

**CITY OF FAIRHOPE
CITY COUNCIL WORK SESSION AGENDA**

MONDAY, 12 DECEMBER 2022 – 4:30 P.M. – COUNCIL CHAMBER

1. Fairhope Public Schools Commission – Amy Foley
2. Mobile Bay National Estuary Program (MBNEP) – Roberta Swann
3. Krebs – Update on Water Line
4. Committee Updates
5. Department Head Updates

**City Council Agenda Meeting – 5:30 p.m.
on Monday, December 12, 2022 – Council Chambers**

**Next Regular Meeting – Wednesday, December 21, 2022 – 2:00 p.m.
Council Chambers**

ACT Proficiency Percentages	Ranked 10th in state		
	FHS	County	Alabama
2021 English	19.7	17.9	16.3
2022 English	19.9	18	16.6
2021 Math	19.2	17.9	16.9
2022 Math	19.4	18.1	16.9
2021 Reading	20.1	18.6	17.5
2022 Reading	20.3	18.8	17.7
2021 Science	19.8	18.6	17.5
2022 Science	20.5	18.8	17.6
Composite 2021	19.9	18.4	17.2
Composite 2022	20.1	18.6	17.3

AP Students with scores

AP School Summary	2021	2022
Total AP Student	272	318
Number of exams	437	544
AP Students with Scores 3+	180	219
Percentage of Total AP Students with 3+	66.18	68.87

Additional Programs from funding:

Agroscience Program

Funded Engineering For STEM

Social Worker (addressing mental health issues)

Supplemented ACT prep instruction with additional unit

Initially funded crisis program

Education training - work in conjunction with a preK classes on campus

Piano Lab - partnership with FEEF

Black box - upkeep and improvements

Band - Aided with purchase of instruments

Supported construction for the special needs play ground

Implemented RTI 501 and testing coordinator position

Proficiency Percentages		FMS is ranked 6th in State	
	FMS	County	Alabama
2020-21 7th ELA	72%		
2021-2022 7th ELA	81%	55%	44%
2020-21 8th ELA	73%		
2021-2022 8th ELA	81%	60%	54%
2020-21 7th Math	49%		
2021-2022 7th Math	53%	29%	18%
2020-21 8th Math	58%		
2021-2022 8th Math	63%	29%	19%
2020-21 8th Science	69%		
2021-2022 8th Science	72%	53%	41%

Additional Programs from funding:

FMS is focused on black male students academic progress

2021-2022 4th Science	56%	53%	39%
2021-2022 6th Science	56%	38%	28%

ACAP Percentages Students Reading Below Grade Level	
2021-2022 2nd Reading	11%
2021-2022 3rd Reading	11%

Total Students Served by a Reading Tutor	592
Total Students Served by a Math Tutor	321
Total Student Receiving Free/Reduced Lunches	30%

Personnel Funded 22-23	
Part-time Instructors	23
Paraprofessionals	5
Curriculum Coaches-Certified ex. STEAM, Math, Reading, Counselor	7

Additional Programs Funded for the Past 3 Years:
Math Instructional Materials
Reading Instructional Materials
Behavior Instructional Materials
Professional Development
Technology Instructional Programs
STEAM Instructional Materials

Fairhope and Newton Schools 2020-2021 & 2021-2022

Overall ACAP Proficiency Percentages	
2020-2021 ELA	71%
2021-2022 ELA	75%
2020-2021 Math	52%
2021-2022 Math	59%
2020-2021 Science	50%
2021-2022 Science	62%

ACAP Proficiency Percentages by Grade Level			
	Elementary	Baldwin	Alabama
2021-2022 2nd ELA	74%	66%	49%
2021-2022 3rd ELA	77%	65%	47%
2021-2022 4th ELA	72%	64%	53%
2021-2022 5th ELA	73%	57%	47%
2021-2022 6th ELA	77%	60%	48%
2021-2022 2nd Math	63%	55%	45%
2021-2022 3rd Math	67%	46%	39%
2021-2022 4th Math	44%	41%	31%
2021-2022 5th Math	55%	37%	31%
2021-2022 6th Math	64%	40%	29%

**CITY OF FAIRHOPE
CITY COUNCIL AGENDA**

MONDAY, 12 DECEMBER 2022 - 6:00 P.M. - CITY COUNCIL CHAMBER

Invocation and Pledge of Allegiance

1. Approve minutes of 28 November 2022 Regular City Council Meeting and the minutes of 28 November 2022 Work Session.
2. Report of the Mayor
 - Recognition of Diane Thomas, Chairman, Personnel Board
 - Recognition of Bob Mull, Nix Center Volunteer
3. Public Participation – Agenda Items – (3 minutes maximum)
4. Council Comments
5. **Final Adoption** - Ordinance – Amend Zoning Ordinance No. 1253
 - To amend Ordinance No. 1664 and 1708, known as the **Klumpp PUD**. The property of Gayfer Village Partners, Inc. is approximately 75.85 acres and is generally located on the west side of State Highway 181 between Gayfer Road Ext. and Fairhope Avenue in Fairhope, Alabama. PPIN Numbers: 24160, 316793, 236701.
6. **Final Adoption** – Ordinance – Amend Zoning Ordinance No. 1253
 - To establish initial zoning of **RW Battles, LLC** property to B-2 General Business District, concurrent with conditional annexation into the City of Fairhope. The property is approximately 21.18 acres and is located on the northwest corner of Greeno Road and Old Battles Road. PPIN Numbers: 17515, 391379, 391372, 391373, 391374, 391375, 391376.
7. **Final Adoption** – An Ordinance discontinuing the issuance of Building Permits outside of the Corporate Limits within the Police Jurisdiction and Repealing Ordinance No. 1129 regarding the issuance of Building Permits within the Police Jurisdiction of the City of Fairhope, Section 7-16 of the City of Fairhope Code of Ordinances.
8. To Approve the 2023 Regular City Council Meetings.
9. Site Plan Review and Approval – Request of the Applicant, S.E. Civil, LLC, acting on behalf of the Owner, FST Robert N Graham LLC, for Site Plan approval of Starbucks. The subject property is zoned B-2, General Business District, and is approximately 0.7 acres. The property is located on the southeast corner of Fairhope Avenue and U.S. Highway 98. PPIN Number: 64946. (Planning Commission unanimously voted to recommend City Council approve SR 22.03).
10. Resolution – That the City Council hereby approves and authorizes the City of Fairhope to execute a Memorandum of Understanding between the City of Fairhope, on behalf of its Police Department (“Fairhope PD”), the City of Spanish Fort, on behalf of its Police Department (“Spanish Fort PD”) and the Coastal Alabama Community College Police Department (the “Participating Agencies”) for the purpose of receiving and extending services in the form of a unified Special Response Team (SRT) with related services and resources extended to one another when such assistance is requested.

11. Resolution – To Repeal and Replace Resolution No. 4432-22 City Council approves and authorizes request by Mayor Sherry Sullivan for an additional one (1) year extension on the Maynard, Cooper & Gale, P.C. Engagement Letter Agreement executed on April 11, 2022 with a not-to-exceed amount of \$96,000.00.
12. Resolution – That Mayor Sherry Sullivan is hereby authorized to execute a Contract for Professional Engineering Services for Power Line Conversion along Magnolia Avenue between Bancroft Street and Church Street with Hi-Line Engineering (RFQ PS23-002) with a negotiated not-to-exceed budgeted amount of \$75,000.00.
13. Resolution – To Award (Bid No. 23-004-2023-PWI-007) Metal Building 50 x 100 x 18 Truck Shed for the Electric Department to Southern Steel Structures with at total bid proposal budgeted not-to-exceed \$102,659.00.
14. Resolution – To Award (Bid No. 23-006) to Install New Bay Doors at Fire Station 3 located at Fairhope Airport for the Fire Department to Bailey Door, Inc. with a total bid proposal budgeted not-to-exceed \$58,378.00.
15. Resolution – To Award (Bid No. 23-008) Annual Contract for Fire Extinguisher Inspection Services to Fire and Safety Commodities with at total bid proposal budgeted not-to-exceed \$15,000.00. Initial contract term would be for one (1) year, with extensions for two (2) additional one (1) year terms.
16. Resolution - That the City of Fairhope approves the procurement of one (1) 2023 Ford F-250 Super Crew 4x4 Pickup or equivalent for the Gas Department from Stivers Ford Lincoln; the type of vehicle needed is on the State of Alabama Division of Purchasing Contract Number T191 and therefore does not have to be let out for bid; total cost not-to-exceed \$44,388.00.
17. Request – Randal Wright, on behalf of the Friends of the Fairhope Public Library, Requesting permission to serve alcohol at its annual Chocolate and Champagne Gala 2023 on Saturday, February 4, 2023, from 6:30 p.m. to 9:00 p.m. in the Fairhope Public Library.
18. Public Participation – (3 minutes maximum)
19. Executive Session - To discuss pending and potential litigation.
20. Adjourn

**City Council Work Session - 4:30 p.m.
on Monday, December 12, 2022 – Council Chambers**

**City Council Agenda Meeting - 5:30 p.m.
on Monday, December 12, 2022 – Council Chambers**

Next Regular Meeting – Wednesday, December 21, 2022 – 2:00 p.m. – Council Chambers

STATE OF ALABAMA)(
 :
COUNTY OF BALDWIN)(

The City Council met in a Work Session
at 4:30 p.m., Fairhope Municipal Complex Council Chamber,
161 North Section Street, Fairhope, Alabama 36532,
on Monday, 28 November 2022.

Present were Council President Jay Robinson, Councilmembers: Jack Burrell, Corey Martin, and Councilmember Jimmy Conyers. Mayor Sherry Sullivan, City Attorney Marcus E. McDowell, and Assistant City Clerk Jenny Opal Wilson. Councilmember Kevin Boone and City Clerk Lisa Hanks were absent.

Council President Jay Robinson called the meeting to order at 4:32 p.m.

The following topics were discussed:

Council President asked Mayor and Council if they had items to address for discussion this evening due to a short agenda.

Council Comments:

Councilmember Burrell directed a question to Mayor Sullivan reference the Council receiving incoming news prior to hearing from the media and public. Mayor Sullivan commented that in the past term communication of news was directed to the Council President and Council President Pro Tempore. Councilmember Burrell suggested that the Council body receive news updates by text. Council President Robinson commented the role of the Council President would be to communicate incoming news to the Council body.

Councilmember Burrell discussed the bike trails found on the Triangle Property. He said Council approval is required on all recreational activity requests on public property. He stated committees are not able to approve these type of requests. Councilmember Martin was made aware of the bike trails discussed at a committee meeting. He discussed that a group of children were wanting bike trails. Councilmember Burrell commented that a study is going on right now for the north part of property. Funding for bike trails was approved by prior administration on the north side of property. This funding has not been utilized. Council President Robinson recalled from a prior Work Session or Council Meeting that a group requested permission. Mayor Sullivan commented the Mountain Trail Group received approval. This group of children referenced did not receive permission. Gary Gover found their tools on property. Mayor Sullivan asked for the tools to be given back. She said that the children are riding the trails at the park and are turning over picnic tables as ramps. She has discussed signage on property displaying at your own risks

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with Public Works Director Richard Johnson since were unable to secure all green space on the property. Mayor Sullivan commented a child is on the Steering Committee for input. We are focusing on the trails of the north side park and eventually the south side of park. Councilmember Burrell commented trees have been cut down with chain saws on the property. Councilmember Martin additionally commented a deer stand was found on property. Council President Robinson concluded we cannot allow private citizens to make material changes to public property without Council approval.

Committee Updates:

Councilmember Burrell addressed question to Mayor Sullivan reference providing additional garbage collection service during the holidays for large families and gatherings. Mayor Sullivan discussed service during the Thanksgiving and Christmas holidays. Prior administration has authorized overtime. We have tried to give our employees time off with their families during the holidays. Councilmember Burrell additionally asked if there was a core group that would like to work overtime during holidays. Mayor Sullivan will review logistics. Councilmember Martin suggested the option of additional rental container during holidays. Public Works Director Richard Johnson discussed the commercial backdoor customers do receive service during the holidays with employees working to support the alleys downtown. Richard commented we want to give good service. Residential service would be all or none.

Councilmember Martin commented on the Recreation Board Meeting. New LED Lighting on the fields; fencing, track and pickle ball bids are out; and the need for shade coverings at ball parks. Council President Robinson said there are some cost efficient options. Councilmember Martin suggested more basketball facilities. There were over six hundred (600) kids that signed up for basketball at last registration. We are outgrowing our facilities.

Councilmember Martin announced that the Alabama Historical Commission recognized the Nancy Lewis Farmhouse at 309 Ingleside and a certificate was issued in honor of the listing on the Alabama Register of Landmarks and Heritage. Councilmember Martin further discussed establishing an ordinance on preserving historical sites. Councilmember Martin noted historical sites in Fairhope that have been taken down. We need to preserve our history. Council President Robinson commented he is a member on the Historic Preservation Committee. He further discussed establishment of an ordinance has been previously reviewed by prior administration. Council President Robinson suggested taking time to create an ordinance that State would recognize. Planning and Zoning Manager Hunter Simmons further discussed property rights vs historical preservation, districts, past study, local legislation, and equitable solutions. Building Official Erik Cortinas further discussed Building Code on historic structures with aesthetics, contributing or

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noncontributing, the Building Department websites, reports, and links on tax credits. Councilmember Burrell inquired on age of a historic structure to qualify. Erik replied fifty years with requirements met. Mayor Sullivan commented we need more discussion with design review and education before moving forward with ordinance. Some municipalities have adopted the County Ordinance. The City of Fairhope did not adopt. Council President Robinson discussed equitable versus property rights with fair treatment. He would like to go back to the Historic Preservation Committee to review Mission Statement with more education on ordinance. Council President Robinson thanked Hunter and Erik.

Department Head Updates

Council President Robinson briefly went through the Agenda Items and who would explain if needed.

- Public Works Director Richard Johnson addressed the City Council regarding Agenda Item
- No. 11 to award (RFQ PS020-22) Professional Architectural & Engineering Services - Redevelopment & Remodel of the Fairhope K-1 Center (EDA Funded Project No. COF-2023EDA001 to Watermark Design Group; and answered any questions if needed. Richard commented there is a footnote in ordinance that we can not bring a contract back to Council until EDA has reviewed and approved. Council President Robinson thanked Richard.
- Regulatory Compliance Manager Wes Boyett addressed the City Council regarding Agenda Items No. 18, 19, 20, and 21; and answered any questions if needed. Council President Robinson asked if Items 18 and 19 are for annual purchases. Wes commented Item No. 18 is for regulators that are purchased annually. Item No. 19 is for the Cathodic Protection Monitoring System that was budgeted at \$70,000.00, the purchase price is \$53,800.00 that came in under budget for forty (40) monitoring sites to monitor the steel piping in system. No. 20 and No. 21 are for a annual purchase of gas meters. Councilmember Martin inquired on the quantity, eight hundred (800) listed on Invoice and seven hundred and forty (740) on Green Sheet. Wes confirmed they will make a correction to quantity of 800. Council President Robinson asked if items were within budget. Wes replied yes. Councilmember Burrell asked Wes to keep Council informed on updates. Mayor Sullivan additionally discussed availability of meters on Item No. 21. We were notified meters may not be available in the future. We are going to purchase a 1000 meters and push up the plan for AMI. We will come back to the Council with further information. Council President Robinson thanked Wes.
- Director of Recreation Pat White addressed the City Council with an update. Great progress on bathrooms at Volanta and Founders ball parks. New light poles

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are up. Grading fields shortly. Irrigation pump failure at the golf course. We will draw up a project request form for consideration of a new pump at \$30,000.00. Item not budgeted. Council President Robinson thanked Pat.

- Human Resources Manager, Cory Pierce addressed the City Council with an update. Cory discussed Biometric Screening will be held on December 1st at the Symbol Clinic. Posters have been posted. You are able to register on line. Councilmember Burrell ask if the QR Code works. Cory commented yes. Councilmember Burrell encouraged Department Heads to ask employees to get biometric screening. Council President Robinson thanked Cory.
- Water/Wastewater Superintendent, Jason Langley addressed the City Council regarding Items No. 14, 16, and 17. Item No. 14 (Bid No. 23-005) New Medium Duty 15,000 GVWR Crew Cab Truck Chassis \$62,008.14, budgeted at \$58,000.00. Discussed with Mayor Sullivan and City Treasurer Kim Creech two (2) line items in budget. We will not buy the Brush Cutter this year for \$8,000.00 and utilize \$4,000.00 on shortfall of purchase. I will come back to Council on body of truck. We still need to buy a ten (10) foot bed for the truck that is on State Contract at approximately \$10,000.00. We will not purchase trailer in budget for \$12,0000 and utilize the funding for the truck to stay within budget. Item No. 16 is fence quote for the Wastewater Treatment Plant. We received three (3) quotes. Hagan Fence provided lowest quote. Jason discussed security of plant. Mayor Sullivan recognized Item No. 16 as \$17,000.00 under budget. Item No. 17 are Corrosion Inhibitors for Water Treatment Chemicals. Councilmember Burrell commented good price on truck. He additionally inquired on pricing of the Corrosion Inhibitors. Jason commented they have gone up in price. Councilmember Martin inquired on pricing. Mayor Sullivan discussed 2021 vs 2022 pricing, increased as of October 1^s. Jason commented chemicals have to be bought to shelf life. Jason additionally commented that Item No. 17 keeps us from being the next Flint, Michigan. Council President Robinson thanked Jason.

