/REVISED**

Permitting 4/23/20  
 City Comment 5/15/20

**LANDSCAPE DETAILS**

DESIGNED BY: JC  
 DRAWN BY: JC  
 CHECKED BY: JC  
 PROJECT NO.: 2020  
 DATE: 4/22/20

FILE NAME: BISH-PLA  
 SHEET: L-1.2



**GENERAL NOTES**

- DIMENSIONS ARE SHOWN TO FACE OF STUDWORK & TO CENTERLINE OF WINDOWS & EXTERNAL DOORS.
- ANY CHANGE IN LOCATION OF INTERIOR WALLS TO BE CONFIRMED WITH ARCHITECT BEFORE PROCEEDING.
- ALL MATERIALS, FIXTURES, ETC. SHALL BE NEW UNLESS OTHERWISE SPECIFIED. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- PROVIDE BLOCKING AS REQUIRED AT TOILETS, TUB/SHOWER FOR GRAB BARS, CLOSET SHELVING AND TOWEL BARS.
- C.C. TO CONFIRM WITH OWNER DESIRED FLOORING PRIOR TO CONSTRUCTION.
- PROVIDE SOUND BATT IN ALL INTERIOR WALLS AROUND RESTROOMS.

**WALL TYPES**

- SEE SHEET A-501
- SEE SHEET A-501
- SEE SHEET A-501

**FLOOR PLAN LEGEND**

- NEW 4" x 6" WD. INTERIOR STUD WALL
- NEW 4" WD. STUD WALL WITH EXTERIOR LAP SIDING
- NEW 4" WD. INTERIOR STUD WALL 1 HOUR RATING
- INDICATES PARTITION TYPE
- WINDOW TYPE
- ROOM NUMBER, SEE FINISH SCHEDULE
- DOOR SIZE

**WINDOW/ DOOR SCHEDULE**

DESCRIPTION	SIZE
(A) 2050	2'-0"x5'-0"
(B) 3060	3'-0"x6'-0"
(C) 3050	3'-0"x5'-0"
166B	1'-6"x6'-8" DR.
206B	2'-0"x6'-8" DR.
246B	2'-4"x6'-8" DR.
286B	2'-8"x6'-8" DR.
306B	3'-0"x6'-8" DR.
9070	9'-0"x7'-0" GARAGE DR.

NAME	AREA
FIRST FLOOR LIVING	634.0 SQ. FT.
SECOND FLOOR LIVING	882.0 SQ. FT.
TOTAL LIVING	1516.0 SQ. FT.
GARAGE	262.0 SQ. FT.
PORCH	36.0 SQ. FT.
TOTAL UNDER ROOF	1814.0 SQ. FT.

1. ALL INTERIOR DOORS ARE PRE-HUNG DOORS-SELECTED BY OWNER.

**A FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR
0		TEH	ISSUE FOR PERMITTING	PCD		

Sheet Title:  
FIRST FLOOR PLAN,  
NOTES, LEGEND  
AND WINDOW/DOOR  
SCHEDULE

Project Number:  
2020.21

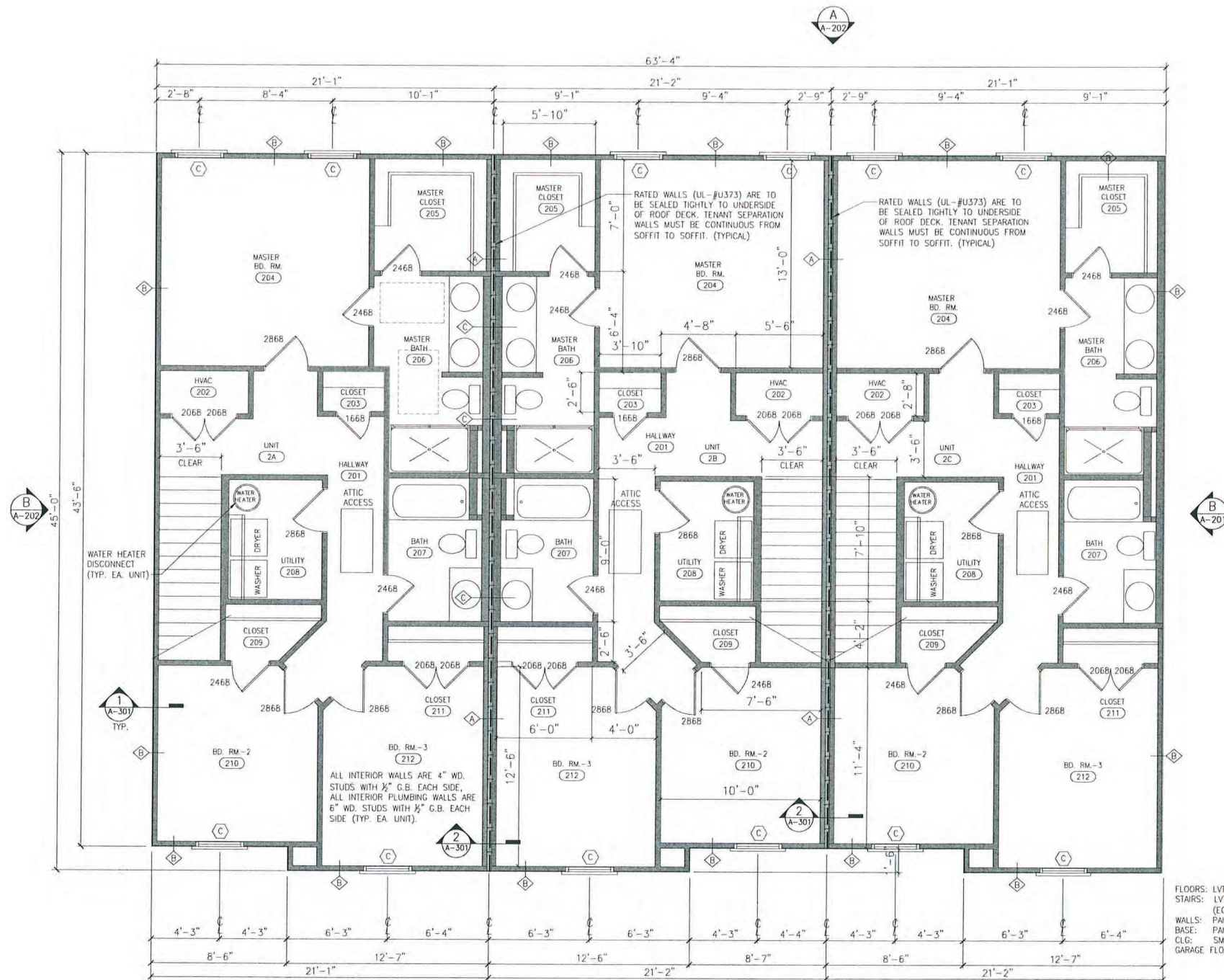
Date:  
May 11th, 2020

Drawn By:  
TEH

Checked By:  
PCD

Sheet No:

**A-101**



**GENERAL NOTES**

- DIMENSIONS ARE SHOWN TO FACE OF STUDWORK & TO CENTERLINE OF WINDOWS & EXTERNAL DOORS.
- ANY CHANGE IN LOCATION OF INTERIOR WALLS TO BE CONFIRMED WITH ARCHITECT BEFORE PROCEEDING.
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- PROVIDE BLOCKING AS REQUIRED AT TOILETS, TUB/SHOWER FOR GRAB BARS, CLOSET SHELVING AND TOWEL BARS.
- G.C. TO CONFIRM WITH OWNER DESIRED FLOORING PRIOR TO CONSTRUCTION.
- PROVIDE SOUND BATT IN ALL INTERIOR WALLS AROUND RESTROOMS.

**WALL TYPES**

- SEE SHEET A-501
- SEE SHEET A-501
- SEE SHEET A-501

**FLOOR PLAN LEGEND**

- NEW 4" x 6" WD. INTERIOR STUD WALL
- NEW 4" WD. STUD WALL WITH EXTERIOR LAP SIDING
- NEW 4" WD. INTERIOR STUD WALL 1 HOUR RATING
- INDICATES PARTITION TYPE
- WINDOW TYPE
- ROOM NUMBER, SEE FINISH SCHEDULE
- DOOR SIZE

**WINDOW/ DOOR SCHEDULE**

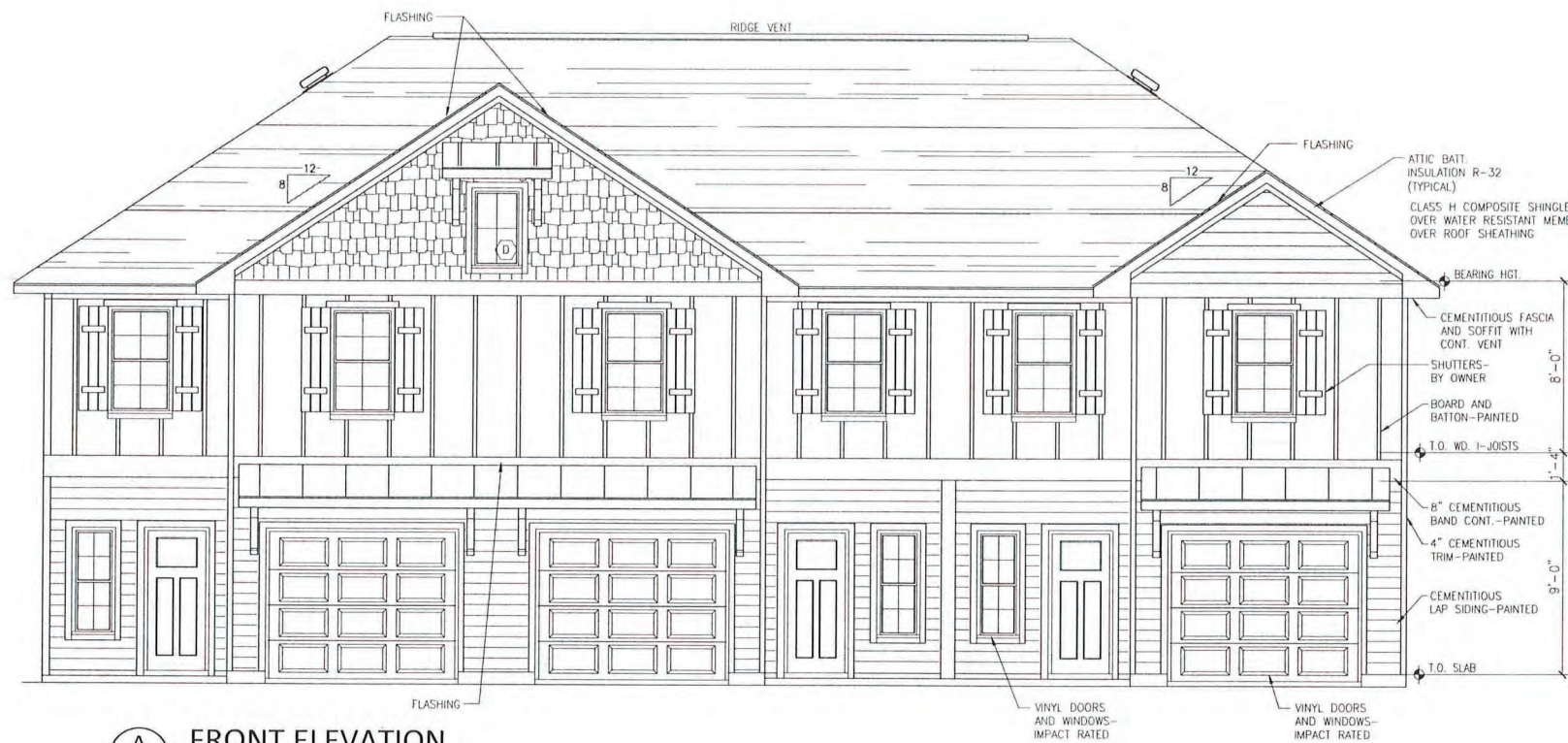
DESCRIPTION	SIZE
(A) 2050	2'-0"x5'-0"
(B) 3060	3'-0"x6'-0"
(C) 3050	3'-0"x5'-0"
1668	1'-6"x6'-8" DR.
2068	2'-0"x6'-8" DR.
2468	2'-4"x6'-8" DR.
2868	2'-8"x6'-8" DR.
3068	3'-0"x6'-8" DR.
9070	9'-0"x7'-0" GARAGE DR.

NAME	AREA
FIRST FLOOR LIVING	634.0 SQ. FT.
SECOND FLOOR LIVING	882.0 SQ. FT.
TOTAL LIVING	1516.0 SQ. FT.
GARAGE	262.0 SQ. FT.
PORCH	36.0 SQ. FT.
TOTAL UNDER ROOF	1814.0 SQ. FT.

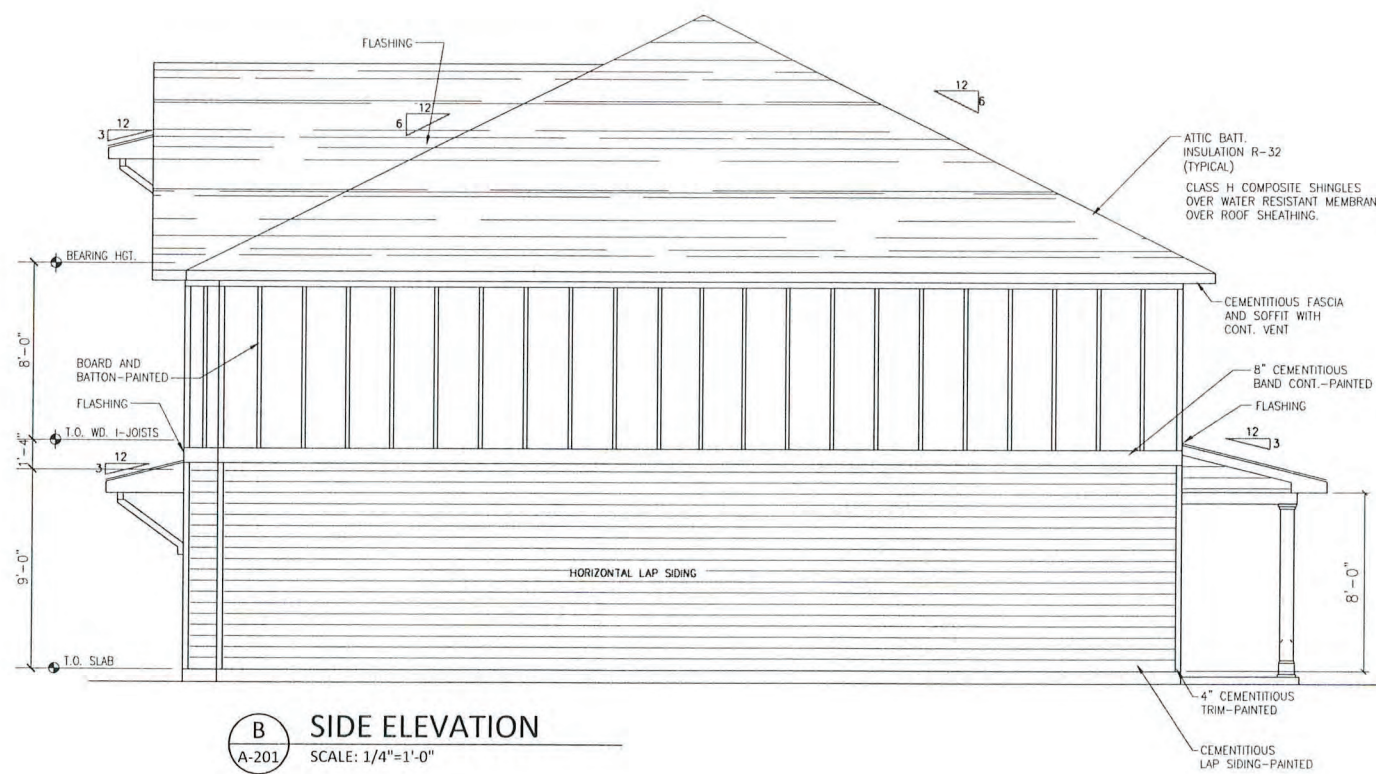
1. ALL INTERIOR DOORS ARE PRE-HUNG DOORS-SELECTED BY OWNER.

FLOORS: LVT  
STAIRS: LVT  
(EQUAL TO) ROKPLANK SPC VINYL PLANK  
WALLS: PAINTED GYP. - COLOR SELECTED BY OWNER  
BASE: PAINTED - SELECTED BY OWNER  
CLG: SMOOTH FINISH GYP. BD.  
GARAGE FLOOR: CONCRETE. FINISH SELECTED BY OWNER

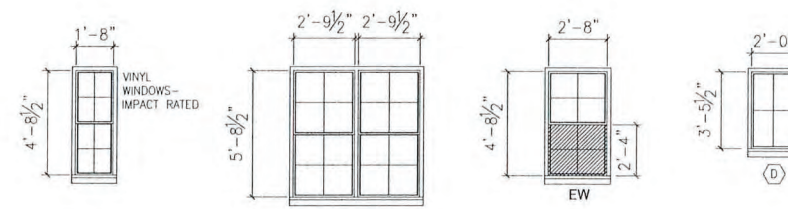
**A** SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



**A** FRONT ELEVATION  
A-201 SCALE: 1/4"=1'-0"

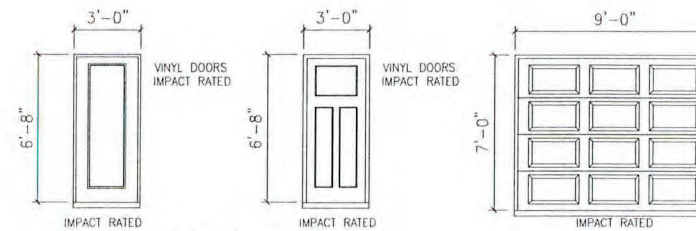


**B** SIDE ELEVATION  
A-201 SCALE: 1/4"=1'-0"



**WINDOW & FRAME TYPES**  
SCALE: 1/4" = 1'-0"

1. DP RATING OF 150 UNLESS OTHERWISE DIRECTED BY ENGINEER.
2. WINDOW SIZES ARE A ESTIMATE MEASUREMENT - CONTRACTOR TO VERIFY FRAME SIZE & ROUGH OPENING WHEN A MANUFACTURER IS CHOSEN
3. EXTERIOR WINDOWS ARE TO BE LOW-E.

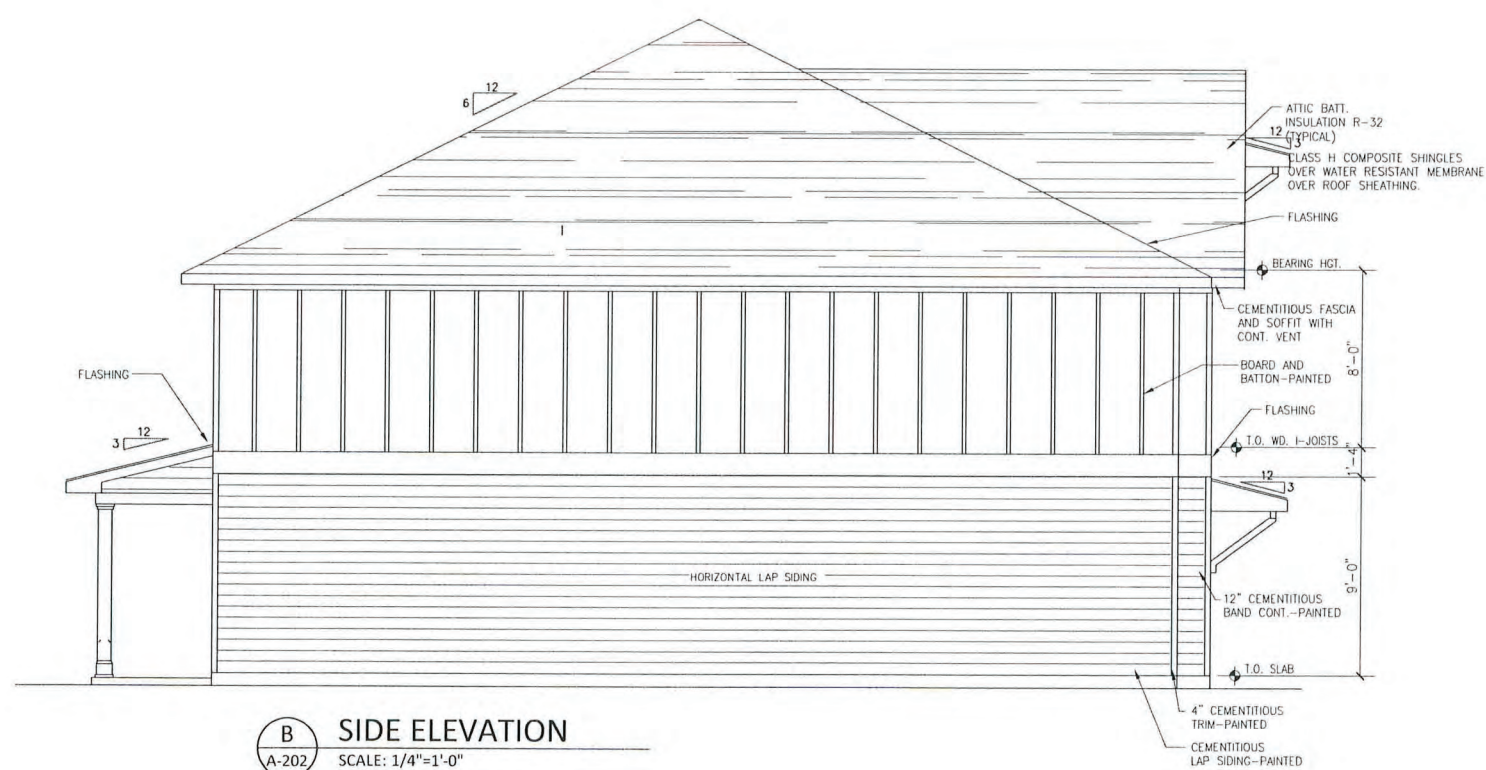


**DOOR TYPES**  
SCALE: 1/4"=1'-0"

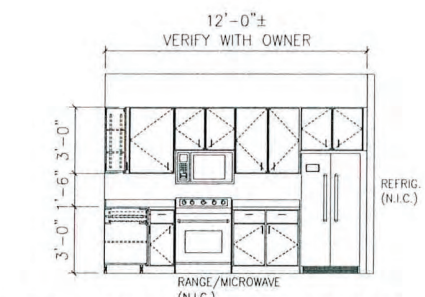
1. ALL EXTERIOR DOORS SHALL HAVE A DP RATING OF 50.
2. ALL INTERIOR DOORS ARE PRE-HUNG DOORS -SELECTED BY OWNER.



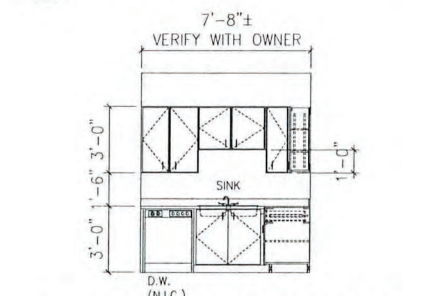
**A FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**B SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**1 INTERIOR ELEVATION**  
SCALE: 1/4"=1'-0"



**2 INTERIOR ELEVATION**  
SCALE: 1/4"=1'-0"

Olde Towne Investments LLC  
2210 Main Street STE C  
Daphne, AL 36526

DRAGONFLY COMMONS

Sheet Title:  
EXTERIOR ELEVATIONS

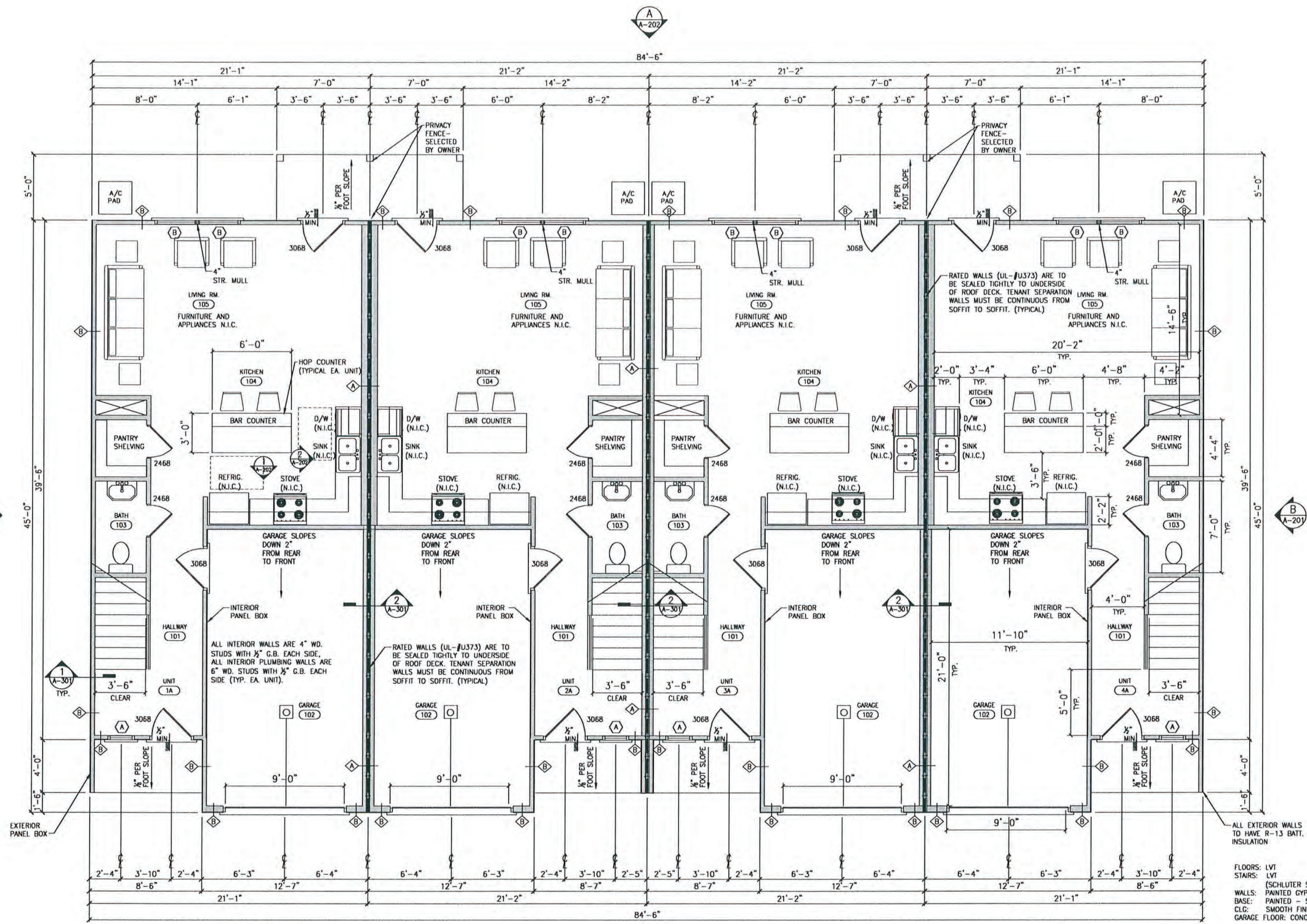
Project Number:  
2020.21

Date:  
May 11th, 2020

Drawn By:  
TEH

Checked By:  
PCD

Sheet No:  
**A-202**



**A-101** FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

NAME	AREA
FIRST FLOOR LIVING	634.0 SQ. FT.
SECOND FLOOR LIVING	882.0 SQ. FT.
TOTAL LIVING	1516.0 SQ. FT.
GARAGE	262.0 SQ. FT.
PORCH	36.0 SQ. FT.
TOTAL UNDER ROOF	1814.0 SQ. FT.