There being no further business to come before the City Council, the meeting was duly adjourned at 5:45 p.m.

Council President Robinson announced there would be a fifteen minute break before the City Council meeting.

Jay Robinson, Council President

Lisa A. Hanks, MMC
City Clerk

STATE OF ALABAMA)
 :
COUNTY OF BALDWIN)(

The City Council, City of Fairhope, met in regular session at 6:00 p.m., Fairhope Municipal Complex Council Chamber, 161 North Section Street, Fairhope, Alabama 36532, on Monday, 28 November 2022.

Present were Council President Jay Robinson, Councilmembers: Jack Burrell, Corey Martin, Jimmy Conyers, Mayor Sherry Sullivan, City Attorney Marcus E. McDowell, and Assistant City Clerk Jenny Opal Wilson. Councilmember Kevin Boone and City Clerk Lisa Hanks were absent.

There being a quorum present, Council President Robinson called the meeting to order. The invocation was given by Sr. Pastor Kyle Parker, Eastern Shore Presbyterian Church and Cub Scout Pack 47 led the Pledge of Allegiance.

Councilmember Burrell moved to approve the minutes of the 14 November 2022, Regular Meeting; and minutes of the 14 November 2022, Work Session. Seconded by Councilmember Conyers, motion passed unanimously by voice vote.

Mayor Sullivan addressed the City Council regarding the following:

- 1) Thanked City employees for tree lighting along with the Electric Department, Police Department, Public Works and everyone that put effort into event.
- 2) Christmas Parade, Friday, December 2, 2022 at 7:00 p.m. Parade will roll through downtown with Santa on the Fire Truck at the end of parade.
- 3) Santa Saturday at the Fairhope Museum of History on Saturday, December 3rd and 10th from 10:30 a.m. – 12:00 p.m. Parents encouraged to bring cameras to take photos.
- 4) Hot Chocolate with the Mayor for Student Visits at the Fairhope Recreation Center on December 20th – 9 a.m. K – 2nd Grade, December 20th – 10 a.m. 3rd – 5th grade, December 28th – 9 a.m. 6th – 8th Grade, and December 28 – 10 a.m. 9th -12th grade. Junior City Council will assist Mayor Sullivan.
- 5) Introduced Cub Scout Leader Eric Friese of Cub Scout Pack 47 along with scouts for brief. Eric commented the 5th graders are working on the Arrow of Light requirement the highest rank in Cub Scouts. They are learning about government and building a better world. Eric thanked the Mayor and Council for allowing Pack 47 to be here tonight. Council President Robinson thanked Eric and Pack 47 for their attendance.

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Gary Gover, 300 Lincoln Street addressed Agenda Item #16 at Public Participation. He addressed bob wire used on utility property. Council President Robinson noted bob wire was on proposal and would discuss during Item #16.

Councilmember Burrell commented he hoped everyone had a Happy Thanksgiving and he is looking forward to the Christmas Parade Friday. He additionally thanked Councilmember Jimmy Conyers on his past year as Council President.

Councilmember Martin received letter from the Fairhope Environmental Advisory Board to acknowledge Kim Burmeister as a member on the board for the Osprey Project to save birds, Stormwater Management Plan - Restore Act that received \$650,000.00, and many other environmental needs in community. Congratulations Kim Burmeister for all your hard work.

Councilmember Conyers commented Tree Lighting was a great event to the Mayor and Staff, huge success. If the parade this weekend can be anywhere close to that were in for a great evening. Please come out and join fellow citizens.

Council President Robinson additionally commented on the Tree Lighting that he was on the radio this morning and this event is one of the most magical things to watch in Fairhope. It has been referred to by many to a Hallmark Movie. He additionally recognize City Staff and everyone that supported the event. I appreciate this event along with citizens of the City of Fairhope and visitors. He also acknowledged John Stewart for receiving the Spirit Ward for the Hospitality Industry, kudos. He thanked John for being in attendance at meeting.

A Public Hearing was held as advertised on a proposed ordinance to amend Ordinance No.1253. Councilmember Burrell introduced in writing a request to amend Ordinance No. 1664 and 1708, known as the Klumpp PUD. The property of Gayfer Village Partners, Inc. is approximately 75.85 acres and is generally located on the west side of State Highway 181 between Gayfer Road Ext. and Fairhope Avenue in Fairhope, Alabama. PPIN Numbers: 24160, 316793, 236701. The Planning Commission unanimously recommends approval subject to staff recommendations with added condition on the revision of site plan to allow a connection to Gayfer Avenue through Unit 3. Council President Robinson read the proposed ordinance.

Planning Director Hunter Simmons briefly explained the proposed ordinance; and answered any questions. Planning Commission unanimously recommends conditional approval with recommendations and with added condition on the revision of site plan to allow a connection to Gayfer Avenue through Unit 3 with follow-up preliminary plat.

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Council President Conyers opened the Public Hearing at 6:13 p.m.

- 1) Gary Gover, 300 Lincoln Street addressed the safety of children walking or riding a bicycle to and from Fairhope East Elementary School which is approximately one mile. He commented available paths are not safe. City should take leadership with stakeholders on development and provide safe path to school for the kids.

Councilmember Martin mentioned safe path and sidewalks have been in discussion at prior meetings.

Hunter Simmons commented on the Comprehensive Plan with safe paths and sidewalks are being reviewed.

Council President Robinson closed the Public Hearing closed at 6:23 p.m.

Due to lack of a motion for immediate consideration, this ordinance will layover until the December 12, 2022 City Council meeting.

A Public Hearing was held as advertised on a proposed ordinance to amend Zoning Ordinance No. 1253. Councilmember Burrell introduced in writing a request to establish initial zoning of RW Battles, LLC property to B-2 General Business District, concurrent with conditional annexation into the City of Fairhope. The property is approximately 21.18 acres and is located on the northwest corner of Greeno Road and Old Battles Road. PPIN Numbers: 17515, 391379, 391372, 391373, 391374, 391375, 391376. The Planning Commission gave a favorable recommendation of this ordinance. Council President Robinson read the proposed ordinance.

Planning Director Hunter Simmons briefly explained the proposed ordinance.

Council President Robinson opened the Public Hearing at 6:30 p.m. No one present opposed the proposed ordinance, the Public Hearing closed at 6:31 p.m.

Due to lack of a motion for immediate consideration, this ordinance will layover until the December 12, 2022 City Council meeting.

Councilmember Martin introduced in writing an ordinance to discontinue the issuance of Building Permits outside of the Corporate Limits within the Police Jurisdiction and Repealing Ordinance No. 1129 regarding the issuance of Building Permits within the Police Jurisdiction of the City of Fairhope, Section 7-16 of the City of Fairhope Code of Ordinances. Mayor Sullivan discussed ordinance as the result of Act 297 2021 or SB107 as Senate Bill put forward by Senator Chris Elliott to eliminate our Permitting and Planning Jurisdiction as of July 2023 and pull back to

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the Corporate Limits unless we come to agreement with County. We have decided to maintain our Police Jurisdiction at this current time. In January 2024 there will be option to pull back to a mile and a half, required October 2023. We are requesting to pull our Permitting and Planning Jurisdiction back to Corporate Limits. We would police and plan within Corporate limits. County will take over outside Corporate Limits.

Councilmember Robinson inquired on County taking over as of July 2023 whether or not we adopt ordinance. Mayor Sullivan said that is correct. We would make ordinance effective January 2023.

Councilmember Conyers inquired on County acknowledgement on takeover. Mayor Sullivan replied we have submitted electronic and written correspondence to the County reference our Planning Commission and City Council taking action and would forward notifications. We have not received a response back from the County.

Councilmember Burrell discussed County Zoning. Mayor Sullivan is concerned with developments outside our corporate limits with our utilities and coordination.

Councilmember Martin inquired on financial impact on permits from October – December 2022. Council President Robinson commented from budgeting standpoint no major impact.

Due to lack of a motion for immediate consideration, this ordinance will layover until the December 12, 2022 City Council meeting.

Councilmember Corey Martin introduced in writing, and moved for the adoption of the following resolution, a resolution that the public improvements indicated herein for Parkstone Subdivision are hereby accepted for public maintenance subject to the bond posted; and authorizes Mayor Sherry Sullivan to execute the Maintenance and Guaranty Agreement between the City of Fairhope and Eastpark LLC (the “Subdivider”). Seconded by Councilmember Conyers, motion passed unanimously by voice vote.

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28 November 2022

RESOLUTION NO. 4633-22

WHEREAS, the Owners of Parkstone Subdivision desire to have all public streets and public right-of-ways dedicated on the plat filed for record in the Probate Records of Baldwin County, Alabama, on Slide 2852-F, and all Fairhope public utilities located in public right-of-ways accepted for maintenance by the City of Fairhope, Alabama, and;

WHEREAS, the City of Fairhope, Alabama, has received notice from the engineers of the project that the design and capacity of the public improvements have been designed in conformance with City requirements, and;

WHEREAS, the Public Works Director has indicated that the improvements meet City requirements, and;

WHEREAS, the City of Fairhope, Alabama, has received from the owners of Parkstone Subdivision, maintenance bonds for the public improvements constructed for a period of 2 years, and;

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FAIRHOPE, ALABAMA, That the public improvements indicated herein for Parkstone Subdivision are hereby accepted for public maintenance subject to the bond posted; and authorizes Mayor Sherry Sullivan to execute the Maintenance and Guaranty Agreement between the City of Fairhope and Eastpark LLC (the "Subdivider").

BE IT FURTHER RESOLVED, this resolution of acceptance shall not obligate the City of Fairhope to maintain any utility or drainage facilities outside the limits of the right-of-way of the public streets, or any irrigation systems installed within the right-of-way of public streets, whether or not such may be located within dedicated easements in any of these developments.

ADOPTED THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

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28 November 2022

Councilmember Conyers introduced in writing, and moved for the adoption of the following resolution, a resolution That the public improvements indicated herein for Riverhorse Subdivision are hereby accepted for public maintenance subject to the bond posted; and authorizes Mayor Sherry Sullivan to execute the Maintenance and Guaranty Agreement between the City of Fairhope and Dilworth Development, Inc. (the “Subdivider”). Seconded by Councilmember Martin, motion passed unanimously by voice vote.

RESOLUTION NO. 4634-22

WHEREAS, the Owners of Riverhorse Subdivision desire to have all public streets and public right-of-ways dedicated on the plat filed for record in the Probate Records of Baldwin County, Alabama, on Slide 2841-E, and all Fairhope public utilities located in public right-of-ways accepted for maintenance by the City of Fairhope, Alabama, and;

WHEREAS, the City of Fairhope, Alabama, has received notice from the engineers of the project that the design and capacity of the public improvements have been designed in conformance with City requirements, and;

WHEREAS, the Public Works Director has indicated that the improvements meet City requirements, and;

WHEREAS, the City of Fairhope, Alabama, has received from the owners of Riverhorse Subdivision, maintenance bonds for the public improvements constructed for a period of 2 years, and;

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FAIRHOPE, ALABAMA, That the public improvements indicated herein for Riverhorse Subdivision are hereby accepted for public maintenance subject to the bond posted; and authorizes Mayor Sherry Sullivan to execute the Maintenance and Guaranty Agreement between the City of Fairhope and Dilworth Development, Inc. (the “Subdivider”).

BE IT FURTHER RESOLVED, this resolution of acceptance shall not obligate the City of Fairhope to maintain any utility or drainage facilities outside the limits of the right-of-way of the public streets, or any irrigation systems installed within the right-of-way of public streets, whether or not such may be located within dedicated easements in any of these developments.

ADOPTED THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

28 November 2022

Councilmember Conyers introduced in writing, and moved for the adoption of the following resolution, a resolution Authorizing Signees of all City of Fairhope Accounts. Seconded by Councilmember Burrell, motion passed unanimously by voice vote.

RESOLUTION NO. 4635-22

WHEREAS, two signatures are required on all monetary transactions of the City of Fairhope; and

WHEREAS, travel is sometimes required of the Mayor and of the Treasurer and provisions should be made to cover monetary requirements of the City in the absence of one or both; THEN, THEREFORE

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, FAIRHOPE, ALABAMA, that all Financial Depositories where monies of the City are deposited, whether in checking, savings, or other type accounts, currently or in the future; be and hereby are advised that **any two of the following signees** are authorized to sign any monetary transaction between said Depositories and the City of Fairhope, Alabama. Attached is a list of all Depositories for the City of Fairhope;

- _____ Sherry Sullivan, Mayor
- _____ Jay Robinson, Council President
- _____ Lisa A. Hanks, City Clerk
- _____ Kimberly W. Creech, City Treasurer

BE IT FURTHER RESOLVED that the City Council authorizes to use computer generated signatures for routine checks under Ten Thousand Dollars (\$10,000.00). All monetary transactions over \$10,000.00 must have at least one true signature.

Sample:

BE IT FURTHER RESOLVED that a certified copy of this resolution be sent to all Depositories as authorization of and as a record of above signee signatures.

ADOPTED THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

I certify this to be a true and correct copy of Res. No. _____ as adopted by the Governing Body in regular session on November 28, 2022.

City Clerk

Date

28 November 2022

Councilmember Martin introduced in writing, and moved for the adoption of the following resolution, a resolution that the City of Fairhope approves the selection to award the Request for Qualifications (RFQ PS020-22) Professional Architectural & Engineering Services – Redevelopment & Remodel of the Fairhope K-1 Center (EDA Funded Project No. COF-2023 EDA001) to Watermark Design Group; and hereby authorizes Mayor Sherry Sullivan to negotiate the fee schedule for contract with firm. Seconded by Councilmember Conyers, motion passed unanimously by voice vote. Councilmember Burrell commented we look forward to working with Watermark Design Group.

RESOLUTION NO. 4636-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, That the City Council approves the selection to award the Request for Qualifications (RFQ PS020-22) Professional Architectural & Engineering Services – Redevelopment & Remodel of the Fairhope K-1 Center (EDA Funded Project No. COF-2023 EDA001) to Watermark Design Group; and hereby authorizes Mayor Sherry Sullivan to negotiate the fee schedule for contract with firm.

BE IT FURTHER RESOLVED, That the approval of this contract is subject to the review and approval of the U. S. Chamber of Commerce’s Economic Development Administration (EDA), and that the contract will not be executed until written approval has been provided by the EDA.

DULY ADOPTED THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

28 November 2022

**CITY OF FAIRHOPE EVALUATION
 BID NUMBER: RFQ PS020-22**

BID NAME: Professional Architectural & Engineering Services - Redevelopment & Remodel of the Fairhope K-1 Center

Opened: September 21, 2022 at 10:00 A.M.

Hargrove and Associates, Inc.

	Points Range	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7
Criteria 1: Minimum Qualifications	0-10	10	10	9	9	10	8	10
Criteria 2: Knowledge of the EDA/HUD and other Federally Funded programs	0-15	15	12	15	14	15	13	10
Criteria 3: Resources and Availability	0-20	17	16	16	18	17	15	18
Criteria 4: Experience of Proposed Personnel	0-20	16	17	18	16	19	16	18
Criteria 5: Scope of Services	0-15	14	13	15	14	10	10	15
Criteria 6: Experience with Similar Projects	0-20	15	17	19	15	19	13	20
Total Score:		87	85	92	86	90	75	91
Average Score:								86.6

Walcott Adams Verneuille Architects, Inc.

	Points Range	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7
Criteria 1: Minimum Qualifications	0-10	10	10	9	9	10	8	10
Criteria 2: Knowledge of the EDA/HUD and other Federally Funded programs	0-15	15	11	13	13	13	12	10
Criteria 3: Resources and Availability	0-20	15	15	16	16	20	14	20
Criteria 4: Experience of Proposed Personnel	0-20	18	17	18	18	20	18	20
Criteria 5: Scope of Services	0-15	12	12	13	13	15	12	15
Criteria 6: Experience with Similar Projects	0-20	18	16	17	18	19	16	15
Total Score:		88	81	86	87	97	80	90
Average Score:								87.0

Watermark Design Group

	Points Range	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	Evaluator 6	Evaluator 7
Criteria 1: Minimum Qualifications	0-10	10	10	9	9	10	9	10
Criteria 2: Knowledge of the EDA/HUD and other Federally Funded programs	0-15	15	12	14	13	15	12	10
Criteria 3: Resources and Availability	0-20	15	18	19	19	19	16	20
Criteria 4: Experience of Proposed Personnel	0-20	16	19	20	18	20	19	20
Criteria 5: Scope of Services	0-15	13	14	14	14	15	12	15
Criteria 6: Experience with Similar Projects	0-20	17	18	19	17	19	15	20
Total Score:		86	91	95	90	98	83	95
Average Score:								91.1

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28 November 2022

Councilmember Martin introduced in writing, and moved for the adoption of the following resolution, a resolution That Mayor Sherry Sullivan is hereby authorized to execute a contract for a Professional Consultant for the Design and Production of the Fireworks Display for New Year's Eve with Pyro Productions Inc. for (RFQ PS23-004) with an amount not-to-exceed \$12,500.00; and authorize the City Treasurer to pay \$6,250.00 with the execution of contract and \$6,250.00 December 31, 2022. Seconded by Councilmember Conyers, motion passed unanimously by voice vote. Councilmember Burrell discussed fireworks are 25% over budget. Council President Robinson commented the Fire Department no longer does the fireworks due to qualifications. Paige Crawford addressed City Council and discussed a grant was received from Faust Office for fireworks.