- GENERAL NOTES**
- DIMENSIONS ARE SHOWN TO FACE OF STUDWORK & TO CENTERLINE OF WINDOWS & EXTERNAL DOORS.
  - ANY CHANGE IN LOCATION OF INTERIOR WALLS TO BE CONFIRMED WITH ARCHITECT BEFORE PROCEEDING.
  - ALL MATERIALS, FIXTURES, ETC. SHALL BE NEW UNLESS OTHERWISE SPECIFIED. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
  - PROVIDE BLOCKING AS REQUIRED AT TOILETS, TUB/SHOWER FOR GRAB BARS, CLOSET SHELVING AND TOWEL BARS.
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**FLOOR PLAN LEGEND**

- NEW 4" x 6" WD. INTERIOR STUD WALL
- NEW 4" WD. STUD WALL WITH EXTERIOR LAP SIDING
- NEW 4" WD. INTERIOR STUD WALL 1 HOUR RATING
- INDICATES PARTITION TYPE
- WINDOW TYPE
- ROOM NUMBER. SEE FINISH SCHEDULE
- DOOR SIZE

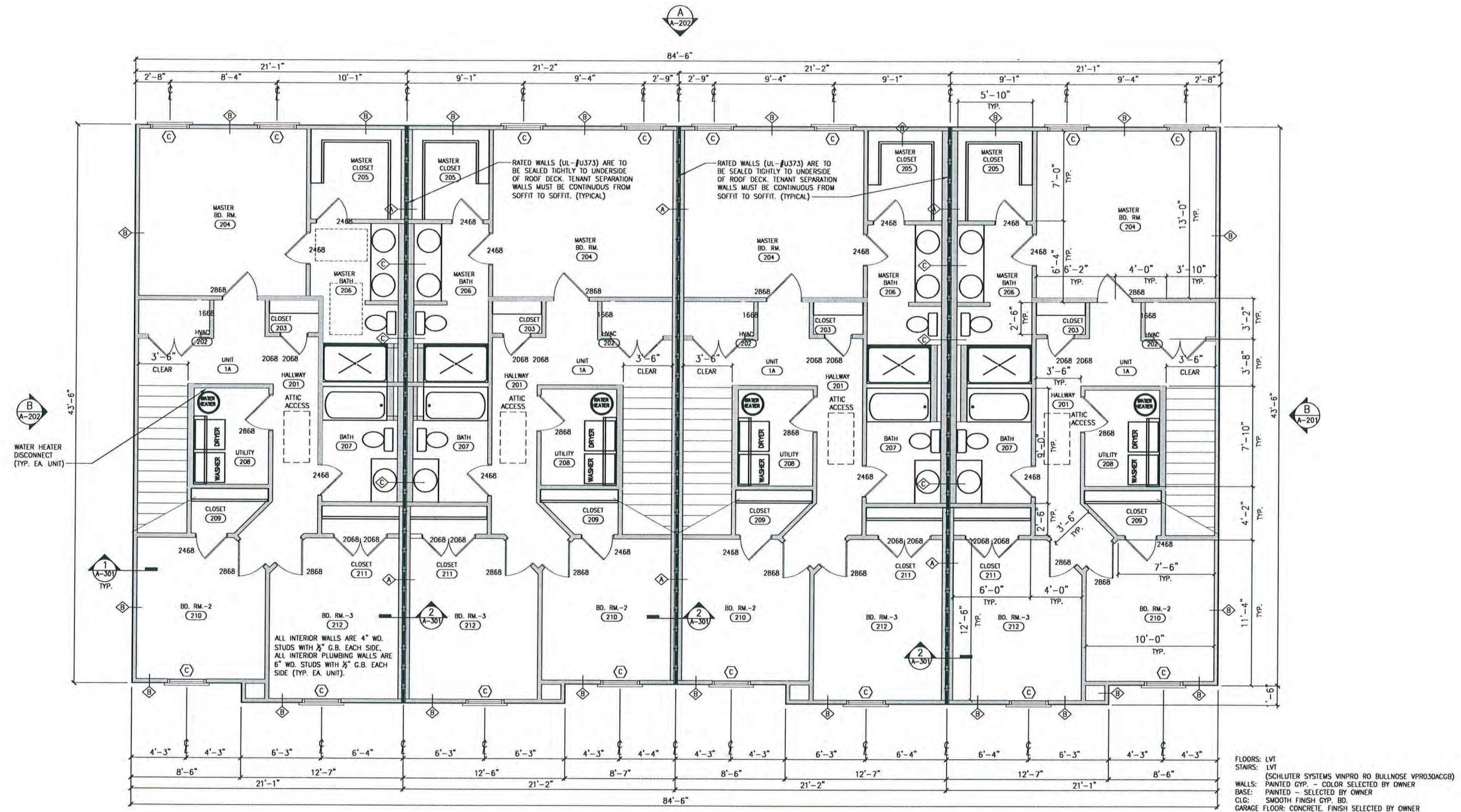
- WALL TYPES**
- SEE SHEET A-501
  - SEE SHEET A-501
  - SEE SHEET A-501
  - SEE SHEET A-501

**WINDOW/DOOR SCHEDULE**

DESCRIPTION	SIZE
(A) 2050	2'-0"x5'-0"
(B) 3060	3'-0"x6'-0"
(C) 3050	3'-0"x5'-0"
1668	1'-6"x6'-8" DR.
2068	2'-0"x6'-8" DR.
2468	2'-4"x6'-8" DR.
2868	2'-8"x6'-8" DR.
3068	3'-0"x6'-8" DR.
9070	9'-0"x7'-0" GARAGE DR.

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FLOORS: LVT  
STAIRS: LVT  
WALLS: PAINTED GYP. - COLOR SELECTED BY OWNER  
BASE: PAINTED - SELECTED BY OWNER  
CLC: SMOOTH FINISH GYP. BD.  
GARAGE FLOOR: CONCRETE. FINISH SELECTED BY OWNER



FLOORS: LVT  
STAIRS: LVT  
(SCHLUTER SYSTEMS VINPRO RO BULLNOSE VPRO30ACGB)  
WALLS: PAINTED GYP. - COLOR SELECTED BY OWNER  
BASE: PAINTED - SELECTED BY OWNER  
CLG: SMOOTH FINISH GYP. BD.  
GARAGE FLOOR: CONCRETE. FINISH SELECTED BY OWNER

**A**  
A-102  
**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

NAME	AREA
FIRST FLOOR LIVING	634.0 SQ. FT.
SECOND FLOOR LIVING	882.0 SQ. FT.
TOTAL LIVING	1516.0 SQ. FT.
GARAGE	262.0 SQ. FT.
PORCH	36.0 SQ. FT.
TOTAL UNDER ROOF	1814.0 SQ. FT.

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- NEW 4" WD. INTERIOR STUD WALL 1 HOUR RATING
- INDICATES PARTITION TYPE
- WINDOW TYPE
- ROOM NUMBER, SEE FINISH SCHEDULE
- DOOR SIZE

**WALL TYPES**

- SEE SHEET A-501
- SEE SHEET A-501
- SEE SHEET A-501
- SEE SHEET A-501

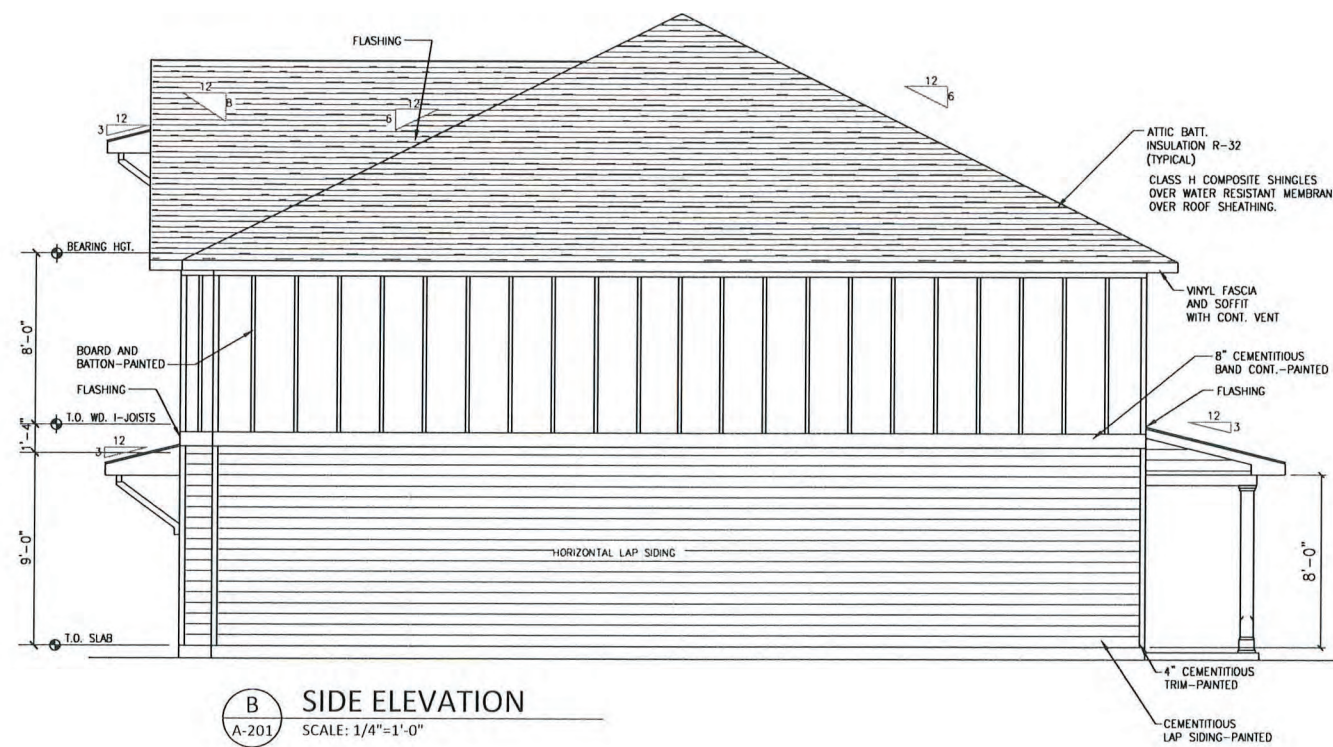
**WINDOW/DOOR SCHEDULE**

DESCRIPTION	SIZE
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(C) 3050	3'-0" x 5'-0"
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2068	2'-0" x 6'-8" DR.
2468	2'-4" x 6'-8" DR.
2868	2'-8" x 6'-8" DR.
3068	3'-0" x 6'-8" DR.
9070	9'-0" x 7'-0" GARAGE DR.

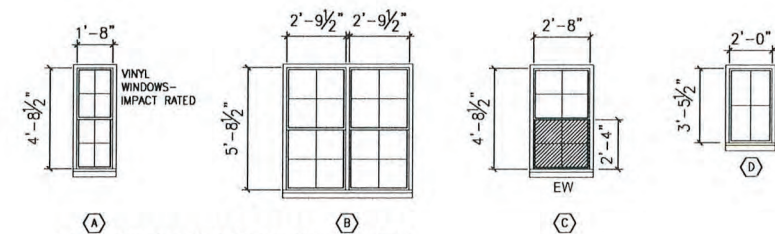
1. ALL INTERIOR DOORS ARE PRE-HUNG DOORS-SELECTED BY OWNER.



**A** FRONT ELEVATION  
A-201 SCALE: 1/4"=1'-0"

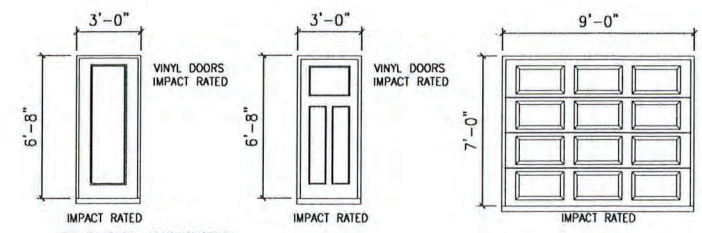


**B** SIDE ELEVATION  
A-201 SCALE: 1/4"=1'-0"



**WINDOW & FRAME TYPES**  
SCALE: 1/4" = 1'-0"

1. DP RATING OF ±50 UNLESS OTHERWISE DIRECTED BY ENGINEER.
2. WINDOW SIZES ARE A ESTIMATE MEASUREMENT - CONTRACTOR TO VERIFY FRAME SIZE & ROUGH OPENING WHEN A MANUFACTURER IS CHOSEN.
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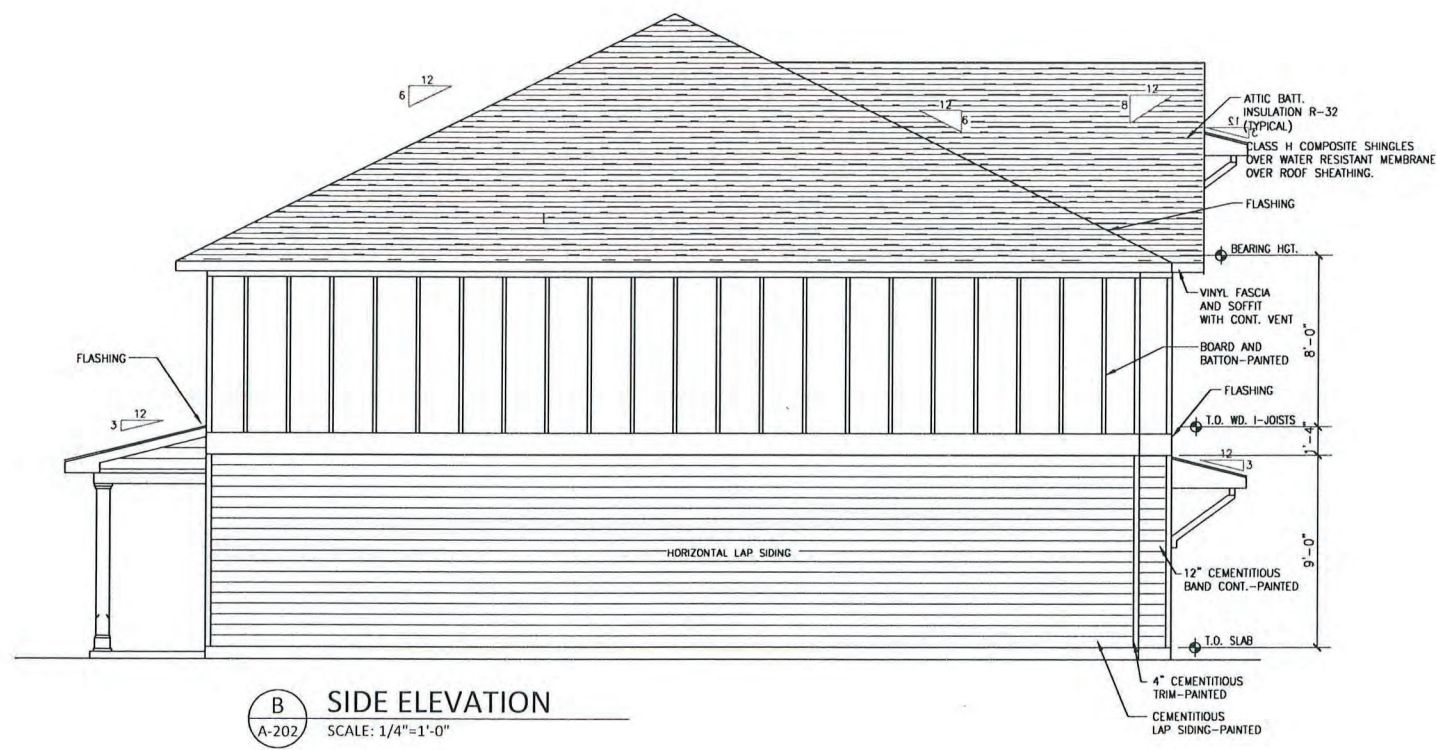
**DOOR TYPES**  
SCALE: 1/4"=1'-0"

1. ALL EXTERIOR DOORS SHALL HAVE A DP RATING OF 50.
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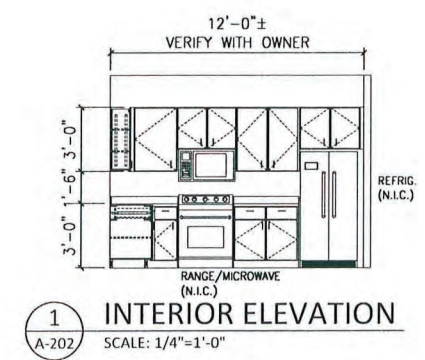