RESOLUTION NO. 4637-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That Mayor Sherry Sullivan is hereby authorized to execute a contract for a Professional Consultant for the Design and Production of the Fireworks Display for New Year's Eve with Pyro Productions Inc. for (RFQ PS23-004) with an amount not-to-exceed \$12,500.00; and authorize the City Treasurer to pay \$6,250.00 with the execution of contract and \$6,250.00 December 31, 2022.

DULY ADOPTED THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

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28 November 2022

Councilmember Burrell introduced in writing, and moved for the adoption of the following resolution, a resolution that Mayor Sherry Sullivan is hereby authorized to execute a contract between the City of Fairhope and Music Garden to provide musical entertainment at the Fairhope New Year's Eve 2023 Celebration for a not-to-exceed amount of \$10,000.00; and authorize the City Treasurer to pay \$10,000.00 payable to Music Garden with execution of contract prior to the performance. Seconded by Councilmember Conyers, motion passed unanimously by voice vote. Councilmember Martin inquired on the type of music to be played at the event. Paige Crawford addressed the City Council that the Big City Party Band out of Atlanta, Georgia will play a variety of music.

RESOLUTION NO. 4638-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That Mayor Sherry Sullivan is hereby authorized to execute a contract between the City of Fairhope and Music Garden to provide musical entertainment at the Fairhope New Year's Eve 2023 Celebration for a not-to-exceed amount of \$10,000.00; and authorize the City Treasurer to pay \$10,000.00 payable to Music Garden with execution of contract prior to the performance.

ADOPTED ON THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

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28 November 2022

Councilmember Martin introduced in writing, and moved for the adoption of the following resolution, that the City of Fairhope approves the award of (Bid No. 23-005) New Medium Duty 15,000 GVWR Crew Cab Truck Chassis or equivalent to Larry Puckett Chevrolet, Inc. for the Water Department with a not-to-exceed amount of \$62,008.14. Seconded by Councilmember Conyers, motion passed unanimously by voice vote. Councilmember Conyers discussed that Water/Wastewater Superintendent Jason Langley discussed item in Work Session.

RESOLUTION NO. 4639-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope did request, receive, and open bids to procure services for (Bid No. 23-005) New Medium Duty 15,000 GVWR Crew Cab Truck Chassis or Equivalent at 555 South Section Street in the City of Fairhope offices, Fairhope, Alabama.

[2] At the appointed time and place, bids were received and tabulated as follows:

Please see attached Bid Tabulation for
New Medium Duty 15,000 GVWR Crew Cab Truck Chassis or Equivalent

[3] At the appointed time and place; after evaluating the bids with the required specifications, Larry Puckett Chevrolet, Inc. is now awarded (Bid No. 23-005) New Medium Duty 15,000 GVWR Crew Cab Truck Chassis or Equivalent with a total bid proposal not-to-exceed \$62,008.14.

ADOPTED ON THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

28 November 2022

Councilmember Martin introduced in writing, and moved for the adoption of the following resolution, a resolution that the City of Fairhope approves the selection for (RFQ PS23-006) Professional Healthcare Services for the Fairhope City Jail; and hereby authorizes Mayor Sherry Sullivan to execute a one (1) year contract with Bay Nursing, Inc. with a not-to-exceed budgeted amount of \$13,000.00; and with the option to renew for two (2) additional one (1) year terms. Seconded by Councilmember Conyers, motion passed unanimously by voice vote.

RESOLUTION NO. 4640-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope approves the selection for (RFQ PS23-006) Professional Healthcare Services for the Fairhope City Jail; and hereby authorizes Mayor Sherry Sullivan to execute a one (1) year contract with Bay Nursing, Inc. with a not-to-exceed budgeted amount of \$13,000.00; and with the option to renew for two (2) additional one (1) year terms.

DULY ADOPTED THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

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28 November 2022

Councilmember Burrell introduced in writing, and moved for the adoption of the following resolution, a resolution that the City of Fairhope approves the procurement for a Replacement Chain Link Fence and Gate with Door Opener for the Wastewater Treatment Plant located at 300 North Church Street; a Request for Quote (RFQ) was submitted to three (3) potential vendors and Hagan Fence provided the lowest quote. The total amount not-to-exceed \$32,236.00. Seconded by Councilmember Martin, motion passed unanimously by voice vote. Council President Robinson discussed Gary Gover question during Public Comment reference agenda item on bob wire. City Attorney Marcus E. McDowell confirmed we are exempt.

RESOLUTION NO. 4641-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope approves the procurement for a Replacement Chain Link Fence and Gate with Door Opener for the Wastewater Treatment Plant located at 300 North Church Street; a Request for Quote (RFQ) was submitted to three (3) potential vendors and Hagan Fence provided the lowest quote. The total amount not-to-exceed \$32,236.00.

ADOPTED ON THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

ATTEST:

Lisa A. Hanks, MMC
City Clerk

QUOTES		
Vendor Name		Vendor Quote
1. Hagan Fence		\$ 32,236.00
2. Bailey Door, Inc		\$ 37,187.00
3. Consolidated Fence Company		\$ 45,000.00

28 November 2022

Councilmember Martin introduced in writing, and moved for the adoption of the following resolution, a resolution that the City of Fairhope approves the procurement of CARUS 8700 Corrosion Inhibitors for the Water Department from Alberty & Blakeney LLC as Sole Source Distributor; exempt from formal bid pursuant to Code of Alabama 1975, Section 41-16-51(b)(7). The total amount not-to-exceed the amount of \$150,000.00. Seconded by Councilmember Conyers, motion passed unanimously by voice vote.

RESOLUTION NO. 4642-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope approves the procurement of CARUS 8700 Corrosion Inhibitors for the Water Department from Alberty & Blakeney LLC as Sole Source Distributor; exempt from formal bid pursuant to Code of Alabama 1975, Section 41-16-51(b)(7). The total amount not-to-exceed the amount of \$150,000.00.

ADOPTED ON THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

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28 November 2022

Councilmember Burrell introduced in writing, and moved for the adoption of the following resolution, a resolution That the City of Fairhope approves the procurement of inventory for House Regulators for the Gas Department from John H. Carter Co., Inc. as Sole Source Provider in the State of Alabama; exempt from formal bid pursuant to Code of Alabama 1975, Section 41-16-51(b)(7). The total cost not-to-exceed the amount of \$55,865.60. Seconded by Councilmember Martin, motion passed unanimously by voice vote.

RESOLUTION NO. 4643-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope approves the procurement of inventory for House Regulators for the Gas Department from John H. Carter Co., Inc. as Sole Source Provider in the State of Alabama; exempt from formal bid pursuant to Code of Alabama 1975, Section 41-16-51(b)(7). The total cost not-to-exceed the amount of \$55,865.60.

ADOPTED ON THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

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28 November 2022

Councilmember Burrell introduced in writing, and moved for the adoption of the following resolution, a resolution that the City of Fairhope approves the procurement of Bullhorn RM4251 DC Remote Monitoring Cathodic Protection and monthly service fee for gas meter reading for the Gas Department with American Innovations as Sole Source; and authorizes procurement based on the option allowed by the Code of Alabama 1975, Section 41-16-51 (b)(7). The total amount will not-to-exceed \$70,000.00. Council President Robinson confirmed with Regulatory Compliance Manger Wes Boyett the budgeted amount is \$70,000.00, as listed on the Green Sheet with a not-to-exceed and the confirmed quote of \$53,800.00 with monthly service fee of \$7.95. Council President Robinson commented item came in under budget by \$17,000.00. Councilmember Burrell asked why we are establishing a not-to-exceed amount of \$70,000.00. Wes commented we can adjust to \$53,800.00 with monthly service fee of \$7.95. Council President Robinson said we can amend to \$54,000.00. Council Burrell moved to amend Item No. 19 to show amount not to exceed \$54,000.00, seconded by Councilmember Martin, motion passed unanimously by voice vote. Council President Robinson commented Item No. 19 has been amended, and the amended resolution should read City of Fairhope approves the procurement of Bullhorn RM4251 DC Remote Monitoring Cathodic Protection and monthly service fee for gas meter reading for the Gas Department with American Innovations as Sole Source; and authorizes procurement based on the option allowed by the Code of Alabama 1975, Section 41-16-51 (b)(7). The total amount will not-to-exceed \$54,000.00. Councilmember Burrell motion to accept, seconded by Councilmember Martin, passed by unanimously by voice vote.

RESOLUTION NO. 4644-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope approves the procurement of Bullhorn RM4251 DC Remote Monitoring Cathodic Protection and monthly service fee for gas meter reading for the Gas Department with American Innovations as Sole Source; and authorizes procurement based on the option allowed by the Code of Alabama 1975, Section 41-16-51 (b)(7). The total amount will not-to-exceed \$54,000.00.

ADOPTED ON THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

28 November 2022

Councilmember Burrell introduced in writing, and moved for the adoption of the following resolution, a resolution that the City of Fairhope approves the procurement of inventory for Residential and Commercial Gas Meters for the Gas Department to be purchased from Ed Young Sales Company, Inc. as Sole-Source Distributor; exempt from formal bid pursuant to Code of Alabama 1975, Section 41-16-51(b)(7). The total amount not-to-exceed the amount of \$219,572.40. Seconded by Councilmember Conyers, motion passed unanimously by voice vote.

RESOLUTION NO. 4645-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope approves the procurement of inventory for Residential and Commercial Gas Meters for the Gas Department to be purchased from Ed Young Sales Company, Inc. as Sole-Source Distributor; exempt from formal bid pursuant to Code of Alabama 1975, Section 41-16-51(b)(7). The total amount not-to-exceed the amount of \$219,572.40.

ADOPTED ON THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

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28 November 2022

Councilmember Martin introduced in writing, and moved for the adoption of the following resolution, a resolution that the City of Fairhope approves the procurement of inventory for Neptune R900G AMR for gas meter reading for the Gas Department to be purchased from Consolidated Pipe and Supply Co., Inc. as Sole Source Distributor; exempt from formal bid pursuant to Code of Alabama 1975, Section 41-16-51(b)(7). The total cost not-to-exceed \$285,000.00. Seconded by Councilmember Burrell, motion passed unanimously by voice vote.

RESOLUTION NO. 4646-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope approves the procurement of inventory for Neptune R900G AMR for gas meter reading for the Gas Department to be purchased from Consolidated Pipe and Supply Co., Inc. as Sole Source Distributor; exempt from formal bid pursuant to Code of Alabama 1975, Section 41-16-51(b)(7). The total cost not-to-exceed \$285,000.00.

ADOPTED ON THIS 28TH DAY OF NOVEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

Councilmember Martin moved to appoint Mike Walker and Morgan Russell to the Pedestrian and Bicycle Committee for a three year term which will expire 2025. Seconded by Councilmember Burrell, motion passed unanimously by voice vote.

Councilmember Martin moved to grant the request of Emilee Foster requesting permission on behalf of Mobile Baykeeper, Inc. requesting approval for the 2023 Publix Grandman Triathlon, “19th Anniversary”, May 18-20, 2023 and to use the City of Fairhope Parklands. Special Event Request and Application for the Use of City Parklands are included within the Agenda Packet with details of the event. Seconded by Councilmember Conyers, motion passed unanimously by voice vote.

28 November 2022

Gary Gover, 300 Lincoln Street addressed Agenda Item #16 at Public Participation. He spoke on behalf of the Historic Preservation Committee reference the discussion during Work Session I would like to offer that the committee put together a Workshop for the Councilmembers, Mayor, and City Staff to meet with the experts from the Alabama Historic Commission with concerns. Council and Mayor Sullivan agreed to Workshop.

Gary Gover addressed a concern reference the recycling pickup during holidays. My suggestion is to increase communication to our community. Gary thanked the Mayor and Council. Council President Robinson additionally thanked Gary.

Mayor Sullivan thanked Cub Scout Pack 47 for their attendance at the meeting and for being respectful at Council Meeting with good manners.

Mayor Sullivan announced she would be in Montgomery tomorrow for the Alabama League of Municipalities Legislative Committee Meeting. SB107 is an important issue that will impact our community locally. Councilmember Burrell asked that she propose a district of any type needs to be on ballot with map. Mayor commented good idea. Councilmember Conyers will attend the Chamber Luncheon on my behalf for Elected Officials and give my remarks. Mayor thanked Council.

Council Robinson asked for any further public participation.

Cub Scout Pack 47 Member Sam Edgerly inquired on Multiple Utility Project. Mayor Sullivan gave summary of project. Council President and Mayor thanked Sam.

Cub Scout Pack 47 Member Harmony Lamberth said she was happy to be here. Council President Robinson commented that was the sweetest public participation we had at a Council Meeting. Council President Robinson thanked Harmony.

Councilmember Conyers moved to adjourn the meeting. Seconded by Councilmember Martin, motion passed unanimously by voice vote.

There being no further business to come before the City Council, the meeting was duly adjourned at 7:07 p.m.

Jay Robinson, Council President

Lisa A. Hanks, MMC
City Clerk

ORDINANCE NO. ____

AN ORDINANCE AMENDING ORDINANCE NO. 1253
KNOWN AS THE ZONING ORDINANCE, AND AMENDING
ORDINANCE NO. 1664 AND 1708

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FAIRHOPE, ALABAMA as follows:

Whereas, the ordinance known as the Zoning Ordinance (No. 1253), adopted 27 June 2005, together with the Zoning Map of the City of Fairhope, be and the same hereby is changed and altered in respect to that certain property described below and known as the Klumpp PUD;

Whereas, after the appropriate public notice and hearing of the Planning Commission of the City of Fairhope, Alabama, forwarded a **favorable** recommendation for Ordinance No. 1664 on November 25, 2019, to establish the Klumpp PUD; and to further amend the Klumpp PUD with Ordinance No. 1708 on April 26, 2021; and

Now Therefore, the Planning Commission of the City of Fairhope, Alabama, has forwarded a **favorable** recommendation to amend the Klumpp PUD.

The property of Gayfer Village Partners, Inc. generally located on the west side of State Hwy. 181 between Gayfer Road and Fairhope Avenue, Fairhope, Alabama.

KLUMPP PUD (2nd) AMENDMENT

PPIN #: 24160, 236701 and 316793

Legal Description: (Case number ZC 22.04)

COMMENCE AT A RAILROAD SPIKE AT THE NORTHEAST CORNER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; RUN THENCE WEST, ALONG THE NORTH LINE OF SAID SECTION 15 1320.55 FEET TO A POINT; RUN THENCE SOUTH 00-22-18 WEST, 29.73 FEET TO A CAPPED REBAR MARKER ON THE SOUTH RIGHT-OF-WAY LINE OF GAYFER AVENUE FOR THE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED, SAID POINT BEING THE NORTHEAST CORNER OF "WHITE GROVE SUBDIVISION, UNIT TWO" AS RECORDED ON SLIDE 1344-B IN THE BALDWIN COUNTY PROBATE RECORDS, CONTINUE THENCE SOUTH 00-22-18 WEST, ALONG THE EAST LINE OF SAID SUBDIVISION, 1298.08 FEET TO A CAPPED REBAR MARKER AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; RUN THENCE SOUTH 00-56-09 WEST, 1297.18 FEET TO A CAPPED REBAR MARKER ON THE NORTH RIGHT-OF-WAY LINE OF FAIRHOPE AVENUE; RUN THENCE SOUTH 89-55-36 EAST, ALONG SAID RIGHT-OF-WAY LINE, 1178.82 FEET TO A CAPPED REBAR MARKER; RUN THENCE NORTH 45-24-21 EAST, 132.28 FEET TO A CAPPED REBAR MARKER ON THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD 27; RUN THENCE NORTH 00-44-18 EAST, ALONG SAID WEST RIGHT OF WAY LINE, 229.22 FEET TO A CAPPED REBAR MARKER; THENCE CONTINUE NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY, 107.85 FEET TO A CAPPED REBAR MARKER; THENCE RUN NORTH 04-44-33 EAST, ALONG SAID RIGHT-OF-WAY, 100.24 FEET TO A CAPPED REBAR MARKER; THENCE RUN NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY, 433.00 FEET TO A CAPPED REBAR MARKER; RUN THENCE NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY LINE, 1562.96 FEET TO A CAPPED REBAR MARKER ON THE SOUTH RIGHT-OF-WAY LINE OF GAYFER AVENUE; RUN THENCE SOUTH 89-57-26 WEST, ALONG SAID RIGHT-OF-WAY LINE, 1282.66 FEET TO THE POINT OF BEGINNING; CONTAINING 75.93 ACRES, MORE OR LESS.