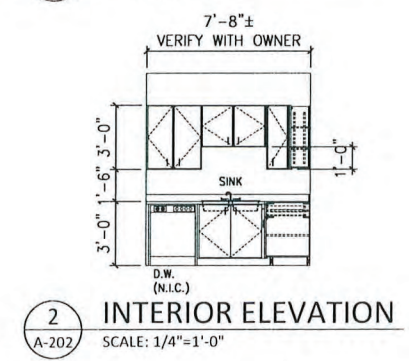
**A FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**B SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**1 INTERIOR ELEVATION**  
SCALE: 1/4"=1'-0"



**2 INTERIOR ELEVATION**  
SCALE: 1/4"=1'-0"

OLDE TOWNE INVESTMENTS LLC  
2210 Main Street STE C  
Daphne, AL 36526

**DRAGONFLY COMMONS**  
4 - Plex

Sheet Title  
**EXTERIOR ELEVATIONS**

Project Number:  
2020.04

Date:  
January 22nd, 2020

Drawn By:  
TEH

Checked By:  
PCD

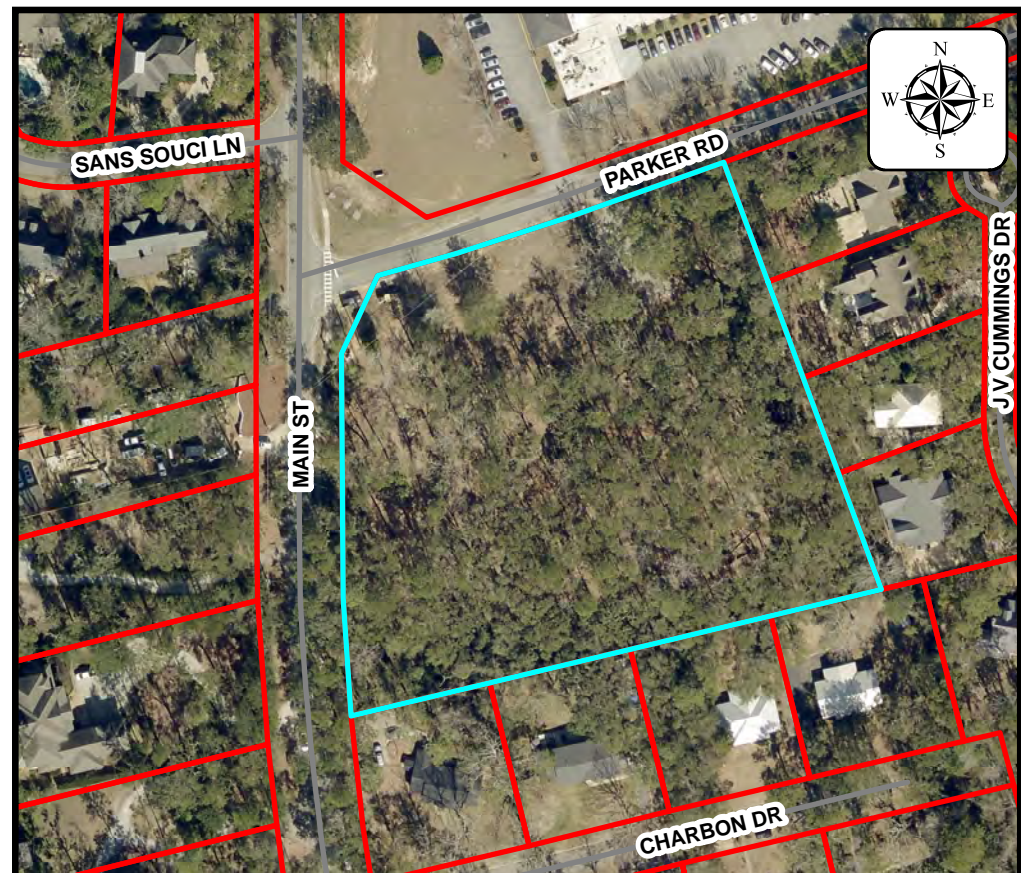
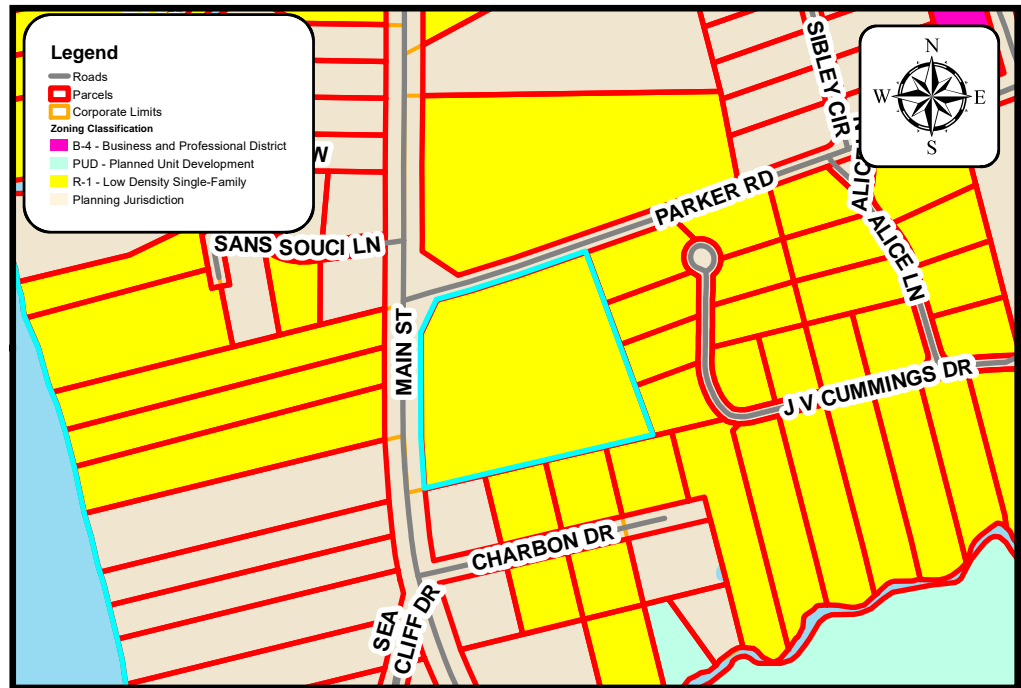
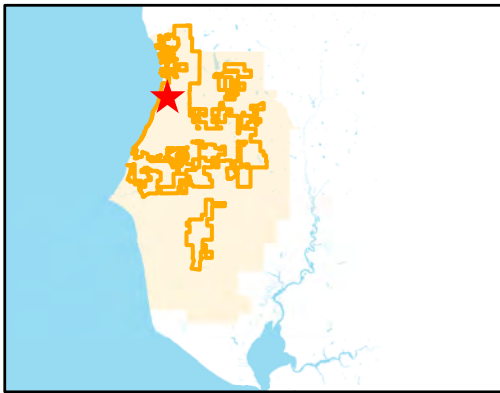
Sheet No:  
**A-202**

# City of Fairhope Planning Commission

March 6, 2023



## SD 23.08 - Parker Place



<b>Project Name:</b>	Parker Place
<b>Site Data:</b>	3.80 acres
<b>Project Type:</b>	4-Lot Minor Subdivision
<b>Jurisdiction:</b>	Fairhope Planning Jurisdiction
<b>Zoning District:</b>	R-1
<b>PPIN Number:</b>	11947
<b>General Location:</b>	Southeast intersection of Main Street and Parker Road
<b>Surveyor of Record:</b>	Dewberry
<b>Engineer of Record:</b>	Dewberry
<b>Owner / Developer:</b>	Live Oak Properties, LLC
<b>School District:</b>	Fairhope Elementary School Fairhope Middle and High Schools
<b>Recommendation:</b>	Approve with Conditions
<b>Prepared by:</b>	Mike Jeffries



**APPLICATION FOR SUBDIVISION PLAT APPROVAL**

Application Type:     Village Subdivision                       Minor Subdivision                       Informal (No Fee)  
                                   Preliminary Plat                                       Final Plat                                       Multiple Occupancy Project

Attachments:                       Articles of Incorporation or List all associated investors

Date of Application: 1/23/2023

Property Owner / Leaseholder Information		
Name of Property Owner:	<u>Live Oak Properties, LLC</u>	Phone Number: <u>251-278-4720</u>
Address of Property Owner:	<u>561 Fairhope Ave, Ste. 201</u>	
City: <u>Fairhope</u>	State: <u>AL</u>	Zip: <u>36532</u>

Proposed Subdivision Name: Parker Place

No. Acres in Plat: 3.80 acres                      No. Lots/Units: 4 LOTS

Parcel No: 05-46-03-07-0-000-018.000                      Current Zoning: R-1

Authorized Agent Information		
<small>Plat must be signed by the property owner before acceptance by the City of Fairhope</small>		
Name of Authorized Agent:	<u>Dewberry Engineers</u>	Phone Number: <u>251-929-9801</u>
Address:	<u>25353 Friendship Road</u>	
City: <u>Daphne</u>	State: <u>AL</u>	Zip: <u>36526</u>
Contact Person:	<u>Cathy S. Barnette</u>	

Surveyor/Engineer Information		
Name of Firm:	<u>Dewberry Engineers, Inc.</u>	Phone Number: <u>251-929-9801</u>
Address:	<u>25353 Friendship Road</u>	
City: <u>Daphne</u>	State: <u>AL</u>	Zip: <u>36526</u>
Contact Person:	<u>Victor Germain</u>	

Plat Fee Calculation:  
 Reference: Ordinance 1269

Signatures:  
 I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Chris Haley, Live Oak Properties, LLC  
 Property Owner/Leaseholder Printed Name  
1/23/2023  
 Date

*Chris Haley*  
 Signature  
 Fairhope Single Tax Corp. (If Applicable)

**RECEIVED**  
**JAN 24 2023**

BY: *Mr. Miller*  
*1st submitted*

**Summary of Request:**

The owner is Live Oak Properties, LLC. Dewberry Engineers is the applicant for the project. This application is for a 4-lot minor subdivision located on the Southeast corner of Parker Rd. and Main St. Subject property is zoned R-1 and approximately 3.80 acres. The site data table is included below:

SITE DATA

DEVELOPMENT SUMMARY

TOTAL ACREAGE: 3.80 ACRES  
DENSITY: 1.05 UNITS PER ACRE  
ZONING: R-1  
TOTAL LOTS: 4  
AVERAGE INDIVIDUAL LOT SIZE= 0.948 ACRES

SETBACKS

FRONT: 40 FEET  
BACK: 35 FEET  
SIDES: 10 FEET  
CORNER: 20 FEET  
UNLESS OTHERWISE NOTED

UTILITY PROVIDERS:

ELECTRIC: RIVIERA UTILITIES  
WATER: DAPHNE UTILITIES  
SEWER: CITY OF FAIRHOPE  
GAS: CITY OF FAIRHOPE  
TELEPHONE: AT&T

**General Comments:**

All lots are within 450 feet of a fire hydrant, front on a publicly maintained road, and meet the lot size requirements. Lots 1, 2, and 3 front on Main St. (Scenic 98) and Lot 4 fronts on Parker Rd. Sidewalks exist along Main St. and will have to be installed along Parker Rd. Lot 1 and Lot 4 will utilize a common drive easement on Parker Rd. for access.

**Drainage Comments:**

The existing flow patterns are not being changed.

**Utility Comments:**

Electric is provided by Riviera Utilities  
Water is provided by Daphne Utilities  
Gas and sewer are provided by Fairhope  
Telephone is provided by AT&T

**Connectivity:**

A sidewalk along Parker Rd. is required to connect to the existing sidewalk on Main St. and extend east to the end of the property line.

**Comments:**

*The City of Fairhope Subdivision Regulations contain the following criteria in Article V.B.2. Approval Standards.*

***“2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:***

***a. The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;***

- Meets

***b. The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;***

- Meets

***c. The proposed subdivision is not consistent with these Regulations;***

- meets

***d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;***

- Meets

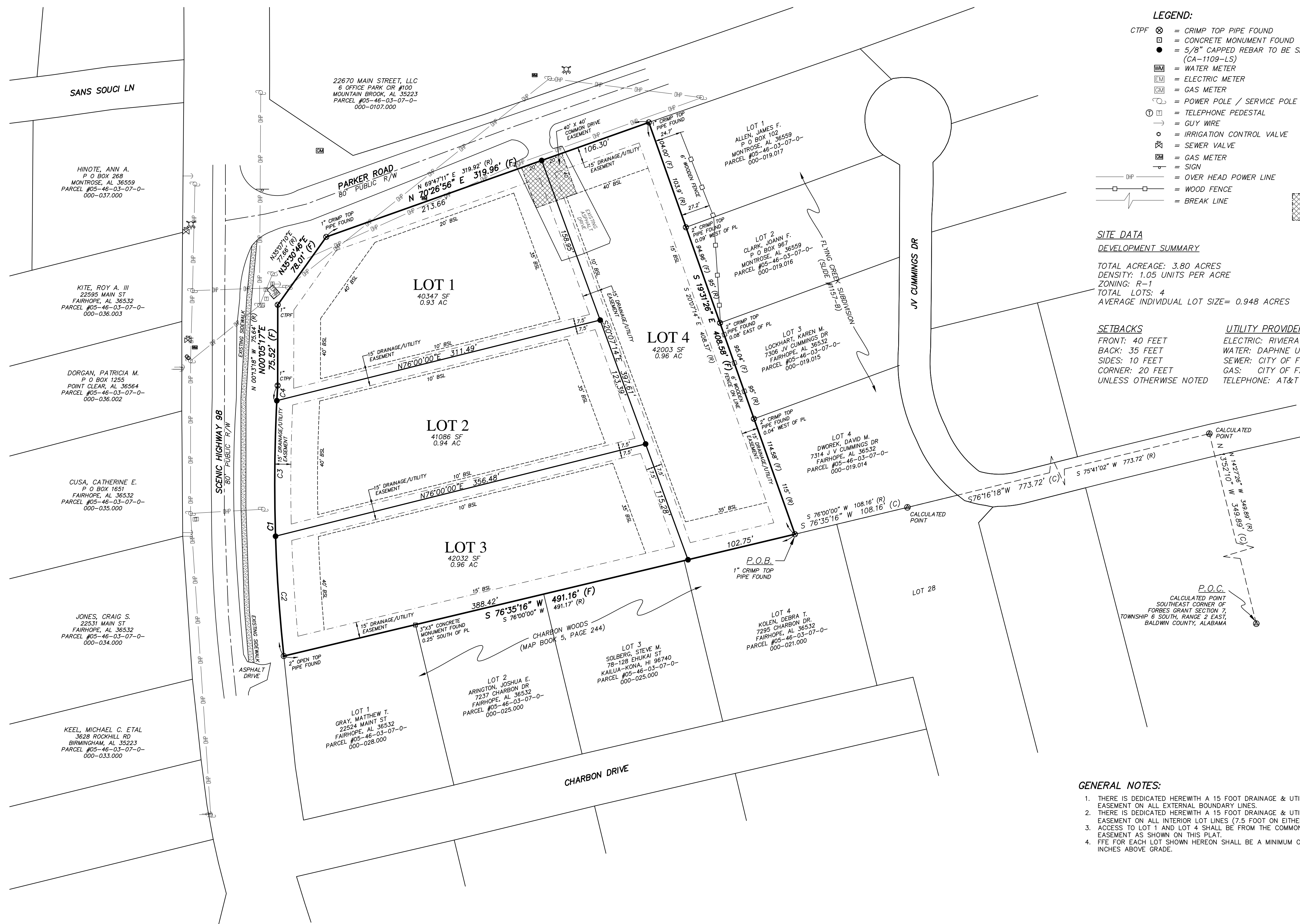
***e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”***

- Meets

**Recommendation:**

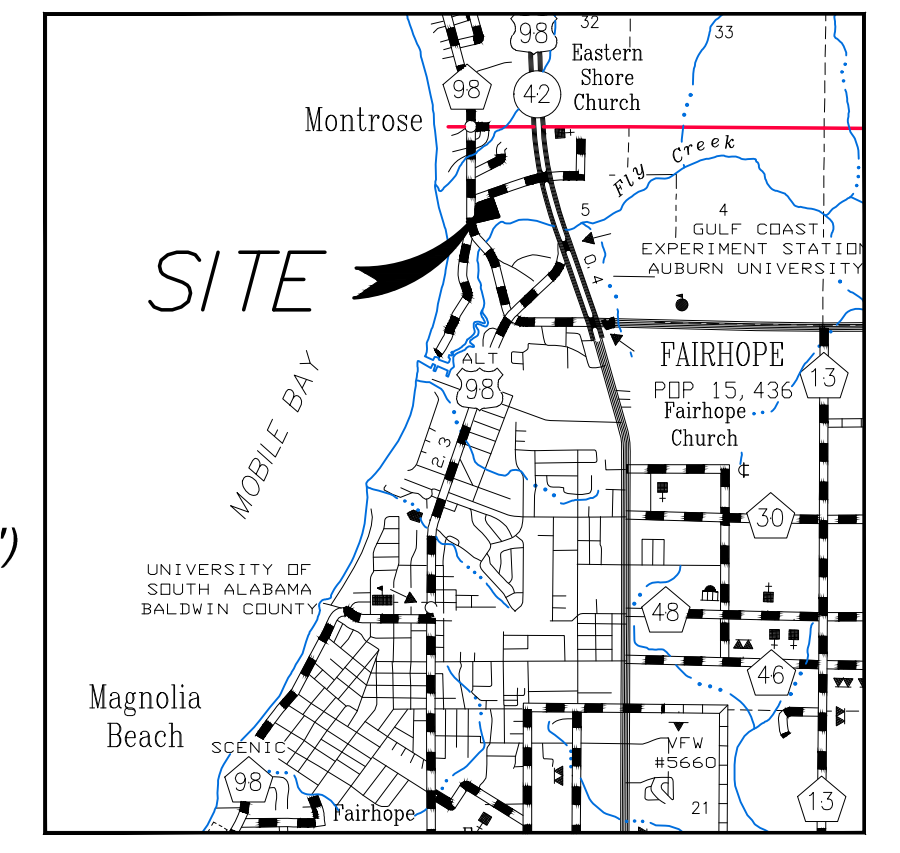
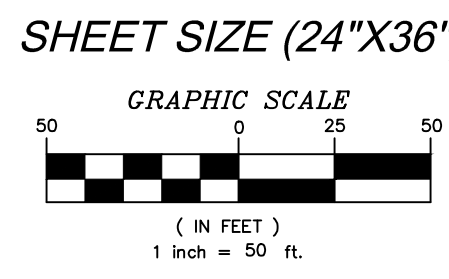
Staff recommends approval of SD 23.08 Parker Place Subdivision with the following conditions:

1. A sidewalk be installed along Parker Rd. connecting to the sidewalk on Main St.



- LEGEND:**
- CTPF = CRIMP TOP PIPE FOUND
  - = CONCRETE MONUMENT FOUND
  - = 5/8" CAPPED REBAR TO BE SET (CA-1109-LS)
  - ⊕ = WATER METER
  - ⊖ = ELECTRIC METER
  - ⊙ = GAS METER
  - ⊕ = POWER POLE / SERVICE POLE
  - ⊕ = TELEPHONE PEDESTAL
  - ⊕ = GUY WIRE
  - ⊕ = IRRIGATION CONTROL VALVE
  - ⊕ = SEWER VALVE
  - ⊕ = GAS METER
  - ⊕ = SIGN
  - = OVER HEAD POWER LINE
  - = WOOD FENCE
  - = BREAK LINE

- (R) = RECORDED BEARING AND DISTANCE
- (F) = MEASURED BEARING AND DISTANCE
- (C) = CALCULATED BEARING AND DISTANCE
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- R/W = RIGHT OF WAY
- BSL = BUILDING SETBACK LINE
- RCP = REINFORCED CONCRETE PIPE
- PL = PROPERTY LINE
- ± = MORE OR LESS
- ⊕ = EXISTING FIRE HYDRANT
- FFE = FINISH FLOOR ELEVATION
- ⊕ = 40' X 40' COMMON DRIVE EASEMENT



**SITE DATA**

**DEVELOPMENT SUMMARY**

TOTAL ACREAGE: 3.80 ACRES  
 DENSITY: 1.05 UNITS PER ACRE  
 ZONING: R-1  
 TOTAL LOTS: 4  
 AVERAGE INDIVIDUAL LOT SIZE= 0.948 ACRES

**SETBACKS**

FRONT: 40 FEET  
 BACK: 35 FEET  
 SIDES: 10 FEET  
 CORNER: 20 FEET  
 UNLESS OTHERWISE NOTED

**UTILITY PROVIDERS:**

ELECTRIC: RIVIERA UTILITIES  
 WATER: DAPHNE UTILITIES  
 SEWER: CITY OF FAIRHOPE  
 GAS: CITY OF FAIRHOPE  
 TELEPHONE: AT&T

**SURVEYOR/ENGINEER**  
 DEWBERRY  
 25353 FRIENDSHIP ROAD, DAPHNE, AL  
 VICTOR L. GERMAIN, PLS LIC. NO. 38473  
 JASON N. ESTES, PE LIC. NO. 22714

**OWNER/DEVELOPER**  
 LIVE OAK PROPERTIES LLC  
 PARCEL NO. 05-46-03-07-0-000-018.000

**CURVE TABLE (MEASURED)**

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1527.00'	253.28'	N01°17'48"W	252.99'
C2	1527.00'	112.39'	N03°56'24"W	112.36'
C3	1527.00'	126.79'	N00°32'50"E	126.75'
C4	1527.00'	14.10'	N03°11'26"E	14.10'

**CURVE TABLE (RECORDED)**

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1527.00'	253.00'	N01°55'38"W	252.71'

**FLOOD CERTIFICATE:**

THIS PROPERTY SHOWN HEREON IS IN ZONE "X" (UNSHADED) AS SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP NUMBER 01003C0642M, COMMUNITY-PANEL NUMBER 010006, CITY OF FAIRHOPE, ALABAMA DATED APRIL 19, 2019.

**SURVEYOR'S NOTES:**

- ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH ALABAMA STANDARDS OF PRACTICE.
- THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
- THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
- BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES.
- THE BEARINGS SHOWN HEREON ARE BASED UPON GPS OBSERVATION. LOCAL DATA IS REFERENCED TO GEODETIC NORTH AS ESTABLISHED BY GPS OBSERVATIONS: HORIZONTAL DATUM: NAD83 ALABAMA STATE PLANE WEST ZONE. VERTICAL DATUM: NAVD83.
- SURVEY WAS CONDUCTED ON OCTOBER 18TH, 2022; AND IS RECORDED IN FIELD BOOK #336, AT PAGE 3, AND IN AN ELECTRONIC DATA FILE.
- THIS SURVEY IS BASED UPON MONUMENTATION FOUND IN PLACE AND DOES NOT PURPORT TO BE A RETRACEMENT AND PROPORTIONING OF THE ORIGINAL GOVERNMENT SURVEY.
- THIS PROPERTY MAY BE SUBJECT TO BUILDING SETBACKS AND OTHER RESTRICTIONS BY GOVERNING BODY.
- UNLESS NOTED, ALL NON-LABELED PROPERTY LINES ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT IN DIRECT RELATION WITH THE SUBJECT PROPERTY DISPLAYED UPON THIS PLAT.
- DEED AND PLAT REFERENCES INCLUDE: INSTRUMENT NUMBER 1118827, CHARBON WOODS, MAP BOOK 5, PAGE 244; FLYING CREEK SUBDIVISION, SLIDE 1157-B, ALL RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE COURT IN BALDWIN COUNTY, ALABAMA, UNRECORDED BOUNDARY SURVEY PERFORMED BY D. SCOTT CARRIER FOR REMAX REALTY DATED 03-31-08 PROVIDED TO DEWBERRY BY THE CLIENT, AND AN UNRECORDED SUBDIVISION EXHIBIT PERFORMED BY SMITH-CLARK AND ASSOCIATES FOR HALEY DEVELOPMENT DATED 06-08-22 PROVIDED TO DEWBERRY BY THE CLIENT.
- I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

**SURVEYOR'S CERTIFICATE:**

STATE OF ALABAMA  
 COUNTY OF BALDWIN

I, VICTOR GERMAIN, A LICENSED SURVEYOR OF BALDWIN COUNTY, ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE BELOW DESCRIBED PROPERTY SITUATED IN BALDWIN COUNTY, ALABAMA:

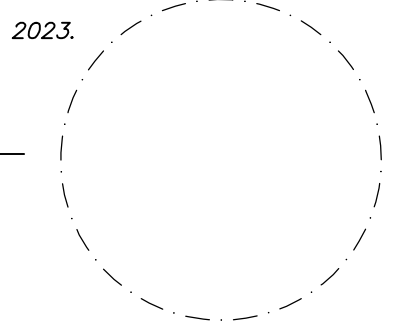
"FROM THE SOUTHWEST CORNER OF FORBES GRANT SECTION 7, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY ALABAMA; RUN THENCE NORTH 14 DEGREES 27 MINUTES 26 SECONDS WEST, 349.89 FEET; THENCE RUN SOUTH 75 DEGREES 41 MINUTES 02 SECONDS WEST, 773.72 FEET TO THE NORTHEAST CORNER OF LOT 4 CHARBON WOODS SUBDIVISION; THENCE RUN SOUTH 76 DEGREES 00 MINUTES WEST, ALONG THE NORTH SIDE OF SAID SUBDIVISION, 108.18 FEET TO A CRIMP TOP IRON PIPE; THENCE CONTINUE TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 76 DEGREES 00 MINUTES WEST, ALONG THE NORTH SIDE OF SAID SUBDIVISION, 491.17 FEET TO AN IRON PIPE ON THE EAST RIGHT-OF-WAY LINE OF SCENIC HIGHWAY NUMBER 98; THENCE RUN NORTHWARDLY ALONG A CURVE TO THE RIGHT, 253 FEET, MORE OR LESS, (CHORD BEARS NORTH 01 DEGREES 55 MINUTES 38 SECONDS WEST, 252.71 FEET) TO A POINT; THENCE RUN NORTH 00 DEGREES 13 MINUTES 18 SECONDS WEST, 75.64 FEET TO A CRIMP TOP IRON PIPE; THENCE RUN NORTH 35 DEGREES 07 MINUTES 10 SECONDS EAST, 77.66 FEET TO A CRIMP TOP IRON PIPE ON THE SOUTH RIGHT-OF-WAY OF PARKER ROAD; THENCE RUN NORTH 69 DEGREES 47 MINUTES 11 SECONDS EAST, 319.92 FEET TO A CRIMP TOP IRON PIPE; THENCE RUN SOUTH 20 DEGREES 07 MINUTES 14 SECONDS EAST, 408.37 FEET TO THE POINT OF BEGINNING."

(DESCRIPTION COPIED FROM INSTRUMENT #1118827, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA)

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, GIVING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS, SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO SURVEYED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS AS HEREON SHOWN.

WITNESS MY HAND THIS 21TH DAY OF FEBRUARY, 2023.

SURVEYOR: \_\_\_\_\_ DRAFT FOR REVIEW  
 ALABAMA LICENSE # 38473



**CERTIFICATE OF APPROVAL BY THE CITY OF FAIRHOPE: (SEWER)**

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY THE CITY OF FAIRHOPE: (GAS)**

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION OF THE CITY OF FAIRHOPE, ALABAMA**

APPROVED BY THE CITY OF FAIRHOPE PLANNING COMMISSION. BY APPROVAL OF THIS SUBDIVISION PLAT THE PLANNING COMMISSION OF THE CITY OF FAIRHOPE ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THE PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP**

I, \_\_\_\_\_ AS PROPRIETOR(S), HAVE CAUSED THE LAND EMBRACED IN THE WITHIN PLAT TO BE SURVEYED, LAID OUT AND PLATTED TO BE KNOWN AS PARKER PLACE, A PART OF FORBES GRANT SECTION 7, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA, AND THAT THE EASEMENTS AS SHOWN ON SAID PLAT ARE HEREBY DEDICATED TO THE USE OF THE PUBLIC.