1. **That**, attached as "Exhibit A" is an approved site plan. The property must develop in substantial conformance with the approved site plan and supporting documents. Any substantial deviation from the attached site plan, as determined by the Director of Planning, will require re-approval by the Planning Commission and the City Council of the City of Fairhope, Alabama, as a PUD amendment.
2. **That**, the following amendments have been made to the PUD:

Ordinance No. _____

Page -2-

The layout of the roads were revised to provide connectivity to Gayfer Avenue Extension as shown on Exhibit A attached hereto.

UNIT 1:

Lots: The lot count remains the same. The lot layout has been amended as shown on Exhibit A attached hereto.

UNIT 2:

Acreage: Unit 2 was reduced from 41.03 acres to 40.76 acres as shown on Exhibit A attached hereto.

UNIT 3:

Lots: There shall be two (2) lots.

Site Plan Review: A stand-alone Site Plan Review shall be required for Lot 1.

Use:

- The use of Lot 1 shall be restricted to convalescent, nursing, or assisted living.
- Lot 2 is intended only for constructed wetlands; no buildings are proposed on Lot 2 within this PUD Amendment.

Dimension Standards: The setbacks, building height, and lot coverage for Lot 1 shall be per the R-3 requirement. The R-3 minimum lot width shall not apply, and the lot dimension shall be as shown on Exhibit A attached hereto.

The Planned Unit Development (PUD) known as Klumpp PUD is hereby amended. This Klumpp PUD (2nd) Amendment supersedes all prior Klumpp PUDs and any terms within prior PUDs that have not been hereby amended remain in full force and effect. It shall hereafter be lawful to construct on such property any structures permitted by Ordinance No. 1253 and to use said premises for any use permitted or building sought to be erected on said property shall be in compliance with the building laws of the City of Fairhope and that any structure shall be approved by the Building Official of the City of Fairhope and that any structure be erected only in compliance with such laws, including the requirements of Ordinance No. 1253.

Severability Clause - if any part, section or subdivision of this ordinance shall be held unconstitutional or invalid for any reason, such holding shall not be construed to invalidate or impair the remainder of this ordinance, which shall continue in full force and effect notwithstanding such holding.

Effective Date – This ordinance shall take effect immediately upon its due adoption and publication as required by law.

ADOPTED AND APPROVED THIS 12TH DAY OF DECEMBER, 2022

By: _____
Jay Robinson, Council President

Attest:

By: _____
Lisa A. Hanks, MMC
City Clerk

ADOPTED AND APPROVED THIS 12TH DAY OF DECEMBER, 2022

By: _____
Sherry Sullivan, Mayor

Exhibit A

PROPERTY DESCRIPTION:

STATE OF ALABAMA
COUNTY OF BALDWIN

COMMENCE AT A RAILROAD SPIKE AT THE NORTHEAST CORNER OF SECTION 16, TOWNSHIP 8 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; RUN THENCE WEST, ALONG THE NORTH LINE OF SAID SECTION 16 1320.85 FEET TO A POINT; RUN THENCE SOUTH 00-22-18 WEST, 29.73 FEET TO A CAPPED REBAR MARKER ON THE SOUTH RIGHT-OF-WAY LINE OF GAYFER AVENUE FOR THE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED; SAID POINT BEING THE NORTHEAST CORNER OF "WHITE GROVE SUBDIVISION, UNIT TWO" AS RECORDED ON SLIDE 1344-B IN THE BALDWIN COUNTY PROBATE RECORDS; CONTINUE THENCE SOUTH 00-22-18 WEST, ALONG THE EAST LINE OF SAID SUBDIVISION, 1298.08 FEET TO A CAPPED REBAR MARKER AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; RUN THENCE SOUTH 00-56-09 WEST, 1297.18 FEET TO A CAPPED REBAR MARKER ON THE NORTH RIGHT-OF-WAY LINE OF FAIRHOPE AVENUE; RUN THENCE SOUTH 88-55-36 EAST, ALONG SAID RIGHT-OF-WAY LINE, 1179.82 FEET TO A CAPPED REBAR MARKER; RUN THENCE NORTH 45-44-21 EAST, 132.26 FEET TO A CAPPED REBAR MARKER ON THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD 27; RUN THENCE NORTH 00-44-18 EAST, ALONG SAID WEST RIGHT-OF-WAY LINE, 229.22 FEET TO A CAPPED REBAR MARKER; THENCE CONTINUE NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY, 107.86 FEET TO A CAPPED REBAR MARKER; THENCE RUN NORTH 04-44-33 EAST, ALONG SAID RIGHT-OF-WAY, 100.24 FEET TO A CAPPED REBAR MARKER; THENCE RUN NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY, 433.00 FEET TO A CAPPED REBAR MARKER; RUN THENCE NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY LINE, 1562.88 FEET TO A CAPPED REBAR MARKER ON THE SOUTH RIGHT-OF-WAY LINE OF GAYFER AVENUE; RUN THENCE SOUTH 88-57-28 WEST, ALONG SAID RIGHT-OF-WAY LINE, 1282.86 FEET TO THE POINT OF BEGINNING; CONTAINING 75.83 ACRES, MORE OR LESS.

NOTES

- Drainage, utility and pedestrian easements will be provided and recorded as necessary during site plan and subdivision approval.
- Each lot of each unit must provide and maintain positive drainage for adjacent properties that may be discharging onto it.
- Sidewalks (min. 5' wide) within the public right-of-way as shown on C2.011 will be provided at the time the streets are constructed. Sidewalks within all of Unit 1, 2 and 3 lots will be designed and constructed in accordance with the Site Plan approved for each lot.
- In attempt to achieve a cohesive character of residential development in Unit 2; Fronts of all residential building units within Unit 2 shall fall within a 20' min. and a 40' maximum build to zone from the street, with the exception of buildings impacted by utility locations, lighting, or buildings located along corners, or curves in the street in which case these buildings may vary from this build to zone.
- In attempt to achieve a cohesive character of development in Unit 1 and 2; All building facade materials shall be constructed of like materials set, in precedent, by the 1st site plan development submitted.
- Subsequent buildings may vary in material by providing greater or equal quality of facade material and design and as approved by the Planning Commission and City Council.
- All trees and landscape material will be provided as listed in local landscape ordinances unless otherwise coordinated with the city urban forestry or arborist.

NOTES

- The zoning dimensions for Unit 2, Lot 1 are modeled after, but not identical to, the zoning requirements for R-3 found in the Fairhope Zoning Ordinance. The following exceptions apply:
 - The minimum lot width shall not apply. The lot dimensions shall be as shown on the PUD drawing.
 - Total number of allowed units is 233.
- The requirements for Unit 3, Lots 1 and 2, are modeled after, but not identical to, the zoning requirements for R-3 found in the Fairhope Zoning Ordinance.
 - The minimum lot width shall not apply. The lot dimensions shall be as shown on the PUD drawing.
- The allowed use for Unit 3, Lot 1 shall be limited to convalescent, nursing or assisted living home.
- No Buildings are proposed for Unit 3, Lot 2 within this PUD.
- Each lot in Unit 1 shall provide its own stormwater control and detention.
- All commercial lots should follow the guidance of the TIS. Any projects exceeding the projections in the submitted TIS may require additional road improvements.
- This PUD document, along with the City of Fairhope's Ordinances, Regulations, and review processes will provide a development that complies with the City's Comprehensive Plan.

UNIT	LOT(S)	ZONING ORIGINATOR STANDARDS	ALLOWED USES	DEVIATION AND DETENTION	RESIDENCY TYPE	CITY OF FAIRHOPE COMPREHENSIVE PLAN COMPLIANCE	CITY OF FAIRHOPE APPROVAL PROCESS
1	1-12	B-2	B-2	Shall be designed and constructed in accordance with the Stormwater Standards of the Fairhope Subdivision Regulations*	B (see Typical Section)	Yes*	In accordance with Article 11 - Procedures of the Fairhope Zoning Ordinance each lot of Unit 1 shall follow the Site Plan Review Procedures. This process requires, in general, the following steps: 1. Submission of Site Plan Application by applicant 2. Determination by Director of Planning and Building that the application is complete 3. Review and recommendation by Planning Commission with optional Public Hearing 4. Final decision by City Council
2	1	R-3*	R-3	Shall be designed and constructed in accordance with the Stormwater Standards of the Fairhope Subdivision Regulations	B,C (see Typical Section)	Yes*	In accordance with Article 8 - Procedures of the Fairhope Zoning Ordinance each lot of Unit 2 shall follow the Site Plan Review Procedures. This process requires, in general, the following steps: 1. Submission of Site Plan Application by applicant 2. Determination by Director of Planning and Building that the application is complete 3. Review and recommendation by Planning Commission with optional Public Hearing 4. Final decision by City Council
3	2	R-3*	R-3	Shall be designed and constructed in accordance with the Stormwater Standards of the Fairhope Subdivision Regulations. Lot 2 will contain 3.03 constructed Wetlands Wetlands at a ratio that meets the City of Fairhope Wetlands Ordinance	A,B (see Typical Section)	Yes*	In accordance with Article 11 - Procedures of the Fairhope Zoning Ordinance each lot of Unit 3 shall follow the Site Plan Review Procedures. This process requires, in general, the following steps: 1. Submission of Site Plan Application by applicant 2. Determination by Director of Planning and Building that the application is complete 3. Review and recommendation by Planning Commission with optional Public Hearing 4. Final decision by City Council

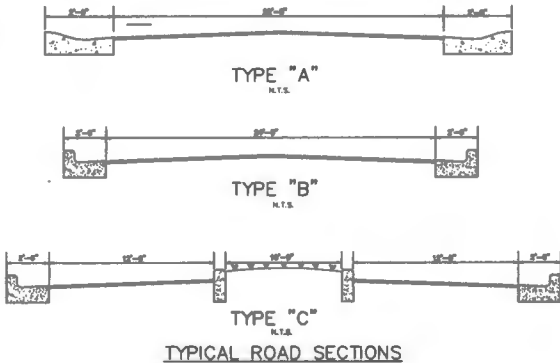


TABLE 2

	UNIT AND RIGHT-OF-WAY ACREAGE	
	ACREAGE EXCLUDING R.O.W	ACREAGE OF R.O.W
UNIT 1	19.50	5.28
UNIT 2	40.76	
UNIT 3	9.21	1.18
TOTAL SITE	69.47	6.46

Owner: Gayfer Village Partners, LLC



2039 Main Street
Daphne, AL 36528
T 251.656.2626
GMCRTW@GMC.COM

17 OCTOBER, 2023

KLUMPP PARCEL
PROPOSED DEVELOPMENT
FAIRHOPE, ALABAMA

GMC Project: CMOB190186

NOTES

NO SCALE

C3.01

MEMORANDUM

DATE: November 28, 2022
TO: Fairhope City Council
FROM: Hunter Simmons, Planning Director
RE: Klumpp PUD (ZC 22.04)

A Public Hearing was held during the June 6, 2022 Fairhope Planning Commission ("Commission") for an amendment to the Klumpp PUD. In essence, the reasoning for this amendment focused on a proposed road that crossed the upper Cowpen Creek watershed and ultimately connected to US HWY 181. After multiple permits were submitted to the USACE, the Applicant instead asked to amend the PUD to remove the proposed road.

The staff report presented to the Planning Commission is attached for your convenience. Staff reviewed the request and made a recommendation to the Planning Commission to approved Case ZC 22.04 with the following conditions:

1. A new application for preliminary plat is submitted to Planning Commission for approval making case SD 21.33 null and void.
2. A master drainage plan shall be prepared for the entire site and included with the initial subdivision application creating units 1-3
3. City of Fairhope site plan review (Zoning Ordinance Article II, Section C.2.) shall be mandatory for each lot within units 1-3.
4. City of Fairhope subdivision regulations (including multiple occupancy project provisions as applicable) shall be required for the creation of all lots and units within the Klumpp PUD.
5. A 20' greenspace and tree preservation strip shall be provided along Hwy 181.
6. Unit 2 will require 20% greenspace as shown. Provided retention/detention shall not encroach into required greenspace other than those methods approved within the City of Fairhope Subdivision Regulations and/or as approved during MOP/Site Plan Review.
7. Construction of sidewalks shall be done at the time of development of the internal roadways.

The Planning Commission unanimously recommended approval of ZC 22.04, subject to staff recommendations. They also added the following condition.

8. Revision of the site plan to allow a connection to Gayfer Avenue through Unit 3.

The Applicant submitted revised plans and provided the requested connection to Gayfer Ave Ext., through Unit 3. In summary, the following changes to the PUD are being proposed to accommodate the new road.

- One street connection was removed to Hwy 181, but a new connection was added to Gayfer Ave Ext.
- Unit 1, layout of Lots 9-12 received minor changes to accommodate the new road.
- Unit 2, Lot 1 was reduced in size from 41.03 acres to 40.76 acres to accommodate the new road.
- Unit 3 was split into two lots.
 - Unit 3, Lot 1 is still limited in use as convalescent, nursing, or assisted living home, but the acreage changed from 10.63 acres to 5.12 acres.
 - Unit 3, Lot 2 consists of entirely constructed wetlands.

Being a PUD, further development of the subject property must develop in substantial conformance with the approved plans. The revised plans, included as Exhibit A, meet the requirements set forth in Condition 8 above. Consequently, this PUD amendment (Case 22.04) is being forwarded to the City Council with recommendations of approval from staff, as well as a unanimous recommendation of approval from the Planning Commission with the following conditions:

1. A new application for preliminary plat is submitted to Planning Commission for approval making case SD 21.33 null and void.
2. A master drainage plan shall be prepared for the entire site and included with the initial subdivision application creating units 1-3
3. City of Fairhope site plan review (Zoning Ordinance Article II, Section C.2.) shall be mandatory for each lot within units 1-3.
4. City of Fairhope subdivision regulations (including multiple occupancy project provisions as applicable) shall be required for the creation of all lots and units within the Klumpp PUD.
5. A 20' greenspace and tree preservation strip shall be provided along Hwy 181.
6. Unit 2 will require 20% greenspace as shown. Provided retention/detention shall not encroach into required greenspace other than those methods approved within the City of Fairhope Subdivision Regulations and/or as approved during MOP/Site Plan Review.
7. Construction of sidewalks shall be done at the time of development of the internal roadways.

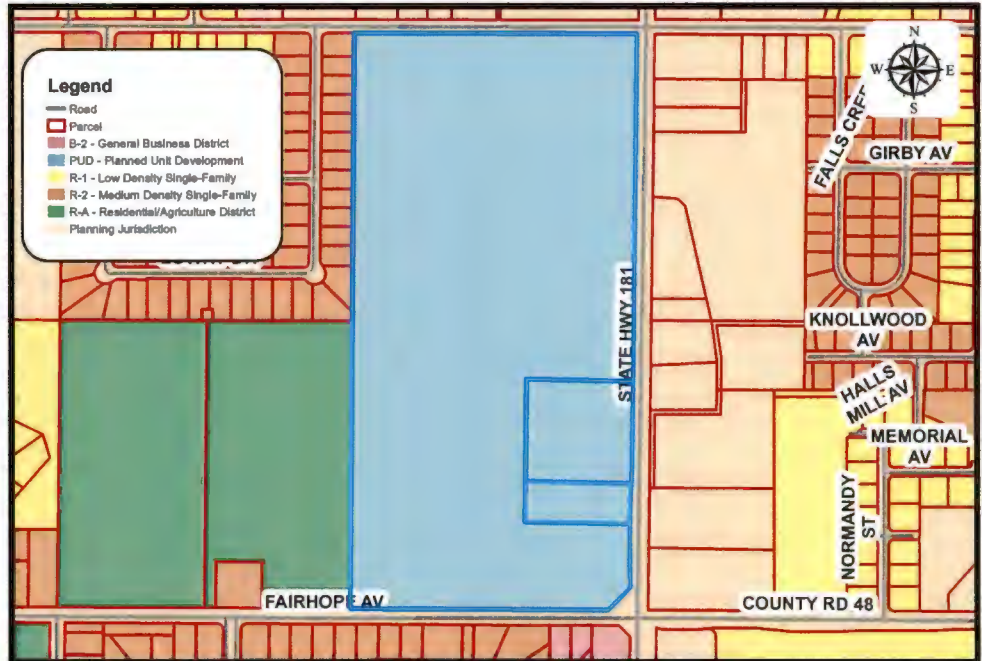
City of Fairhope Planning Commission

June 6, 2022




The Planning Commission unanimously (7 Ayes, 0 Nays) voted to recommend approval of ZC 22.04

ZC 22.04 - Klumpp PUD Amendment



Project Name:	Klumpp PUD
Site Data:	75.85 acres
Project Type:	PUD Amendment
Jurisdiction:	Fairhope Planning Jurisdiction
Zoning District:	PUD
PPIN Number:	24160, 316793, 236701
General Location:	Northwest intersection of State Highway 181 and Fairhope Avenue
Surveyor of Record:	Goodwyn Mills Cawood
Engineer of Record:	Goodwyn Mills Cawood
Owner / Developer:	GAYFER VILLAGE PARTNERS L L C
School District:	Fairhope Elementary School Fairhope Middle and High School
Recommendation:	Approve with Conditions
Prepared by:	Mike Jeffries

Application was submitted using new online submittal portal. Image of online application below.



PERMIT PROJECT
FILE #: 22-000724
9868 GAYFER RD FAIRHOPE AL 36532
(ZC 22.04)KUMPP PARCEL MIXED USE DEVELOPMENT

PERMITS REVIEWS INSPECTIONS DOCUMENTS CONTACTS ACTIVITIES NOTES FILE

PERMIT #: ZCP22-000001

Permit Type
Zoning Change for PUD

Subtype
General

Work Description:
(ZC22.04)Kumpp Parcel Mixed Use Development

Applicant
Goodwyn, Mills and Cawood - Jeremy Sasser

Status
Under Review

Valuation
0.00

FEES & PAYMENTS

Plan Check Fees	0.00
Permit Fees	1,020.00
Total Amount	1,020.00
Amount Paid	0.00
Balance Due	1,020.00
Non-Billable	

PERMIT DATES

Application Date
03/22/2022

Approval Date

Issue Date:

Expiration Date:

Close Date
03/24/2022

Last Inspection

Is this for multiple parcels?
Yes

LIST ADDITIONAL PARCELS

PARCEL NUMBER
05-46-05-15-0-000-001.003

Summary of Request:

Public hearing to consider the request of the Applicant, Goodwin, Mills, Cawood, LLC, on behalf of the Owner, Gayfer Village Partners, to amend the existing PUD (Planned Unit Development) for Klumpp PUD. Klumpp PUD was originally adopted by City Council on November 25, 2019 and amended April 26, 2021. The property is approximately 75.85 acres and is located on the west side of State Highway 181 between Gayfer Road Ext. and County Road 48.

Comments:

The main reason for the currently proposed PUD amendment is to remove a portion of road through wetlands, providing connectivity between Units 1 and Unit 3 and an optional ingress/egress to Hwy 181, as illustrated on the following plans.

Figure 1 below is the existing (approved) site plan. The area circled in red emphasizes the area revisions are proposed. As seen in Figure 2, the proposed road ends at commercial lot 10. Since our last review of this project, the applicant has worked with the Corps of Engineers with potential designs for a road within both the natural wetlands and the constructed wetlands. Ultimately, they now request not to install the road.

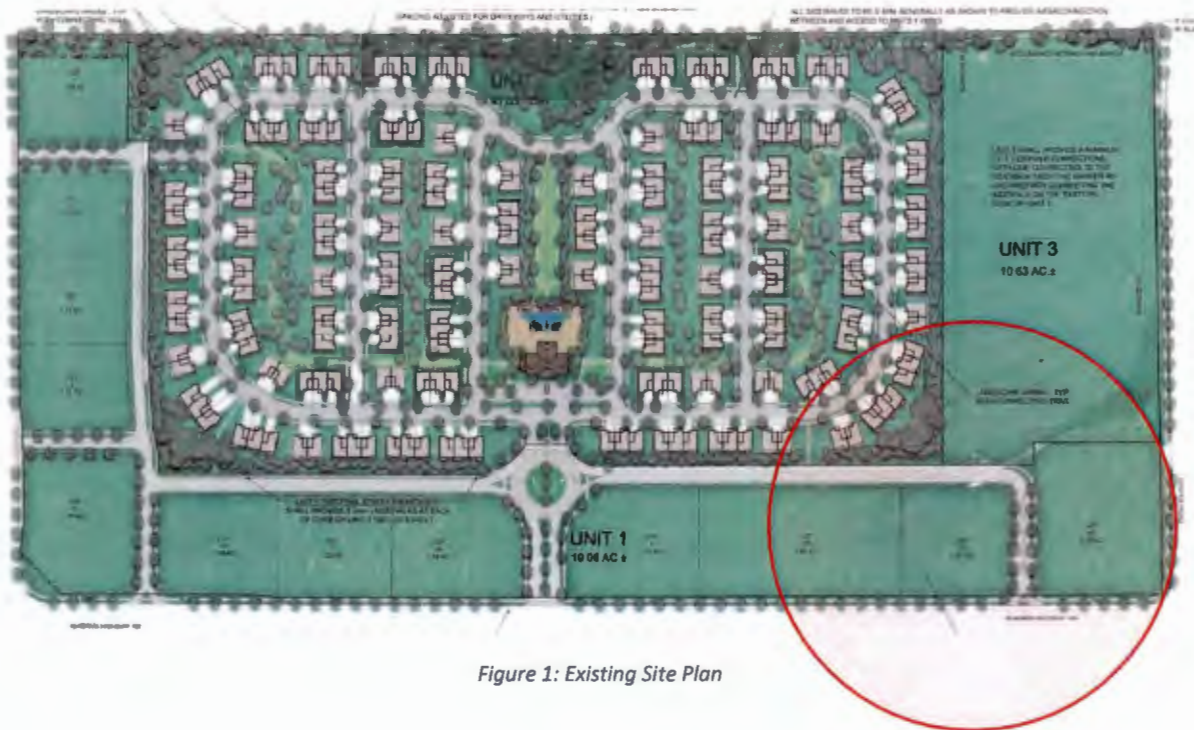


Figure 1: Existing Site Plan



Figure 2: Proposed Site Plan

The requested amendment is not changing any uses or previous conditions of the approved PUD. The only change is in the design of the road, which prompted different lot shapes and sizes for lots 10, 11, and 12; and a slight reduction in size of Unit 3 from 10.63 acres to 10.39 acres. The existing lot layout is shown in Figure 3 below. The proposed changes to the lots are illustrated in Figure 4.

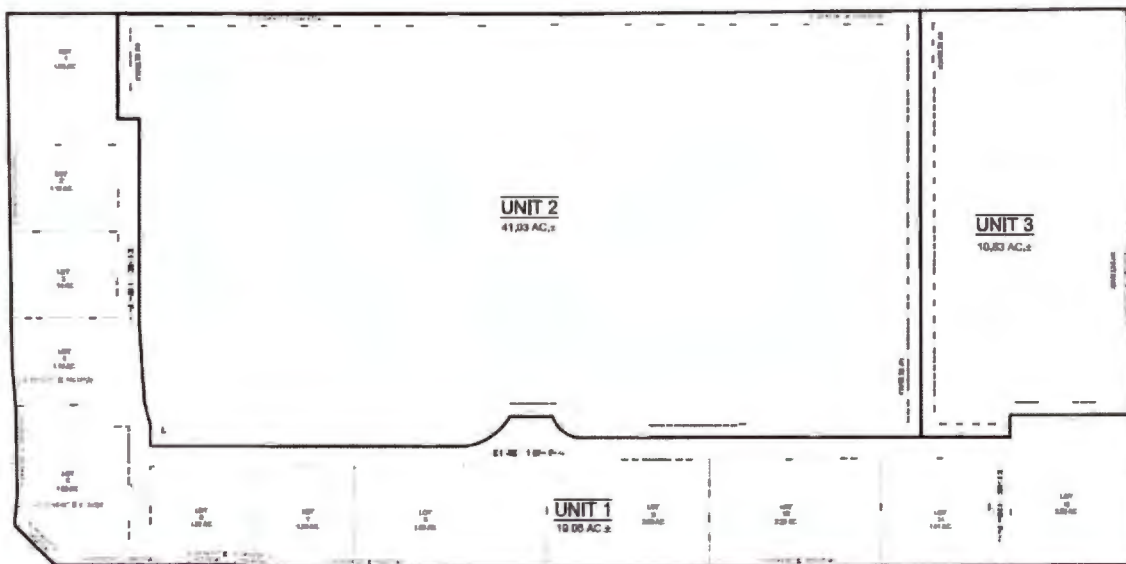


Figure 3: Existing Lot Layout

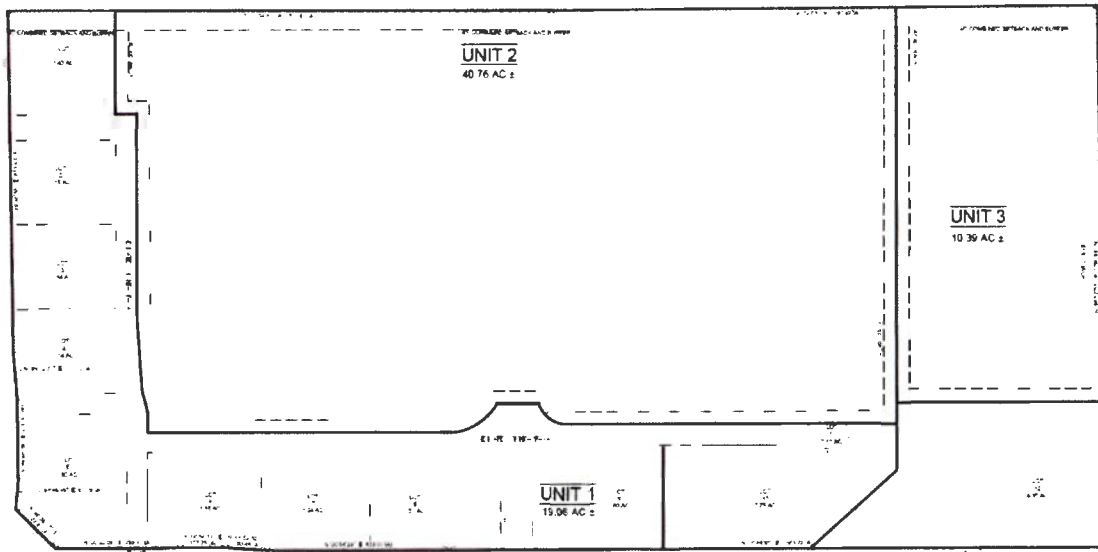


Figure 4: Proposed Lot Layout

As proposed, lot 12 will require ingress/egress from either Gayfer Ave or Hwy 181. Unit 3 will only have access from Gayfer Ave. Uses within Unit 3 are limited to convalescent, nursing, or assisted living home. With the proliferation of low-speed vehicles, i.e. 'golf carts', and considering connectivity to Unit 3 has been reduced, staff would like to see a solution in the preliminary plat that would allow residents of Unit 3 to access the commercial lots with a low-speed vehicle. One such option is to upgrade the trail on the west side of the property, but the Commission/Council may wish to discuss in more detail. Neither Fairhope Ave, Gayfer Ave, nor Hwy 181 are safe alternatives for low-speed vehicles.

The existing PUD has preliminary plat approval (Case SD 21.33). At this time, staff cannot determine what technical changes the proposed amendment may require. At a minimum, utilities will require alterations, but that may extend into added length of turn lanes, potential alterations to drainage, sidewalks, and/or greenspace. Consequently, the proposed changes will require a new preliminary plat review.

No other changes were proposed at this time. Therefore, those items approved within the review of the previous PUD amendment (Case ZC 20.10), and not mentioned in this review, still apply, including any conditions of approval.

A full copy of the staff report for Case ZC 20.10 is included in the packets. For reference, the conditions of approval for that case were:

1. A master drainage plan shall be prepared for the entire site and included with the initial subdivision application creating units 1-3
2. City of Fairhope site plan review (Zoning Ordinance Article II, Section C.2.) shall be mandatory for each lot within units 1-3.
3. City of Fairhope subdivision regulations (including multiple occupancy project provisions as applicable) shall be required for the creation of all lots and units within the Klumpp PUD.
4. A 20' greenspace and tree preservation strip shall be provided along Hwy 181.
5. Unit 2 will require 20% greenspace as shown. Provided retention/detention shall not encroach into required greenspace other than those methods approved within the City of Fairhope Subdivision Regulations and/or as approved during MOP/Site Plan Review.
6. Construction of sidewalks shall be done at the time of development of the internal roadways.

Staff Recommendation:

Staff recommends conditional approval of Case ZC 22.04 Klumpp Planned Unit Development (PUD) amendment for PPIN's 236701, 24160, 316793 with the following conditions:

1. A new application for preliminary plat is submitted to Planning Commission for approval making case SD 21.33 null and void.
2. A master drainage plan shall be prepared for the entire site and included with the initial subdivision application creating units 1-3
3. City of Fairhope site plan review (Zoning Ordinance Article II, Section C.2.) shall be mandatory for each lot within units 1-3.
4. City of Fairhope subdivision regulations (including multiple occupancy project provisions as applicable) shall be required for the creation of all lots and units within the Klumpp PUD.
5. A 20' greenspace and tree preservation strip shall be provided along Hwy 181.
6. Unit 2 will require 20% greenspace as shown. Provided retention/detention shall not encroach into required greenspace other than those methods approved within the City of Fairhope Subdivision Regulations and/or as approved during MOP/Site Plan Review.
7. Construction of sidewalks shall be done at the time of development of the internal roadways.
8. Revision of the site plan to allow a connection to Gayfer Avenue through Unit 3.



Goodwyn Mills Cawood

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www.gmcnetwork.com

April 25, 2022

Mr. Hunter Simmons
City of Fairhope
Planning and Zoning Department
PO Drawer 429
Fairhope, Alabama 36533

RE: Klumpp PUD Amendment

Dear Hunter,

Please find the enclosed revised PUD document we are requesting to be placed on the June Planning Commission agenda. Also enclosed is a revised set of construction plans showing the revisions associated with the revisions to the PUD.

The changes we have made to the PUD are listed below:

1. We have stopped street B short of Cowpen creek and we are now showing a cul-de-sac south of the creek. After multiple permit submissions to the USACE it was apparent to us that they didn't want us to cross the creek with improvements.
2. This change has resulted in shifting the lot lines associated with Unit 1 Lots 10-12 and Unit 3 Lot 1. We are not creating any more new lots, we are simply shifting the lot lines to better align with the new road configuration.

The major changes made to the construction plans are listed below:

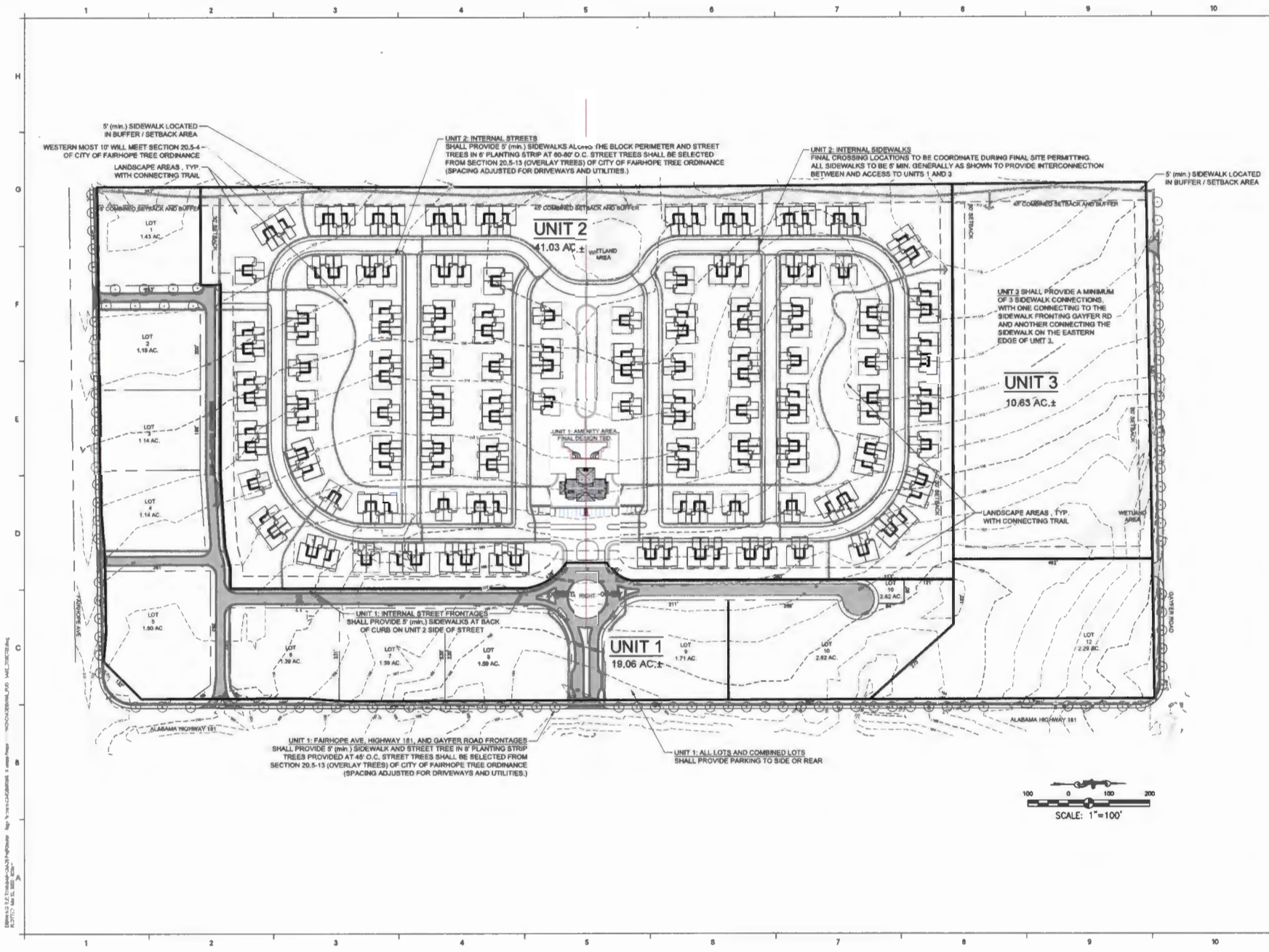
1. The road way was terminated south of Cowpen Creek and a roundabout is being shown. No work is being shown in the floodway associated with Cowpen Creek and therefore a No-Rise certification isn't required at this time.
2. The northern connection to HWY 181 has been removed.
3. The constructed wetlands has been moved to sit entirely on Unit 3 Lot 1.
4. The pump station has been relocated to Unit 1 Lot 11. At the time of project acceptance Lot 11 will be deeded over to the City of Fairhope.
5. A revised Master Drainage Plan has been attached reflecting the changes to the road and lot layout.