OWNER: LIVE OAK PROPERTIES, LLC

BY: \_\_\_\_\_ DATE \_\_\_\_\_

ITS: \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY TELEPHONE (AT&T):**

THE UNDERSIGNED, AS AUTHORIZED BY AT&T HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES: (ELECTRIC)**

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY THE PLANNING DIRECTOR OF FAIRHOPE, ALABAMA**

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE PLANNING COMMISSION, HEREBY APPROVES THE WITHIN RE-PLAT OF THE RECORDING OF THE SAME IN THE OFFICIAL OF THE JUDGE OF PROBATE OF BALDWIN COUNTY, ALABAMA. BY APPROVAL OF THIS PLAT THE PLANNING DIRECTOR OF FAIRHOPE ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

PLANNING DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATE OF NOTARY PUBLIC**

STATE OF ALABAMA  
 COUNTY OF BALDWIN

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE COUNTY OF \_\_\_\_\_, IN THE STATE OF ALABAMA DO CERTIFY THAT WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE CERTIFICATION OF OWNERSHIP AND DEDICATION, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT HE/SHE (THEY) SIGNED, SEALED AND DELIVERED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT HE/SHE (THEY) SIGNED, SEALED AND DELIVERED SAID INSTRUMENT AT HIS/HER (THEIR) FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

NOTARY PUBLIC \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY DAPHNE UTILITIES: (WATER)**

THE UNDERSIGNED, AS AUTHORIZED BY DAPHNE UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_

# PARKER PLACE

PRELIMINARY - FINAL PLAT  
 FEBRUARY 21, 2023 - SHEET 1 OF 1

BOUNDARY SURVEY AND PLAT OF SUBDIVISION					
DESIGN	N/A	DRAWN	H.B.P./V.L.G.	CHKD.	V.L.G.
ENG	J.N.E.	SURVEYOR	V.L.G.	PROJ MGR	J.N.E.
				SCALE	1"=50'
				PROJ. NO.	-
				FILE	50157517 - PARKER ROAD PLAT
				SHEET	1 OF 1



# PARKER PLACE (AERIAL EXHIBIT)



AERIAL EXHIBIT			
DESIGN	N/A	DRAWN H.B.P./V.L.G.	CHKD. V.L.G.
ENG	J.N.E.	SURVEYOR V.L.G.	PROJ MGR J.N.E.
		SCALE	1"=50'
		PROJ. NO.	-
11553 FRIENDSHIP ROAD Daphne, AL 36526 251.990.9950 Fax 251.990.9495		FILE	50157517 - PARKER ROAD PLAT
		SHEET	1 of 1





**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION TO AMEND THE CITY OF FAIRHOPE,  
ALABAMA SUBDIVISION REGULATIONS**

**WHEREAS**, the City of Fairhope Planning Commission (the “Planning Commission”) adopted the current Subdivision Regulations for the City of Fairhope, Alabama on March 8, 2007 (the “Subdivision Regulations”); and

**WHEREAS**, the Planning Commission desires to amend the Subdivision Regulations as hereinafter provided.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF FAIRHOPE, ALABAMA, AS FOLLOWS:

1. APPENDIX I – Certificates of Approval be amended as shown on Exhibit A.
2. Furthermore, Planning Commission grants authority to the Planning Director to make future edits to APPENDIX I as needed on behalf of the Planning Commission.
3. This Resolution shall be effective from and after its adoption by the Planning Commission.

Adopted at a properly called meeting of the Planning Commission of the City of Fairhope, Alabama this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

---

Lee Turner, Chairman

**APPENDIX I**

**SAMPLE CERTIFICATES FOR FINAL SUBDIVISION PLATS**

SURVEYOR'S CERTIFICATE AND DESCRIPTION OF LAND PLATTED

STATE OF ALABAMA

COUNTY OF BALDWIN

I, (name of surveyor) , a registered Engineer-Surveyor of (name of county ), Alabama, hereby certify that I have surveyed the below described property situated in Baldwin County, Alabama:

**(Insert Legal Description)**

And that the plat or map contained hereon is a true and correct map showing the subdivision into which the property described is divided, giving the length and bearings of the boundaries of each lot and showing the easements, streets, alleys and public grounds and giving the bearings, length, width and name of the streets. Said map further shows the relation of the land so platted to the Government Survey, and that permanent monuments have been placed at points as hereon shown.

WITNESS my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

(Name of Surveyor)  
Registration #

---

OWNERSHIP & DEDICATION

I/We (land owner or developer, address), as ~~proprietor(s)~~ **Subdivider(s)**, have caused the land embraced in the within plat to be surveyed, laid out and platted to be known as (Subdivision Name), a part of (Section Call Out), Baldwin County, Alabama, and that the (Streets, Drives, Alleys, Easements, etc.) as shown on said plat are hereby dedicated to the use of the public.

\_\_\_\_\_  
Property Owner/**Subdivider**

Signed and sealed in the presence of:

\_\_\_\_\_  
Witness

\*\*\*Commentary (do not place on plat)

When the Subdivider is not the land owner, two or more Dedication Certificates may appear on the plat in order to allow for the signatures of both the Owner and the Subdivider to be fixed to said Plat.\*\*\*

---

\*\*\*Commentary (do not place on plat)

Approval by the County Engineer is required when a Subdivision, or a portion thereof, is adjacent to a right-of-way maintained by Baldwin County.\*\*\*

CERTIFICATE OF APPROVAL BY THE COUNTY ENGINEER

The undersigned, as County Engineer of Baldwin County, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_.

County Engineer:

---

FLOOD STATEMENT

The property shown hereon is in zone “\_\_\_” as scaled from the Federal Emergency Management Agency, National Flood Insurance Program, Flood Insurance Rate Map, Community-Panel Number(s) \_\_\_\_\_, City of Fairhope, Alabama dated \_\_\_\_\_.

---

WETLAND NOTICE

Purchasers are on notice that improvement of property encumbered by wetlands may require separate permitting by City, County, Federal and/or State authorities under such law and regulations governing wetlands as may be in effect at the time of permitting.

---

Airport Overlay District Zone

All lots of this subdivision are located within the Airport Overlay District and shall be subject to the provisions of Ordinance No. 1138 and Ordinance No. 1140 or to the provisions of any superseding ordinance or amendment thereto.

---

CERTIFICATE OF APPROVAL BY (name of utility provider)

The undersigned, as authorized by the (name of electric, water, or sewer utility) hereby approves the within Plat for the recording of same in the Probate Office of Baldwin County, Alabama, this \_\_\_\_\_ day of , 20\_\_ .

\_\_\_\_\_  
(authorized signature)

---

CERTIFICATE OF APPROVAL BY THE  
PLANNING COMMISSION OF THE CITY OF FAIRHOPE, ALABAMA

APPROVED by the City of Fairhope Planning Commission. By approval of this Plat the Planning Commission of the City of Fairhope assumes no responsibility for survey errors or for defects or deficiencies in the title to the property affected by the plat, and any such responsibility is hereby affirmatively disclaimed.

\_\_\_\_\_  
Secretary

\_\_\_\_\_  
Date

---

\*\*\*Commentary (do not place on plat)

The below Certificate is to be utilized for Re-plats only and not included on Final Plats.\*\*\*

CERTIFICATE OF APPROVAL BY THE  
PLANNING DIRECTOR OF FAIRHOPE, ALABAMA

The undersigned, as authorized by the City of Fairhope Planning Commission, hereby approves the within re-plat of the recording of the same in the Official of the Judge of Probate of Baldwin County, Alabama. By approval of this plat the Planning Director of Fairhope assumes no responsibility for survey errors or for defects or deficiencies in the title to the property affected by this plat and any such responsibility is hereby affirmatively disclaimed.

\_\_\_\_\_  
Planning Director

\_\_\_\_\_  
Date

---

LICENSED ENGINEER'S  
CERTIFICATION OF IMPROVEMENTS

“ENGINEER’S CERTIFICATE”

“I, the undersigned, a Registered Engineer in the State of Alabama holding Certificate Number \_\_\_\_\_, hereby certify that I have designed the within improvements in conformity with applicable codes and laws and with the principals of good engineering practice. I further certify that I have observed the construction of the within improvements, that the same conforms to my design, that the within is a true and accurate representation of improvements as installed and that said improvements are hereby recommended for acceptance by the City of Fairhope, Alabama.

\_\_\_\_\_  
Project Engineer

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name of Project to which the Certificate Applies  
Plans which are certified consist of Page \_\_\_\_\_ thru \_\_\_\_\_, each of  
which bears by seal and signature.”

CERTIFICATE OF APPROVAL BY E-911 GIS/ADDRESSING:

The undersigned, as authorized by Baldwin County E-911 Board, hereby approves the road names as depicted on the map within plat and hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this \_\_\_\_\_ day of \_\_\_\_\_, of 20\_\_\_\_.

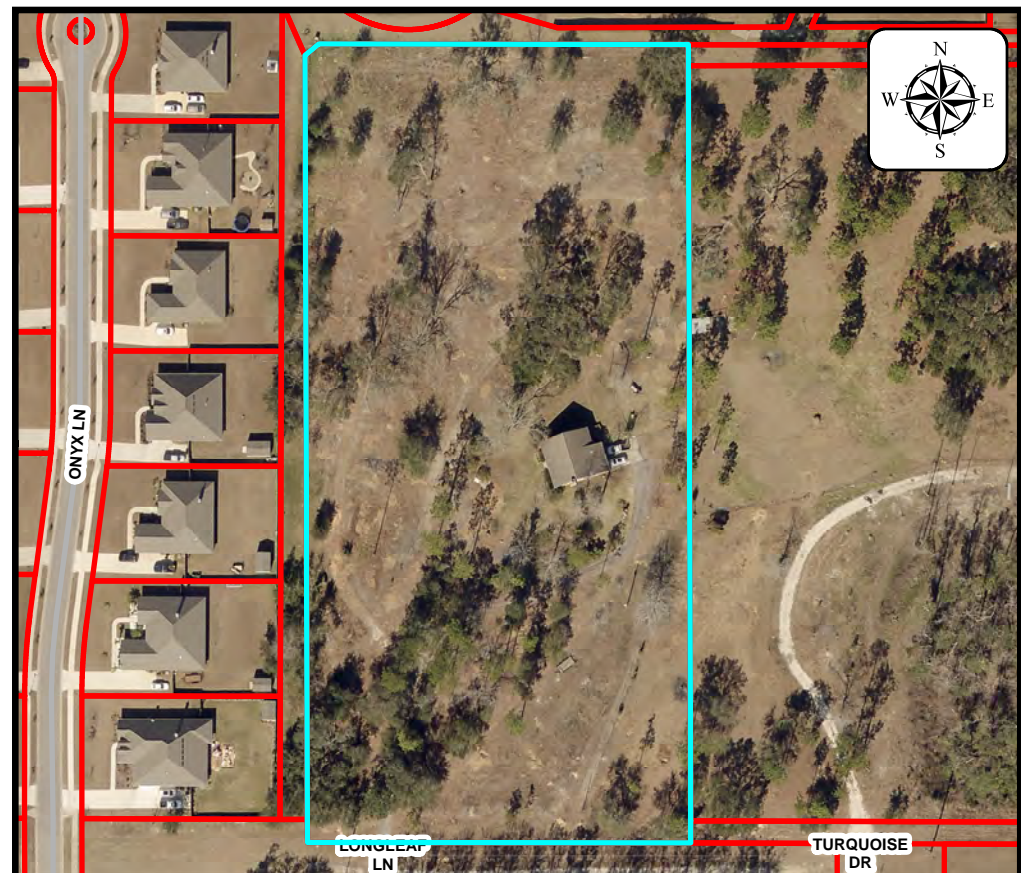
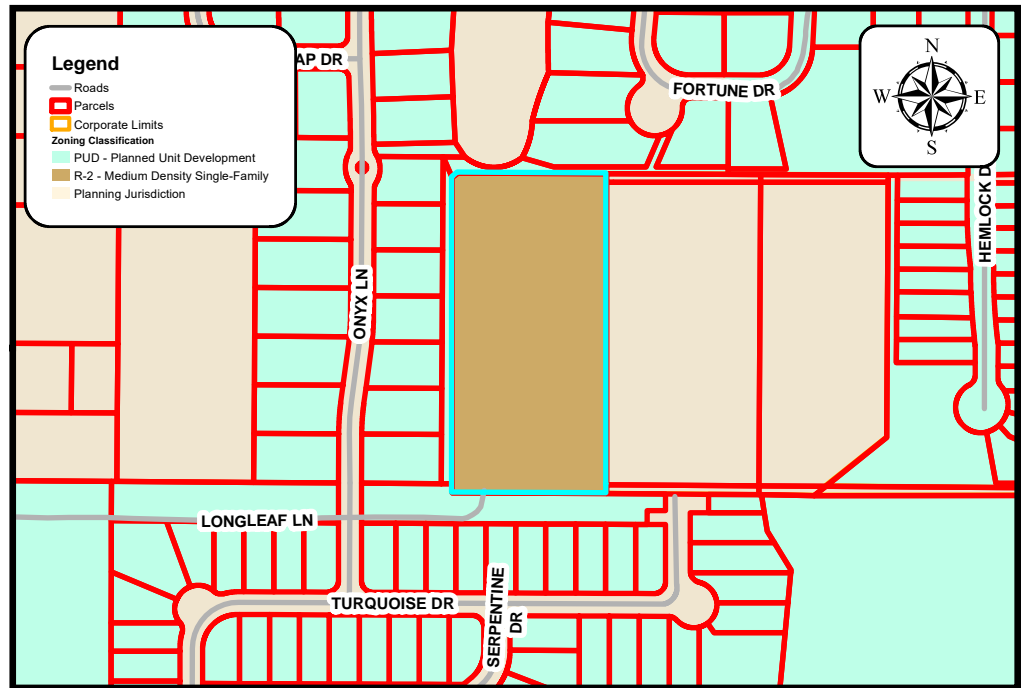
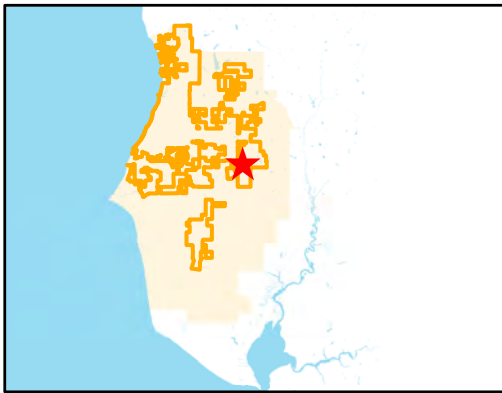
\_\_\_\_\_  
Authorized Representative

# City of Fairhope Planning Commission

March 06, 2023



## ZC 23.02 - 10315 Longleaf Lane



<b>Project Name:</b>	10315 Longleaf Lane
<b>Site Data:</b>	5.2 acres
<b>Project Type:</b>	Rezoning from R-2 to R-1
<b>Jurisdiction:</b>	City of Fairhope
<b>Zoning District:</b>	R-2
<b>PPIN Number:</b>	80716
<b>General Location:</b>	North of Stone Creek Villas, West of the Village at Firethorne
<b>Surveyor of Record:</b>	David Lowery Surveying LLC
<b>Engineer of Record:</b>	N/A
<b>Owner / Developer:</b>	Margaret & James Smith
<b>School District:</b>	Fairhope Elementary School Fairhope Middle and High Schools
<b>Recommendation:</b>	Approval
<b>Prepared by:</b>	Casey Potts



RECEIVED

DEC 27 2022

BY: Alr

APPLICATION FOR ZONING DISTRICT CHANGE

Property Owner / Leaseholder Information

Name: MARGARET & JAMES SMITH Phone Number: 251.604.2470  
Street Address: 6011 MOSS OAKS LN.  
City: GIBBERTA State: AL Zip: 36530

Applicant / Agent Information

If different from above.

Notarized letter from property owner is required if an agent is used for representation.