If you need any additional information or have any questions, please contact me at (251) 380-8750.

Sincerely,

GMC, LLC

Jeremy Sasser, P.E.
Project Manager



5' (min.) SIDEWALK LOCATED IN BUFFER / SETBACK AREA WESTERN MOST 10' WILL MEET SECTION 20.5-4 OF CITY OF FAIRHOPE TREE ORDINANCE
LANDSCAPE AREAS, TYP. WITH CONNECTING TRAIL

UNIT 2: INTERNAL STREETS SHALL PROVIDE 5' (min.) SIDEWALKS ALONG THE BLOCK PERIMETER AND STREET TREES IN 8' PLANTING STRIP AT 80-80' O.C. STREET TREES SHALL BE SELECTED FROM SECTION 20.5-13 (OVERLAY TREES) OF CITY OF FAIRHOPE TREE ORDINANCE (SPACING ADJUSTED FOR DRIVEWAYS AND UTILITIES)

UNIT 2: INTERNAL SIDEWALKS FINAL CROSSING LOCATIONS TO BE COORDINATE DURING FINAL SITE PERMITTING. ALL SIDEWALKS TO BE 5' MIN. GENERALLY AS SHOWN TO PROVIDE INTERCONNECTION BETWEEN AND ACCESS TO UNITS 1 AND 3

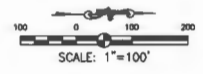
5' (min.) SIDEWALK LOCATED IN BUFFER / SETBACK AREA

UNIT 3 SHALL PROVIDE A MINIMUM OF 3 SIDEWALK CONNECTIONS, WITH ONE CONNECTING TO THE SIDEWALK FRONTING GAYFER RD AND ANOTHER CONNECTING THE SIDEWALK ON THE EASTERN EDGE OF UNIT 3.

UNIT 1: INTERNAL STREET FRONTAGES SHALL PROVIDE 5' (min.) SIDEWALKS AT BACK OF CURB ON UNIT 2 SIDE OF STREET

UNIT 1: FAIRHOPE AVE, HIGHWAY 181, AND GAYFER ROAD FRONTAGES SHALL PROVIDE 5' (min.) SIDEWALK AND STREET TREE IN 8' PLANTING STRIP TREES PROVIDED AT 40' O.C. STREET TREES SHALL BE SELECTED FROM SECTION 20.5-13 (OVERLAY TREES) OF CITY OF FAIRHOPE TREE ORDINANCE (SPACING ADJUSTED FOR DRIVEWAYS AND UTILITIES.)

UNIT 1: ALL LOTS AND COMBINED LOTS SHALL PROVIDE PARKING TO SIDE OR REAR



2039 Main Street
Daphne, AL 36528
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GMCHEITWORK.COM

28 MARCH 2025

KLUMPP PARCEL
PROPOSED DEVELOPMENT
FAIRHOPE, ALABAMA

GMCProject: CMOB190186

OVERALL SITE PLAN

SCALE: 1"=100'

C2.01
Sheet 2 of 4

1 2 3 4 5 6 7 8 9 10

PROPERTY DESCRIPTION:

STATE OF ALABAMA
COUNTY OF BALDWIN

COMMENCE AT A RAILROAD SPIKE AT THE NORTHEAST CORNER OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA, RUN THENCE WEST, ALONG THE NORTH LINE OF SAID SECTION 15 1320.55 FEET TO A POINT, RUN THENCE SOUTH 00-22-18 WEST, 29.73 FEET TO A CAPPED REBAR MARKER ON THE SOUTH RIGHT-OF-WAY LINE OF GAYFER AVENUE FOR THE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED, SAID POINT BEING THE NORTHEAST CORNER OF WHITE GROVE SUBDIVISION, UNIT TWO AS RECORDED ON SLIDE 1344-B IN THE BALDWIN COUNTY PROBATE RECORDS, CONTINUE THENCE SOUTH 08-22-18 WEST, ALONG THE EAST LINE OF SAID SUBDIVISION, 1296.08 FEET TO A CAPPED REBAR MARKER AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; RUN THENCE SOUTH 00-55-09 WEST, 1297.18 FEET TO A CAPPED REBAR MARKER ON THE NORTH RIGHT-OF-WAY LINE OF FAIRHOPE AVENUE; RUN THENCE SOUTH 89-55-38 EAST, ALONG SAID RIGHT-OF-WAY LINE, 1178.82 FEET TO A CAPPED REBAR MARKER; RUN THENCE NORTH 45-26-21 EAST, 132.28 FEET TO A CAPPED REBAR MARKER ON THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD 27; RUN THENCE NORTH 80-44-18 EAST, ALONG SAID WEST RIGHT-OF-WAY LINE, 229.22 FEET TO A CAPPED REBAR MARKER; THENCE CONTINUE NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY, 107.86 FEET TO A CAPPED REBAR MARKER; THENCE RUN NORTH 04-44-53 EAST, ALONG SAID RIGHT-OF-WAY, 100.24 FEET TO A CAPPED REBAR MARKER; THENCE RUN NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY, 433.00 FEET TO A CAPPED REBAR MARKER; RUN THENCE NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY LINE, 1982.89 FEET TO A CAPPED REBAR MARKER ON THE SOUTH RIGHT-OF-WAY LINE OF GAYFER AVENUE; RUN THENCE SOUTH 89-57-28 WEST, ALONG SAID RIGHT-OF-WAY LINE, 1282.86 FEET TO THE POINT OF BEGINNING; CONTAINING 75.83 ACRES, MORE OR LESS.

NOTES

1. Drainage, utility and pedestrian easements will be provided and recorded as necessary during site plan and subdivision approval.
2. Each lot of each unit must provide and maintain positive drainage for adjacent properties that may be discharging onto it.
3. Sidewalks (min. 5' wide) will be provided along both sides of every public street within the PUD at the time the streets are constructed.
4. In an attempt to achieve a cohesive character of residential development in Unit 2; Fronts of all residential building units within Unit 2 shall fall within a 20' min. and a 40' maximum build to zone from the street, with the exception of buildings impacted by utility locations, lighting, or buildings located along corners, or curves in the street in which case these buildings may vary from this build-to-zone.
5. In an attempt to achieve a cohesive character of development in Unit 1 and 2; All building facade materials shall be constructed of like materials set, in precedent, by the 1st site plan development submitted.
- 5.1. Subsequent buildings may vary in material by providing greater or equal quality of facade material and design and as approved by the Planning Commission and City Council.
6. Sidewalks within all Unit 1, Unit 2, and Unit 3 lots will be designed and constructed in accordance with the Site Plan approved for each lot.
7. All trees and landscape material will be provided as listed in local landscape ordinances unless otherwise coordinated with the city urban forestry or arborist.

NOTES

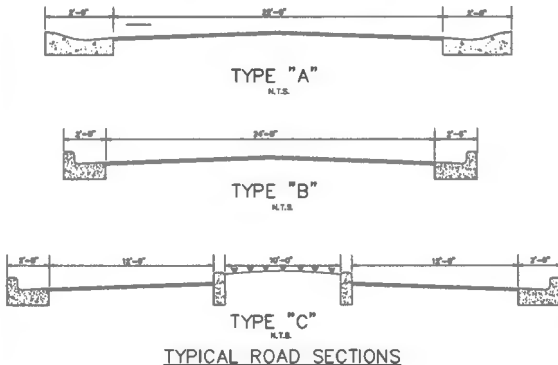
- a. The zoning dimensions for Unit 2, Lot 1 are modeled after, but not identical to, the zoning requirements for R-3 found in the Fairhope Zoning Ordinance. The following exceptions apply:
 1. The minimum lot width shall not apply. The lot dimensions shall be as shown on the PUD drawing.
- b. The requirements for Unit 3, Lot 1, are modeled after, but not identical to, the zoning requirements for R-3 found in the Fairhope Zoning Ordinance.
 1. The minimum lot width shall not apply. The lot dimensions shall be as shown on the PUD drawing.
- c. The allowed use for Unit 3, Lot 1 shall be limited to convalescent, nursing or assisted living home.
- d. Each lot in Unit 1 shall provide its own stormwater control and detention.
- e. This PUD document, along with the City of Fairhope's Ordinances, Regulations, and review processes will provide a development that complies with the City's Comprehensive Plan.

UNIT	LOT#	ZONING DISTRICT STANDARD	ALLOWED USES	DEAD-END AND DETENTION	ROADWAY TYPE	PARKING	CITY OF FAIRHOPE COMPREHENSIVE PLAN COMPLIANCE	CITY OF FAIRHOPE APPROVAL PROCESS
1	1-12	B-2	B-2	Shall be designed and constructed in accordance with the Stormwater Standards of the Fairhope Subdivision Regulations*	B (see Table 2 of PUD)	See Parking of the Fairhope Zoning Ordinance	Yes*	In accordance with Article 3 - Procedures of the Fairhope Zoning Ordinance, each lot of Unit 1 shall follow the Site Plan Review Procedures. The process requires, in general, the following steps: 1. Submittal of Site Plan Application by applicant 2. Determination by Director of Planning and Building that the application is complete 3. Review and recommendation by Planning Commission with optional Public Hearing 4. Final decision by City Council
2	1	R-3	R-3	Shall be designed and constructed in accordance with the Stormwater Standards of the Fairhope Subdivision Regulations	B, C (see Table 2 of PUD)	See Parking of the Fairhope Zoning Ordinance	Yes*	In accordance with Article 3 - Procedures of the Fairhope Zoning Ordinance, each lot of Unit 2 shall follow the Site Plan Review Procedures. The process requires, in general, the following steps: 1. Submittal of Site Plan Application by applicant 2. Determination by Director of Planning and Building that the application is complete 3. Review and recommendation by Planning Commission with optional Public Hearing 4. Final decision by City Council
3	1	R-3	R-3	Shall be designed and constructed in accordance with the Stormwater Standards of the Fairhope Subdivision Regulations	A, B (see Table 2 of PUD)		Yes*	In accordance with Article 3 - Procedures of the Fairhope Zoning Ordinance, each lot of Unit 3 shall follow the Site Plan Review Procedures. The process requires, in general, the following steps: 1. Submittal of Site Plan Application by applicant 2. Determination by Director of Planning and Building that the application is complete 3. Review and recommendation by Planning Commission with optional Public Hearing 4. Final decision by City Council

Owner: Gayfer Village Partners, LLC

TABLE 2

	UNIT AND RIGHT-OF-WAY ACREAGE	
	ACREAGE EXCLUDING R.O.W	ACREAGE OF R.O.W
UNIT 1	19.06	5.13
UNIT 2	41.03	
UNIT 3	10.63	
TOTAL SITE	70.72	5.13



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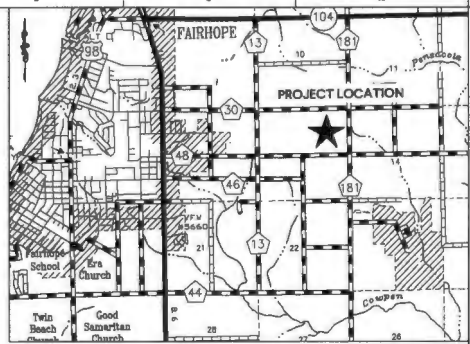
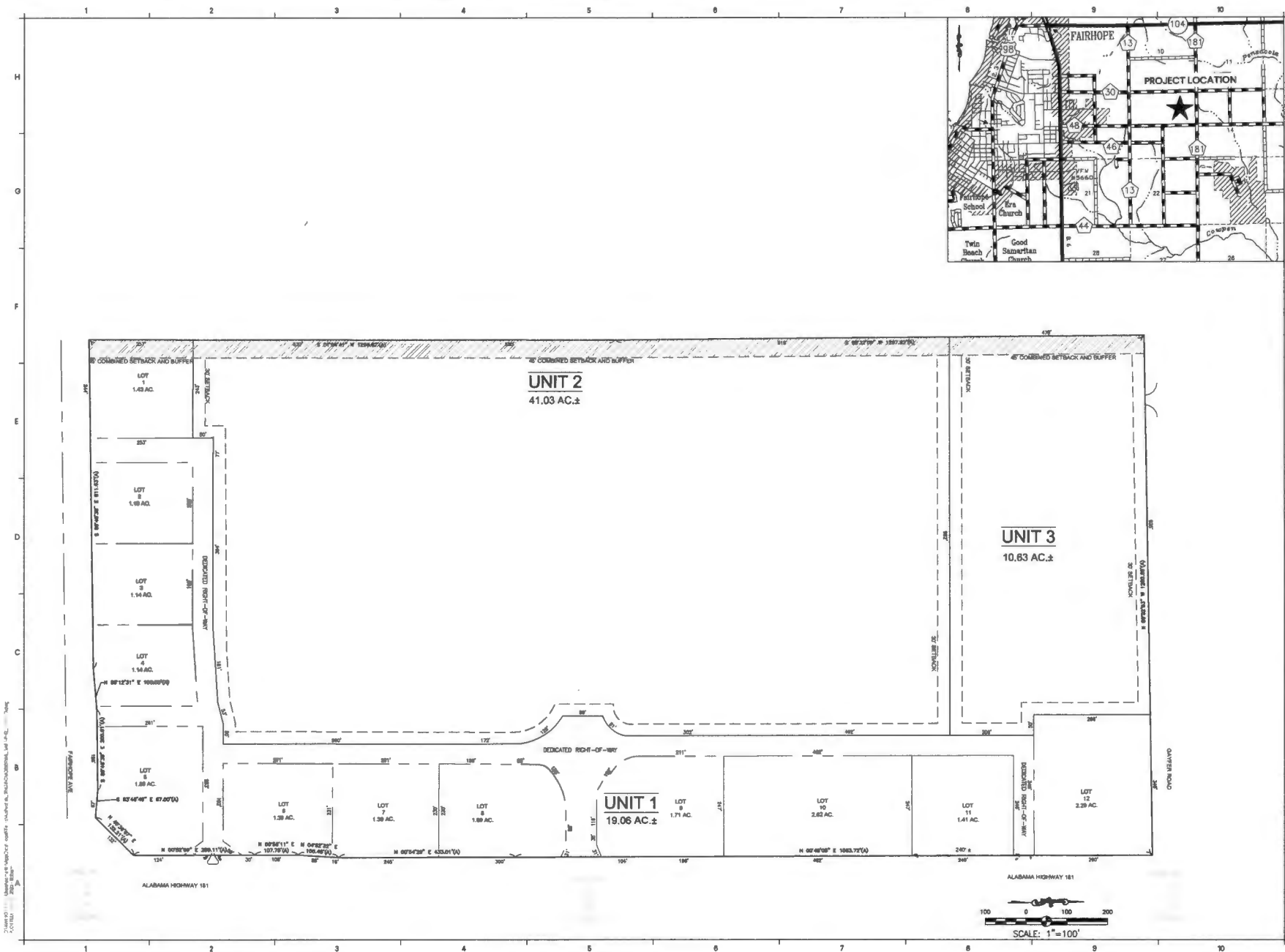
21 MARCH 2023
DRAWN BY: JAY JAM
CHECKED BY:

KLUMPP PARCEL
PROPOSED DEVELOPMENT
FAIRHOPE, ALABAMA

GMCPProject: CMOB190188

NOTES
NO SCALE
C3.01
Sheet 4 of 4

1 2 3 4 5 6 7 8 9 10



GMC

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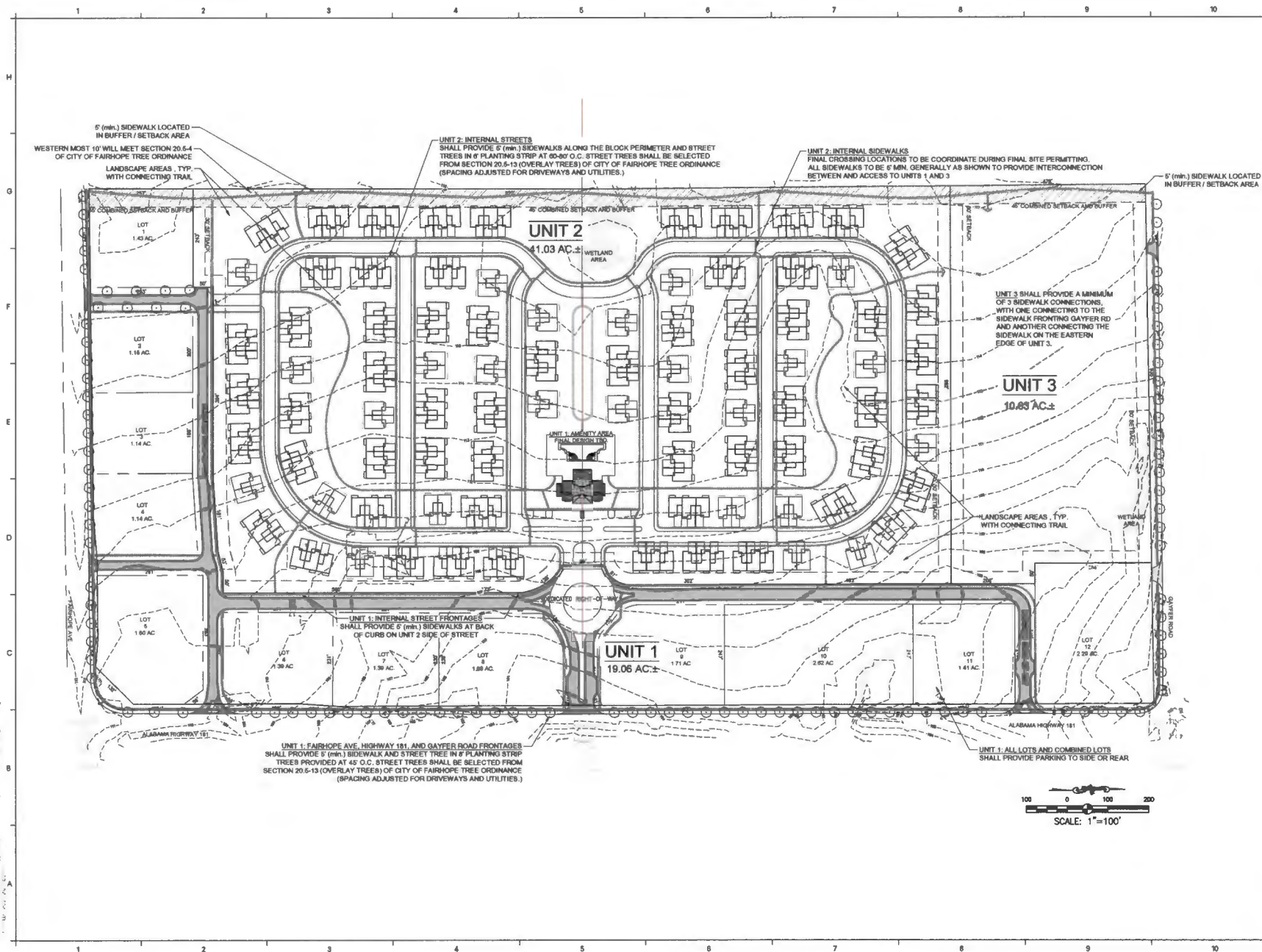
17 DECEMBER 2008

KLUMPP PARCEL
PROPOSED DEVELOPMENT
FAIRHOPE, ALABAMA

GMCProject: CMOB180186

OVERALL SITE PLAN

SCALE: 1"=100'
C1.01



5' (min.) SIDEWALK LOCATED IN BUFFER / SETBACK AREA
WESTERN MOST 10' WILL MEET SECTION 20.6.4 OF CITY OF FAIRHOPE TREE ORDINANCE
LANDSCAPE AREAS, TYP. WITH CONNECTING TRAIL

UNIT 2: INTERNAL STREETS SHALL PROVIDE 6' (min.) SIDEWALKS ALONG THE BLOCK PERIMETER AND STREET TREES IN 6' PLANTING STRIP AT 40-60' O.C. STREET TREES SHALL BE SELECTED FROM SECTION 20.6-13 (OVERLAY TREES) OF CITY OF FAIRHOPE TREE ORDINANCE (SPACING ADJUSTED FOR DRIVEWAYS AND UTILITIES.)

UNIT 2: INTERNAL SIDEWALKS FINAL CROSSING LOCATIONS TO BE COORDINATE DURING FINAL SITE PERMITTING. ALL SIDEWALKS TO BE 6' MIN. GENERALLY AS SHOWN TO PROVIDE INTERCONNECTION BETWEEN AND ACCESS TO UNITS 1 AND 3

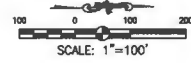
5' (min.) SIDEWALK LOCATED IN BUFFER / SETBACK AREA

UNIT 3 SHALL PROVIDE A MINIMUM OF 3 SIDEWALK CONNECTIONS, WITH ONE CONNECTING TO THE SIDEWALK FRONTING GAYFER RD AND ANOTHER CONNECTING THE SIDEWALK ON THE EASTERN EDGE OF UNIT 3.

UNIT 1: INTERNAL STREET FRONTAGES SHALL PROVIDE 6' (min.) SIDEWALKS AT BACK OF CURB ON UNIT 2 SIDE OF STREET

UNIT 1: FAIRHOPE AVE, HIGHWAY 181, AND GAYFER ROAD FRONTAGES SHALL PROVIDE 5' (min.) SIDEWALK AND STREET TREE IN 6' PLANTING STRIP TREES PROVIDED AT 40' O.C. STREET TREES SHALL BE SELECTED FROM SECTION 20.6-13 (OVERLAY TREES) OF CITY OF FAIRHOPE TREE ORDINANCE (SPACING ADJUSTED FOR DRIVEWAYS AND UTILITIES.)

UNIT 1: ALL LOTS AND COMBINED LOTS SHALL PROVIDE PARKING TO SIDE OR REAR



GMC

2039 Main Street
Daphne, AL 36526
T 251.626.2628
GMCNETWORK.COM

17 DECEMBER 2020

KLUMPP PARCEL
PROPOSED DEVELOPMENT
FAIRHOPE, ALABAMA

GMCProject: CMOB190186

OVERALL SITE PLAN

SCALE: 1"=100'

C2.01
SHEET 2 OF 3

1 2 3 4 5 6 7 8 9 10

PROPERTY DESCRIPTION:

STATE OF ALABAMA
COUNTY OF BALDWIN

COMMENCE AT A RAILROAD SPIKE AT THE NORTHEAST CORNER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; RUN THENCE WEST, ALONG THE NORTH LINE OF SAID SECTION 15 1320.55 FEET TO A POINT, RUN THENCE SOUTH 00-22-18 WEST, 29.73 FEET TO A CAPPED REBAR MARKER ON THE SOUTH RIGHT-OF-WAY LINE OF GAYFER AVENUE FOR THE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED, SAID POINT BEING THE NORTHEAST CORNER OF "WHITE GROVE" SUBDIVISION, UNIT TWO AS RECORDED ON SLIDE 1344-B IN THE BALDWIN COUNTY PROBATE RECORDS; CONTINUE THENCE SOUTH 00-22-18 WEST, ALONG THE EAST LINE OF SAID SUBDIVISION, 1298.06 FEET TO A CAPPED REBAR MARKER AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; RUN THENCE SOUTH 00-55-00 WEST, 1207.18 FEET TO A CAPPED REBAR MARKER ON THE NORTH RIGHT-OF-WAY LINE OF FAIRHOPE AVENUE; RUN THENCE SOUTH 80-55-36 EAST, ALONG SAID RIGHT-OF-WAY LINE, 1178.82 FEET TO A CAPPED REBAR MARKER; RUN THENCE NORTH 48-24-21 EAST, 132.26 FEET TO A CAPPED REBAR MARKER ON THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD 27; RUN THENCE NORTH 00-44-18 EAST, ALONG SAID WEST RIGHT-OF-WAY LINE, 229.22 FEET TO A CAPPED REBAR MARKER; THENCE CONTINUE NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY, 107.86 FEET TO A CAPPED REBAR MARKER; THENCE RUN NORTH 04-44-33 EAST, ALONG SAID RIGHT-OF-WAY, 100.24 FEET TO A CAPPED REBAR MARKER; THENCE RUN NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY, 433.00 FEET TO A CAPPED REBAR MARKER; RUN THENCE NORTH 00-44-18 EAST, ALONG SAID RIGHT-OF-WAY LINE, 1582.95 FEET TO A CAPPED REBAR MARKER ON THE SOUTH RIGHT-OF-WAY LINE OF GAYFER AVENUE; RUN THENCE SOUTH 80-57-28 WEST, ALONG SAID RIGHT-OF-WAY LINE, 1282.68 FEET TO THE POINT OF BEGINNING, CONTAINING 75.83 ACRES, MORE OR LESS.

NOTES

- Drainage, utility and pedestrian easements will be provided and recorded as necessary during site plan and subdivision approval.
- Each lot of each unit must provide and maintain positive drainage for adjacent properties that may be discharging onto it.
- Sidewalks (min. 5' wide) will be provided along both sides of every public street within the PUD at the time the streets are constructed.
- In attempt to achieve a cohesive character of residential development in Unit 2; Fronts of all residential building units within Unit 2 shall fall within a 20' min. and a 40' maximum build to zone from the street, with the exception of buildings impacted by utility locations, lighting, or buildings located along corners or curves in the street in which case these buildings may vary from this build-to-zone.
- In attempt to achieve a cohesive character of development in Unit 1 and 2; All building facade materials shall be constructed of like materials set, in precedent, by the 1st site plan development submitted.
- Subsequent buildings may vary in material by providing greater or equal quality of facade material and design and as approved by the Planning Commission and City Council.
- Sidewalks within all Unit 1, Unit 2, and Unit 3 lots will be designed and constructed in accordance with the Site Plan approved for each lot.
- All trees and landscape material will be provided as fitted in local landscape ordinances unless otherwise coordinated with the city urban forestry or arborist.



TYPE "A"
N.T.S.



TYPE "B"
N.T.S.



TYPE "C"
N.T.S.
TYPICAL ROAD SECTIONS

TABLE 1								
UNIT	LOT(S)	ZONING DIMENSION STANDARD	ALLOWED USES	DRAINAGE AND DETENTION	ROADWAY TYPE	PARKING	CITY OF FAIRHOPE COMPREHENSIVE PLAN COMPLIANCE	CITY OF FAIRHOPE APPROVAL PROCESS
1	1-13	B-2	B-2	Shall be designed and constructed in accordance with the Stormwater Standards of the Fairhope Subdivision Regulations	B (see Table 2 of PUD)	See Parking of the Fairhope Zoning Ordinance	Yes ^a	In accordance with Article II - Procedures of the Fairhope Zoning Ordinance, each lot of Unit 1 shall follow the Site Plan Review Procedures. This process requires, in general, the following steps: 1. Submittal of Site Plan Application by applicant 2. Determination by Director of Planning and Building that the application is complete 3. Review and recommendation by Planning Commission with optional Public Hearing 4. Final decision by City Council
2	1	R-3a	R-3	Shall be designed and constructed in accordance with the Stormwater Standards of the Fairhope Subdivision Regulations	B,C (see Table 2 of PUD)	See Parking of the Fairhope Zoning Ordinance	Yes ^a	In accordance with Article II - Procedures of the Fairhope Zoning Ordinance, each lot of Unit 2 shall follow the Site Plan Review Procedures. This process requires, in general, the following steps: 1. Submittal of Site Plan Application by applicant 2. Determination by Director of Planning and Building that the application is complete 3. Review and recommendation by Planning Commission with optional Public Hearing 4. Final decision by City Council
3	1	R-3	C	Shall be designed and constructed in accordance with the Stormwater Standards of the Fairhope Subdivision Regulations	A,B (see Table 2 of PUD)		Yes ^a	In accordance with Article II - Procedures of the Fairhope Zoning Ordinance, each lot of Unit 1 shall follow the Site Plan Review Procedures. This process requires, in general, the following steps: 1. Submittal of Site Plan Application by applicant 2. Determination by Director of Planning and Building that the application is complete 3. Review and recommendation by Planning Commission with optional Public Hearing 4. Final decision by City Council

NOTES

- The zoning dimensions for Unit 2, Lot 1 are modeled after, but not identical to, the zoning requirements for R-3 found in the Fairhope Zoning Ordinance. The following exceptions apply:
 - The minimum lot width shall not apply. The lot dimensions shall be as shown on the PUD drawing.
- The requirements for Unit 3, Lot 1, are modeled after, but not identical to, the zoning requirements for R-3 found in the Fairhope Zoning Ordinance.
 - The minimum lot width shall not apply. The lot dimensions shall be as shown on the PUD drawing.
- The allowed use for Unit 3, Lot 1 shall be limited to convalescent, nursing or assisted living home.
- Each lot in Unit 1 shall provide its own stormwater control and detention.
- This PUD document, along with the City of Fairhope's Ordinances, Regulations, and review processes will provide a development that complies with the City's Comprehensive Plan.

TABLE 2

UNIT AND RIGHT-OF-WAY ACREAGE		
UNIT	ACREAGE EXCLUDING R.O.W	ACREAGE OF R.O.W
UNIT 1	19.06	5.13
UNIT 2	41.03	
UNIT 3	10.63	
TOTAL SITE	70.72	5.13

Owner: Gayfer Village Partners,LLC



2030 Main Street
Daphne, AL 36526
T 251.624.2628
GMCNETWORK.COM

17 DECEMBER 2020

DRAWN BY: JAY JAM
CHECKED BY:

KLUMPP PARCEL
PROPOSED DEVELOPMENT
FAIRHOPE, ALABAMA

GMCProject: CMOB190186

NOTES

NO SCALE

C3.01
SHEET 3 of 3

TOWN OF FAIRHOPE, ALABAMA
COUNTY OF BALDWIN

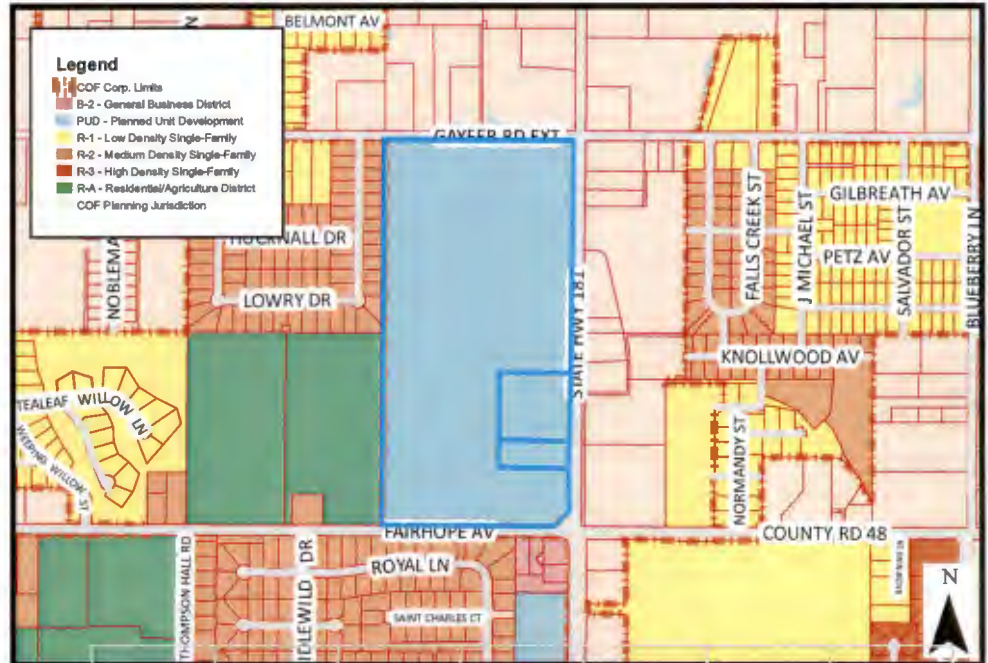
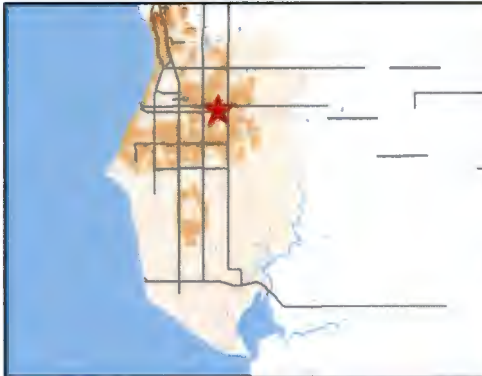
1 2 3 4 5 6 7 8 9 10