Name: RON NORTON / SHANNON Phone Number: 770.880.6729  
Street Address: 6685 DRISCOLL RD.  
City: CUMMING State: GA Zip: 30041

Current Zoning of Property: R-2 (FAIRHOPE) RSF-E (BALDWIN CO)  
Proposed Zoning/Use of the Property: R-1  
Property Address: 080716  
Parcel Number: \_\_\_\_\_  
Property Legal Description: PPIN 080716  
Reason for Zoning Change: PURCHASE ONE ACRE TO ADD TO EXISTING PPIN 080716

Property Map Attached  YES  NO  
Metes and Bounds Description Attached  YES  NO  
Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached.  YES  NO

Character of Improvements to the Property and Approximate Construction Date: \_\_\_\_\_  
\_\_\_\_\_

Zoning Fee Calculation:

Reference: Ordinance 1269

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

RON NORTON  
Property Owner/Leaseholder Printed Name

[Signature]  
Signature

12.27.22  
Date

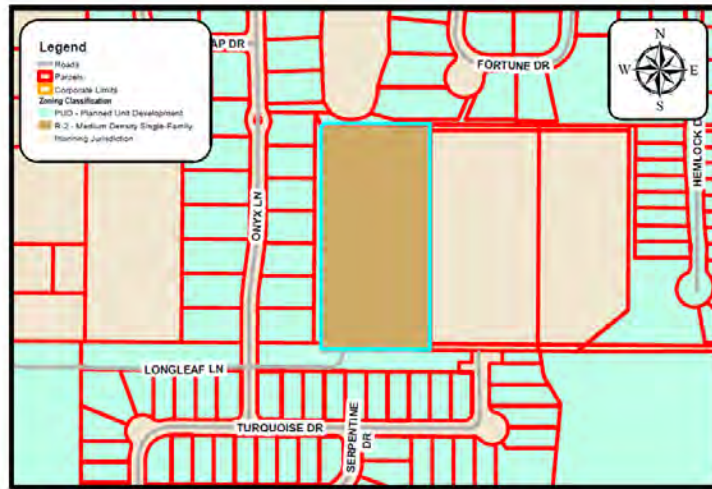
Fairhope Single Tax Corp. (If Applicable)

**Summary of Request:**

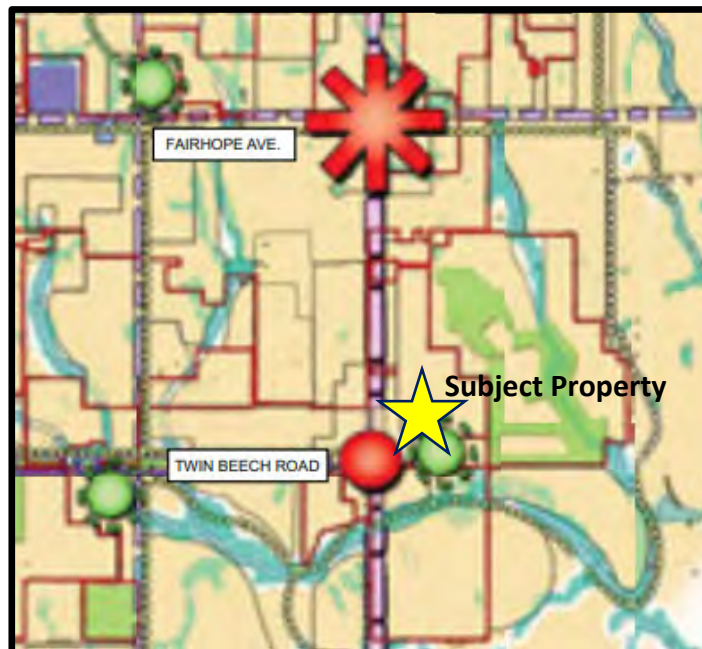
Applicants, Shannon Hesse and Ron Norton, acting on behalf of the Owners, James and Margaret Smith, are requesting to rezone property from R-2, Medium Density Single-Family Residential District to R-1, Low Density Single-Family Residential District. The property is approximately 5.19 acres and is located east of Onyx Lane and north of Longleaf Lane.

**Comments:**

The subject property is currently zoned R-2 and is within the City of Fairhope municipal limits. The property is bordered to the north, west, and south by properties zoned PUD. The property to the east is zoned RSF-E by Baldwin County. (See below)



According to the 2015 Comprehensive Plan, the subject property is located near the Twin Beech Road and US Hwy 181 commercial node. The Comprehensive Plan specifies that density should decrease as you get further from the center of the node. Since the application requests to downzone the subject property, staff believes the rezoning request complies with the 2015 Comprehensive Plan.





Important to note, a portion of the adjacent property to the east is in the process of annexing into the City of Fairhope with the R-1 Zoning District designation. Their intent is to conduct a replat of their common property line. A draft of the replat is provided herein. Future uses, if approved, shall meet the Fairhope Zoning Ordinance requirements.

The Zoning Ordinance defines R-1 Low Density Single-Family Residential District as follows:

*“R-1 Low Density Single-Family Residential District: This district is intended to provide choices of low-density suburban residential environment consisting of single-family homes on large parcels of land. It is sub-classified into four categories (R-1, R-1a, R-1b, and R-1c) based on lot sizes.*

A copy of the Zoning Ordinance’s Use Table, highlighting allowable uses in R-1, is attached within the packet.

**Criteria – The application shall be reviewed based on the following criteria:**

**(1) Compliance with the Comprehensive Plan;**

**Response:**  
Meets

**(2) Compliance with the standards, goals, and intent of this ordinance;**

**Response:** Meets

**(3) The character of the surrounding property, including any pending development activity;**

**Response:** Meets

**(4) Adequacy of public infrastructure to support the proposed development;**

**Response:** This is a re-zoning request, with a replat as an intended follow up activity. Future projects within the subject property shall ensure adequate public infrastructure.

**(5) Impacts on natural resources, including existing conditions and ongoing post-development conditions;**

**Response:** Staff does not anticipate an issue at this time.

**(6) Compliance with other laws and regulations of the City;**

**Response:** At the time of any development all applicable laws of the City will be applied. If granted, any use within R-1 zoning will be allowed ‘by right’.

**(7) Compliance with other applicable laws and regulations of other jurisdictions;**

**Response:** At the time of a development all applicable laws will be applied.

**(8) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; and,**

**Response:** Staff does not anticipate any significant issues relating to this criterion at this time.

**(9) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.**

**Response:** Staff does not anticipate any significant issues relating to this criterion.

**Recommendation:**

Staff recommends Case: ZC 23.02, 10315 Longleaf Ln, be **approved** with an initial zoning of R-1 Low Density Single-Family Residential District.

Table 3-1: Use table

Zoning District	R-A	R-1(a,b,c)	R-2	R-3 TH	R-3 P/GH	R-3	R-4	R-5	R-6	B-1	B-2	B-3a	B-3b	B-4	M-1	M-2	PUD	VRM	NVC	CVC	HTD
<b>Dwelling</b>																					
Single-family	●	●	●			●	●	●		●	●	●	●	●				●			●
Two-family							●	●		●	●	●	●					●			●
Townhouse				⌘			⌘	⌘		⌘	⌘				⌘			⌘	●	●	●
Patio Home					⌘													⌘			
Multiple-family / Apartment							⌘	●				○	○					⌘	⌘	⌘	○
Manufactured Home									⌘												
Mixed-use										●	●	●	●	●					●	●	●
Accessory Dwelling										⌘	⌘	⌘	⌘	⌘				⌘	⌘	⌘	⌘
Estate																		●			
<b>Civic</b>																					
Elementary School		●	●			●	●	●		●	●	●	●	●	●	●	●	●	●	●	●
Secondary School		●	●			●	●	●		●	●	●	●	●	●	●	●	●	●	●	●
Education Facility		●	●			●	●	●		●	●	●	●	●	●	●	●	●	●	●	●
Library		●	●			●	●	●		●	●	●	●	●	●	●	●	●	●	●	●
Place of Worship																		●	●	●	●
Cemetery	○	○	○			○	○	○		○	○	○			○	○	○		○	○	○
Hospital										○	○	○			○	○	○		○	○	○
Public Open Space	●	●	●			●	●	●		●	●	●	●	●	●	●	●	●	●	●	●
Common Open Space	●	●	●			●	●	●		●	●	●	●	●	●	●	●	●	●	●	●
Community Center or Club	○	○	○			○	○	○		○	○	○	○	○	○	○	○	○	○	○	○
Public Utility	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
<b>Office</b>																					
General										●	●			●	●	●	●		●	●	●
Professional										●	●			●	●	●	●		●	●	●
Home Occupation	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘	⌘
<b>Retail</b>																					
Grocery										●	●		●		●	●	●		●	●	●
Convenience Store										⌘	⌘		⌘		⌘	⌘		⌘	⌘	⌘	⌘
General Merchandise										●	●		●		●	●		●	●	●	○
Shopping Center											●								●	●	○
Automobile Service Station										○	○				○	○			○	○	○
Outdoor Sales Limited											○				○	○			○	○	○
Outdoor Sales Lot											○				○	○			○	○	○
Garden Center											○	○			○	○			○	○	○
<b>Service</b>																					
Convalescent or Nursing Home	○	○	○			○	○	○		○	○	○		○	○	○	○		○	○	○
Clinic	○	○	○			○	○	○		○	○	○		○	○	○	○		○	○	○
Outdoor Recreation Facility	○	○	○			○	○	○		○	○	○	●	○	○	○	○		○	○	○
Day Care	○	○	○			○	○	○		○	○	○		○	○	○	○		○	○	○
General Personal Services										●	●			●	●	●	●		●	●	●
Mortuary or Funeral Home											○			○	○	○	○		○	○	○
Automobile Repair										●	●			●	●	●	●		●	●	●
Indoor Recreation										●	●		○		●	●	●		●	●	●
Dry Cleaner / Laundry										●	○				○	○	○		○	○	○
Personal Storage											○			⌘	⌘	○	○		○	○	○
Bed & Breakfast												●		⌘	⌘		●	○	●	●	●
Hotel / Motel											○	●	●	●			○	○	○	○	○
Boarding House or Dormitory											○	●	●	●			○	○	○	○	○
Recreational Vehicle Park											○	○			○	○			○	○	○
Restaurant										○	●	○	●	●			○	○	○	○	○
Bar											●	○	○	○				○	○	○	○
Entertainment Venue											●	○	○	○				○	○	○	○
Marina											○	○	○					○	○	○	○
Kennel or Animal Hospital											○	○	○					○	○	○	○
Warehouse															●	●			○	○	○
Junk Yard or Salvage Yard															○	○			○	○	○
<b>Manufacturing</b>																					
Limited											○			○	●	●			●	●	○
Light															○	○			○	○	○
General															○	○			○	○	○
Food Processing																○			○	○	○
<b>Rural</b>																					
Agriculture	●																				
Rural Market	●																				
Plant Nursery	●																				

Uses in the PUD District shall be specified based on a development plan according to the standards and procedures of this ordinance

- Permitted subject to general ordinance standards and conditions.
- ⌘ Permitted subject to special conditions listed in the ordinance
- Permitted only on appeal and subject to special conditions

**DESCRIPTION OF 1.0 ACRE**

Commencing at a 1 1/2" OPEN TOP PIPE AT THE SE CORNER OF THE SW 1/4 OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 2 EAST BALDWIN COUNTY, AL.; thence N89°47'37"W, along the South line of said Section a distance of 940.64 feet to a SET 5/8" CAPPED REBAR to the POINT OF BEGINNING; thence N89°47'21"W, along said South line a distance of 64.40 feet to a 1/2" CAPPED REBAR "GEO"; thence N00°19'53"E, a distance of 676.15 feet to a 1/2" CAPPED REBAR "GEO" on the agreed upon boundary line between the Smiths and Firethorne Tract; thence N89°55'25"E, along said line a distance of 64.40 feet to a SET 5/8" CAPPED REBAR; thence S00°19'53"W, a distance of 676.47 feet to the POINT OF BEGINNING, said parcel containing 1.00 acres, more or less.

#### DESCRIPTION OF OVERALL

Commencing at a 1 1/2" OPEN TOP PIPE AT THE SE CORNER OF THE SW1/4 OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 2 EAST; thence N89°47'37"W, along the South line of said Section a distance of 940.64 feet to a SET 5/8" CAPPED REBAR to the POINT OF BEGINNING; thence N89°47'21"W, along said South line a distance of 399.43 feet to a 5/8" CAPPED REBAR "VOLKERT" at the SE corner of COMMON AREA 17 SILVERLEAF AT FIRETHORNE, PHASE 2, as recorded on SLIDE 2597-E ; thence N00°21'06"E, along the East line of said Common Area a distance of 664.24 feet to a 6" FENCE POST at the SW corner of COMMON AREA 15 GREENBRIER, AT FIRETHORNE PHASE-1A, as recorded on SLIDES 2541-B THRU 2541-D ; thence N48°37'03"E, along the South line of said Common Area a distance of 15.49 feet to a 6" FENCE POST; thence N89°55'25"E, along the South line of said Common area a distance of 387.64 feet to a SET 5/8" CAPPED REBAR; thence S00°19'53"W, a distance of 676.47 feet to the POINT OF BEGINNING, said parcel containing 6.19 acres, more or less.



CITY OF FAIRHOPE
P.O. DRAWER 429
FAIRHOPE, AL 36533
251/928-2136

PETITION FOR ANNEXATION

STATE OF ALABAMA )(
COUNTY OF BALDWIN )(

We, the undersigned PETITIONER(S), owner(s) of the lands in fee simple described in the attached EXHIBIT A, such property being without the Corporate Limits of the City of Fairhope, Alabama, but being contiguous to the said Corporate Limits; and such property not lying within the corporate limits or police jurisdiction of any other municipality, do, by these presents, hereby petition the City of Fairhope, a municipal corporation, that said property be annexed into the City of Fairhope, Alabama.

The subject land is delineated on the map attached hereto as EXHIBIT B that will be prepared by the City of Fairhope to verify property is contiguous.

This petition is filed under authority of Section 11-42-21, Code of Alabama, 1975, as amended.

- X This petition is for R-1 Zoning
The condition of the Petition is that zoning be established as RE PLAT Concurrent with Annexation. (Zoning Request)

Is this property colony property Yes No. If this property is colony property, the Fairhope Single Tax Office must sign as a petitioner.

Margaret Smith Signature of Petitioner
MARGARET SMITH Print petitioner's name

James Smith Signature of Petitioner
JAMES SMITH Print petitioner's name

Signature of Petitioner Print petitioner's name

Physical Address of property being annexed: PORTION OF 082432

Petitioner's Current Physical Address: 6811 MOSS OAKS LN ELBERTA, AL 36530
Petitioner's Current Mailing Address: [arrow]

Telephone Number(s): 251.604.2470 Home Work

Tax Parcel ID Number: Size of Property:

ONE ACRE OF PIN 082432 THAT WILL BE COMBINED WITH 080716.

**U.S JUSTICE DEPARTMENT INFORMATION**

Size of property (acres or square feet) 6.4 ACRES

If property is occupied, give number of housing units NA

Number of Persons residing in each unit, and their race NA

If property is unoccupied, give proposed use SINGLE FAMILY

If property is being developed as a subdivision, give subdivision name

Number of lots within proposed subdivision —

I, Rebecca Castellana, a Notary Public in and for said State and County, hereby certify that Margaret Smith whose name(s) is/are signed to the forgoing Petition and who is/are known to me, this day appeared before me and, being first duly sworn, acknowledge that he/she/they have voluntarily executed this Petition on this day same bears date.

Given under my Hand and Seal this 27<sup>th</sup> day of December 20 22,

(Seal)

Rebecca Castellana  
Notary Public

My commission expires 07/06/2022

I, Rebecca Castellana a Notary Public in and for said State and County, hereby certify that Jane Smith whose name(s) is/are signed to the forgoing Petition and who is/are known to me, this day appeared before me and, being first duly sworn, acknowledge that he/she/they have voluntarily executed this Petition on this day same bears date.

Given under my Hand and Seal this 27<sup>th</sup> day of December 20 22,

(Seal)

Rebecca Castellana  
Notary Public

My commission expires 07/06/2022

I, \_\_\_\_\_ a Notary Public in and for said State and County, hereby certify that \_\_\_\_\_ whose name(s) is/are signed to the forgoing Petition and who is/are known to me, this day appeared before me and, being first duly sworn, acknowledge that he/she/they have voluntarily executed this Petition on this day same bears date.

Given under my Hand and Seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,

(Seal)

\_\_\_\_\_  
Notary Public

My commission expires \_\_\_\_\_

**NOTES**

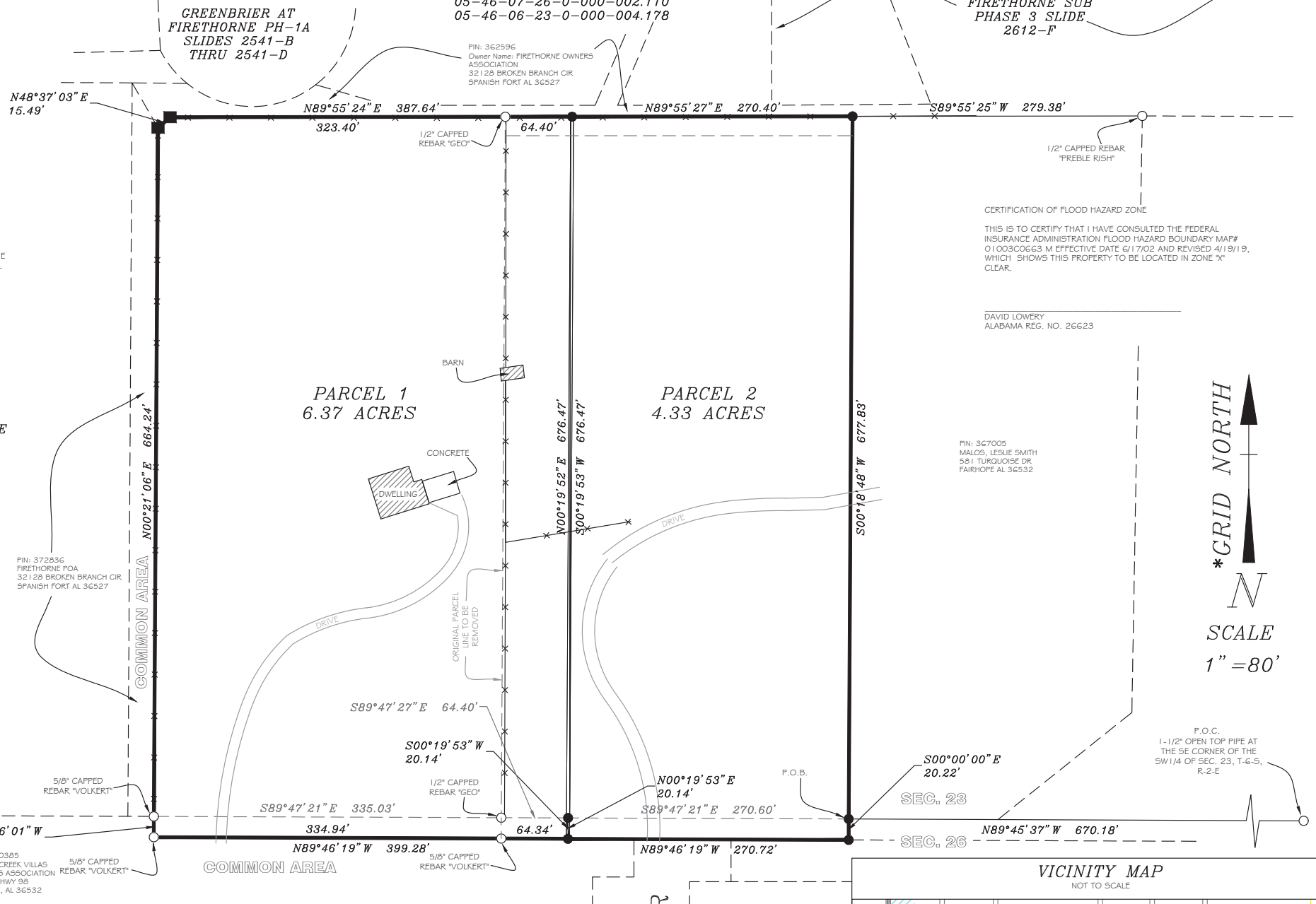
- All bearings shown hereon are relative to GRID NORTH. GRID NORTH was obtained by G.P.S. observations.
- Corner monuments shown as set iron pins are 5/8" reinforcing bars with a durable plastic cap stamped "26623".
- Only Select Fixed Interior Improvements shown hereon.
- This survey was prepared for the client shown and is not to be used for any other purpose without prior approval from this surveyor.
- No instruments of record reflecting easements, right of ways, and/or ownership were furnished this surveyor, except as shown or noted.
- No underground installations or improvements have been located, except as shown or noted.
- This survey was prepared without the benefit of an abstract of title or a title search unless stated hereon. No liability is assumed by the undersigned for loss relating to any matter that might be discovered by an abstract, title search, or legal judgement rendered on the property.
- Liability of the undersigned for the survey shown shall not exceed the amount paid for this survey.

THIS RE-PLAT IS FOR THE SOLE PURPOSE OF MOVING THE PARCEL LINE TO THE EAST.  
The finished floor elevation for each lot shall be a minimum of 15 inches above grade.

THIS DIVISION IS EXEMPT FROM THE REQUIREMENTS OF SUBDIVISION APPROVAL AND IN NO WAY SHALL BE CONSTRUED THAT BALDWIN COUNTY WILL TAKE RESPONSIBILITY FOR MAINTENANCE OF ANY EASEMENTS OR ROADS THAT ARE PART OF THIS DIVISION.

**COMMON LOT LINE MOVE FOR SMITH**

**INVOLVING PARCELS:**  
 05-46-06-23-0-000-004.004  
 05-46-06-23-0-000-004.002  
 05-46-07-26-0-000-002.110  
 05-46-06-23-0-000-004.178



**CERTIFICATION OF FLOOD HAZARD ZONE**  
 THIS IS TO CERTIFY THAT I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP# 010030063 M EFFECTIVE DATE 6/17/02 AND REVISED 4/19/19, WHICH SHOWS THIS PROPERTY TO BE LOCATED IN ZONE "X" CLEAR.

DAVID LOWERY  
ALABAMA REG. NO. 26623

PIN: 367005  
MALCOLM LESLIE SMITH  
591 TURQUOISE DR  
FAIRHOPE, AL 36532

P.O.C.  
1-1/2" OPEN TOP PIPE AT THE SE CORNER OF THE SW 1/4 OF SEC. 23, T-6-S, R-2-E

**\* GRID NORTH**  
 N  
**SCALE**  
 1" = 80'

**CERTIFICATION OF OWNER**  
 I, MARGARET BALLARD SMITH, OWNER OF THE LANDS EMBRACED IN THE WITHIN PLAT TO BE SURVEYED, LAID OUT AND PLATTED TO BE KNOWN AS "NORTH LOT SUBDIVISION", A PART OF SECTIONS 23 & 26, T-6-S, R-2-E, BALDWIN COUNTY, ALABAMA.

MARGARET BALLARD SMITH DATE

**CERTIFICATION BY NOTARY PUBLIC**  
 STATE OF ALABAMA  
 COUNTY OF BALDWIN

I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY MARGARET BALLARD SMITH, AS OWNER, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

NOTARY  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY THE PLANNING DIRECTOR OF FAIRHOPE, ALABAMA**

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE PLANNING COMMISSION, HEREBY APPROVES THE WITHIN RE-PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, AL. BY APPROVAL OF THIS PLAT THE PLANNING DIRECTOR OF FAIRHOPE ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR EFFICIENCIES IN THE TITLE OF THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PLANNING DIRECTOR

**SILVERLEAF AT FIRETHORNE PHASE 2 SLIDE 25 97-E**

**SITE DATA:**

SMALLEST LOT: 4.33 Acres  
 LARGEST LOT: 6.37 Acres  
 TOTAL # OF LOTS: 2  
 TOTAL AREA: 10.71 Acres  
 LINEAR FT. STREETS: 0  
 PLANNING DISTRICT: 14

**OWNER & DEVELOPER**

MARGARET BALLARD & JAMES EDWARD SMITH  
 6911 MOSS OAKS LN,  
 ELBERTA, AL 36530

**SURVEYOR**

DAVID LOWERY SURVEYING LLC  
 55284 MARTIN LN.  
 STOCKTON, AL 36579  
 DAVID LOWERY, PLS. LIC. NO. 26623

**CERTIFICATION OF OWNER**  
 I, JAMES EDWARD SMITH, OWNER OF THE LANDS EMBRACED IN THE WITHIN PLAT TO BE SURVEYED, LAID OUT AND PLATTED TO BE KNOWN AS "NORTH LOT SUBDIVISION", A PART OF SECTIONS 23 & 26, T-6-S, R-2-E, BALDWIN COUNTY, ALABAMA.

JAMES EDWARD SMITH DATE

**CERTIFICATION BY NOTARY PUBLIC**  
 STATE OF ALABAMA  
 COUNTY OF BALDWIN

I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY JAMES EDWARD SMITH, AS OWNER, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

NOTARY  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**ZONING**  
 LOT 1 - R-2- MEDIUM DENSITY SINGLE FAMILY (CITY)  
 LOT 2 - RSF-E (COUNTY)

**COMMON LOT LINE MOVE PREPARED FOR**

**SMITH BALDWIN CO., AL.**

**DAVID LOWERY SURVEYING, L.L.C.**

55284 MARTIN LN.  
 STOCKTON, AL 36579  
 251-937-2757 ph. 251-937-2756 fax  
 dlsurvey25@hotmail.com

DWG. NO. 23-02-032 SURVEY DATE JAN 2023 SCALE 1"=80'  
 DRAWN BY: R. TILLMAN CHECKED BY: D. LOWERY

- LEGEND AND SYMBOLS**
- (\*\*\*) RECORD BEARING/DISTANCE
  - OE OVERHEAD ELECTRIC
  - SET IRON PIN
  - FOUND IRON PIN
  - △ PIN NOT SET
  - P.O.C. POINT OF COMMENCEMENT
  - P.O.B. POINT OF BEGINNING
  - NOT TO SCALE
  - ✕ FENCE
  - FENCE CORNER POST
  - CONCRETE MONUMENT



**UTILITY PROVIDERS**

CITY OF FAIRHOPE	WATER
BALDWIN EMC (251) 989-6247	ELECTRICITY
NONE-ONSITE SEPTIC	SEWER

**SURVEYORS CERTIFICATION**

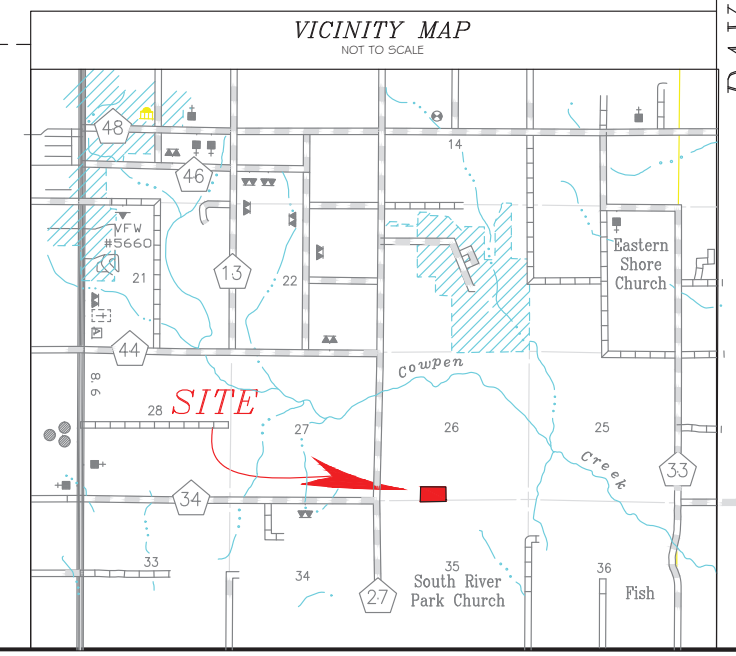
I, David Lowery, a licensed land surveyor in the State of Alabama, do hereby certify that I have surveyed property shown hereon and all parts of this survey and plat have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama, to the best of my knowledge, information, and belief.

All according to my survey made this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

The certification on this Plat does not reflect any title search unless otherwise shown or noted hereon.

David Lowery P.L.S.  
 Ala, License # 26623

**DESCRIPTION OF OVERALL**  
 Commencing at a 1-1/2" OPEN TOP PIPE AT THE SE CORNER OF THE SW 1/4 OF SECT. 23, T-6-S, R-2-E; thence N89°45'37"W, along the South line of said Section a distance of 670.18 feet to a SET 5/8" CAPPED REBAR TO THE POINT OF BEGINNING; thence South, a distance of 20.22 feet to a SET 5/8" CAPPED REBAR; thence N89°46'19"W, a distance of 270.72 feet to a SET 5/8" CAPPED REBAR; thence continue Westerly along said bearing, a distance of 399.28 feet to a 5/8" CAPPED REBAR "VOLKERT"; thence N00°06'01"W, a distance of 20.02 feet to a 5/8" CAPPED REBAR "VOLKERT"; thence N00°19'53"W, a distance of 66.24 feet to a FENCE CORNER POST; thence N48°37'03"E, a distance of 15.49 feet to a FENCE CORNER POST; thence N89°55'24"E, a distance of 387.64 feet to a SET 5/8" CAPPED REBAR; thence N89°55'27"E, a distance of 270.40 feet to a SET 5/8" CAPPED REBAR; thence S00°18'48"W, a distance of 677.83 feet to the POINT OF BEGINNING, said parcel containing 10.71 acres, more or less.



**DAVID LOWERY SURVEYING, L.L.C.**