City of Fairhope Planning Commission

January 4, 2021



ZC 20.10 - Klump PUD



Project Name:	Klump PUD amendments
Site Data:	80 acres (approximately)
Project Type:	Planned Unit Development (PUD)
Jurisdiction:	Fairhope Planning Jurisdiction
Zoning District:	Planned Unit Development (PUD)
PPIN Number:	236701, 24160, 316793
General Location:	Northwest intersection of SR 181 and Fairhope Avenue (CR 48)
Surveyor of Record:	Goodwyn, Mills, and Cawood, Inc.
Engineer of Record:	Scott Hutchinson, GMC
Owner / Developer:	Gayfer Village Partners, LLC Mr. Tom Mitchell Mr. Bill Mitchell
School District:	Fairhope East Fairhope Middle and High Schools
Recommendation:	Approve with Conditions
Prepared by:	Hunter Simmons

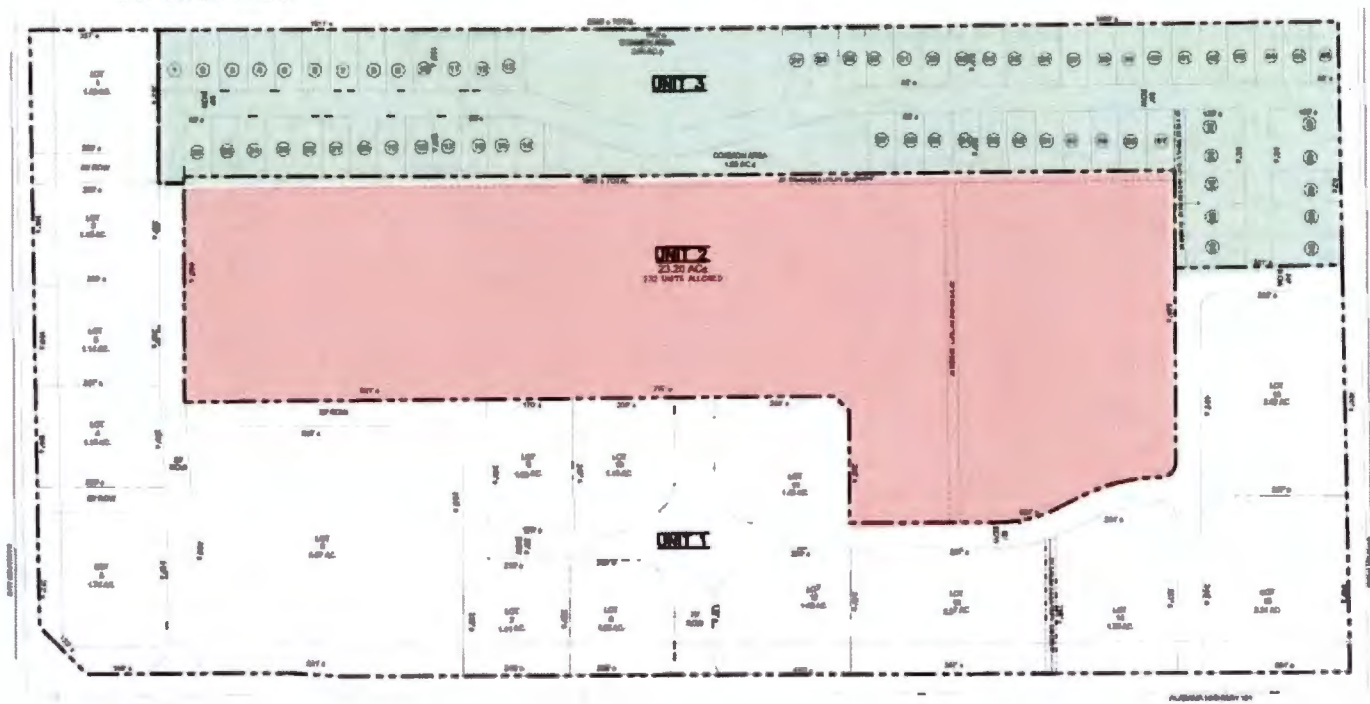
Summary of Request:

The applicant is seeking amendment of PUD ordinance number 1664 related to the Klumpp Planned Unit Development adopted November 25, 2019. The subject property is located at the northwest intersection of State Highway 181 and Fairhope Avenue/County Road 48 and extends north to the southwest corner of State Highway 181 and Gayfer Avenue/County Road 30.

The subject property is bordered to the northwest by the adjoining White Grove subdivision, zoned R-2 medium density single family residential, and bordered to the southwest by the adjoining PPIN 14493 zoned R-A residential agricultural. The subject property adjoins Idlewild Subdivision (R-2) to the south, separated by the Fairhope Avenue right-of-way (ROW) as well as various properties comprising the southwest intersection of Fairhope Avenue and HWY 181, all zoned B-2 general business district. All remaining properties adjoining subject property are separated from subject property via ROW and are located within unzoned Baldwin County Planning District 14.

Comments:

ORIGINAL PUD



The subject property is comprised of one large (PPIN 236701) generally rectangular parcel fronting AL HWY 181, Fairhope Avenue, and Gayfer Road Extension, all paved, publicly-maintained streets. PPINs 24160 and 316793 are inclusive of PPIN 236701 and will likely become functions of a future subdivision.

The site plan supporting the original PUD (Case number ZC 19.13) is included above in excerpted form and color-coded to reflect the “units” proposed for the PUD. The requested site plan that amends the PUD ordinance is included below.

PROPOSED PUD AMENDMENT (Revised for January PC Meeting)



- **Unit 1**
 - As approved Unit 1 (28.79 acres +/-) contains 16 lots with allowable uses and lots sizes identical to B-2 General Business District Zoning. The developer requests, via inclusion of drawing 2 of 2 in the PUD ordinance, self-imposing the Site Plan Review procedure as included within Fairhope's Zoning Ordinance.
 - As requested, Unit (19.06 acres +/-) will contain up to 12 lots. Similar to the original PUD, the requested Unit 1 contains allowable uses and lots sizes identical to B-2 General Business District Zoning. Also similar to the original PUD the developer requests, via inclusion of drawing C3.01 in the PUD ordinance, self-imposing the Site Plan Review procedure as included within Fairhope's Zoning Ordinance.
- **Unit 2**
 - As approved Unit 2 (23.20 acres +/-) depicted in light red on the facing page identically replicates the use of R-5 High Density Dwelling Residential (10 units per acre, for 232 units total) but requests the lot size shown on the site plan drawing 1 of 2 in lieu of the allowable number of dwelling units included within Table 3-2 in the City of Fairhope Zoning Ordinance. Similar to Unit 1 Unit 2 will be required to follow the Site Plan Review procedure included in *The City of Fairhope Zoning Ordinance* as a self-imposed requirement of the PUD.
 - As requested, Unit 2 (41.03 acres +/-) closely replicates R-3 High Density Single-Family Residential but requests the lot size and approximate building layout (Up to 233 Units) shown on the site plan drawing C2.01. Similar to Unit 1 Unit 2 will be required to follow the Site Plan Review procedure included in *The City of Fairhope Zoning Ordinance* as a self-imposed requirement of the PUD.
- **Unit 3**

- As approved Unit 3 (14.11 acres +/-) depicted in light green on the original site plan contains 67 residential lots modeled after an R-3 zoning district with modifications that reduces the minimum lot size and increases the allowable lot coverage. At the time of development activities unit 3 shall follow the City of Fairhope's Subdivision Review Process and comply with the current Subdivision Regulations in addition to the requirements of the PUD ordinance. The original submission to the Planning Commission included 77 single family lots, however the reduction to 67 single family lots reflects conditions of approval required by the Planning Commission at the time of consideration.
- As requested, Unit 3 (10.63 acres +/-) removes the single-family residential lots from the development and proposes requirements modeled after R-3 zoning district (approximately 59 Units) with modifications that reduces the minimum width. The allowed use for Unit 3 shall be limited to convalescent, nursing, or assisted living. The applicant indicates they do not wish to provide a layout of the proposed development for Unit 3 at the time of PUD amendment, but wishes to self-impose the site plan approval process for Unit 3 should the PUD amendment receive approval.

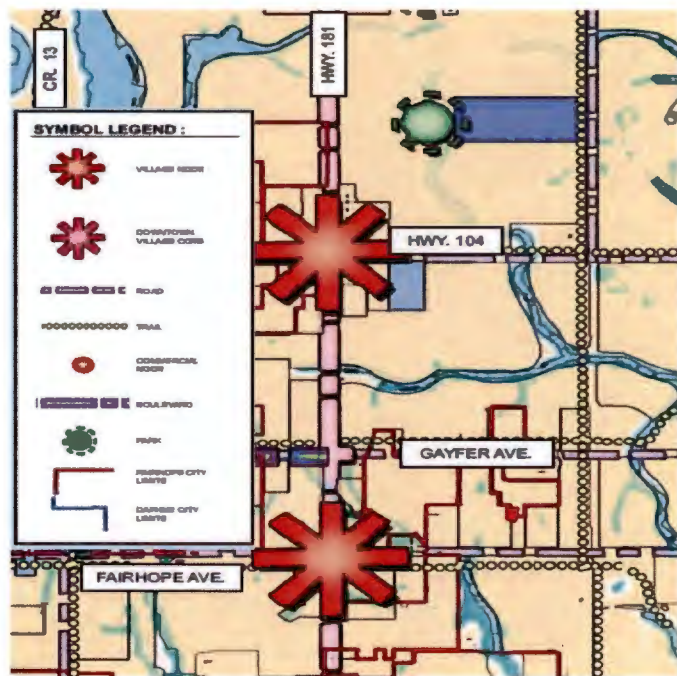
The following was provided within the December staff report. Notes in red highlight the amendments made in the applicant's revised plan.

Fairhope's Zoning Ordinance (Article II Section C.1.e) contains nine (9) criteria by which an application for re-zoning shall be reviewed:

(1) Compliance with the Comprehensive Plan;

Response:

The intersection of Hwy 181 and Fairhope Ave is listed as a Village Node within the Comprehensive Plan. "Highway 181 / Fairhope Ave presents an additional village opportunity. While this area has seen a growth of large retailers in the recent past due to regulatory limitations (i.e. significant property located outside of the City Limits in unzoned Baldwin County), it is in the early stages of village pattern development. River Mill Subdivision is connected to both Fairhope Avenue and Windmill Road. The residential areas around Gayfer Avenue and Blueberry Lane are built in accordance with the City Subdivision Regulations and provide neighborhood level greenspace, sidewalks, streets, trees, and connectivity. While this area will evolve over time, the "bones" of a village are generally in place."



Specifically, in regard to Village Nodes, the Comprehensive Plan reads “Simply evaluating development at these areas (Village Nodes) will not result in a Village – it will take a proactive effort”. The following excerpt from the Comprehensive Plan is provided for guidance:

Size - They should be 30,000 to 180,000 square feet in commercial / mixed-use development.

Street Location - They should push as close to the street as possible

Architectural Guidelines - There should be building design guidelines that deal with architectural themes, materials, and massing. There should be an architectural “anchor”, a building with a distinct and focused character, in each village.

Automobile Access - Automobile access will be important to the success of the village, thus it should be incorporated as appropriate. However, addressing the location and aesthetics of parking lots will be critically important. Vehicular access from the supporting and existing roadways is also important. Integration of Right-of-Way improvements, turn lanes, signals, sidewalks, landscaping, street lighting, push-pad signals, crosswalks, and similar infrastructure should be comprehensively evaluated by the City. This would result in the Right-of-Way and roadways being upgraded in conjunction with the development. Internal circulation must not be the typical maneuvering areas through a large parking lot, but seek to create more of a streetscape experience with “on-street” parking in either a parallel or diagonal configuration. A good operating principle would be that large surface parking lots should not dominate the view of building frontages. Vehicular access is always important and should be accommodated; however, parking is a net negative in terms of visual quality.

(2) Compliance with the standards, goals, and intent of this ordinance;

Response: PUD Planned Unit Development: This district is intended to encourage innovative development that meets comprehensive plan goals and is tailored to the unique constraints and conditions of a particular site. This district allows flexibility in uses, designs, and building layouts as opposed to other zoning districts to better serve community needs. While the original PUD’s regulating plan was general, deferring specifics to future Site Plan Reviews, there was a framework for meeting the intent of a PUD. The proposed amended PUD, by being overly general, makes it difficult to recommend approval.

The applicant has self-imposed a site plan review for all units. The first unit developed will require installation of

Unit 2, for example, should not require a future Site Plan review. It is feasible to include a comprehensive site plan (for Unit 2) as part of this PUD process with landscape plans, architectural examples, etc., and, at the least, include pedestrian circulation for the entire PUD. It would also be prudent to include guidelines for the Units 1 & 3 to ensure they are developed consistent with Fairhope’s Comprehensive Plan, which may include build-to/setback lines, landscape buffers, planned green space, plant selections, etc.

Unit 2 is now proposed as illustrate on C2.01 and includes up to 233 units. Sidewalks were provided within Unit 2 and the westernmost buffer was increased to 45', which now includes a sidewalk connecting all three units with both Fairhope Ave and Gayfer Rd. Within the 45' buffer, the westernmost 10' will be planted to provide a buffer/screen consistent with the City of Fairhope Tree Ordinance. Street Trees will also be planted in accordance the City of Fairhope Tree Ordinance.

Staff does have some concern that some conflicts exist between retention/detention, possible wetlands, and greenspace requirements within Unit, but those are not part of this review. Unit 2 will require a site plan review as well as an MOP review in the future to resolve the above-referenced concerns. Staff recommends a condition of approval to memorialize the 20% greenspace per density shown and urge that retention/detention should not be placed where greenspace is currently shown unless installed as an improved amenity, such as accessible ponds with landscape consistent with the City of Fairhope Tree Ordinance.

A condition of approval of the previously approved plan required a master drainage plan at time of subdivision and staff makes the same recommendation for the current application.

Unit 1 lots require parking to be located to side or rear of buildings.

The following was submitted by the applicant to further support a comprehensively planned development.

4. In attempt to achieve a cohesive character of residential development in Unit 2; Fronts of all residential building units within Unit 2 shall fall within in a 20' min. and a 40' maximum build to zone from the street, with the exception of buildings impacted by utility locations, lighting, or buildings located along corners, or curves in the street in which case these buildings may vary from this build-to zone.
5. In attempt to achieve a cohesive character of development in Unit 1 and 2; All building facade materials shall be constructed of like materials set, in precedent, by the 1st site plan development submittal.

(3) The character of the surrounding property, including any pending development activity;

Response: The comprehensive plan describes a village center at this location and states that the "bones" are already in place. The surrounding properties are unzoned, RA, R-2, and B-2. The original PUD provided adequate transition to the single-family residential along the western boundary, while also allowing denser and more intense uses along the highway corridor and internally within the site. Staff is concerned that the submitted PUD amendment, with its removal of higher-density single family residential, diminishes the transition of use and transition of density contemplated by the comprehensive plan.

The westernmost buffer was increased to 45' and will include a 10' screen abutting adjacent property.

(4) Adequacy of public infrastructure to support the proposed development;

Response: Fairhope Public Utilities can be made available during the subdivision process; however, staff urges the applicant to contact Fairhope Public Utilities in short order to discuss utilities,

particularly access to sanitary sewer. The “upsizing” provisions of the subdivision regulations will likely be invoked if development activities proceed.

(5) Impacts on natural resources, including existing conditions and ongoing post-development conditions;

Response: Wetlands are present on the subject property and all wetland delineations, reports, ordinances, and buffers will be required during the development process.

(6) Compliance with other laws and regulations of the City;

Response: At the time of development all applicable laws of the City will be applied.

(7) Compliance with other applicable laws and regulations of other jurisdictions;

Response: At the time of development all applicable laws will be applied.

(8) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values.

Response: As mentioned previously staff is concerned about the loss of single family residences within the PUD, and the possibility of higher-density multi-family located directly-adjacent to lower density (R-1 and R-2) single family residential.

The westernmost buffer was increased to 45’ and will include a 10’ screen abutting adjacent property.

In addition, pedestrian circulation should be designed connecting the subject property with adjacent and surrounding properties.

Sidewalk connections were made throughout the site connecting all units together, as well as connecting to the perimeter sidewalks and on all public roads. As opposed to the previous plan, sidewalks and street trees are provided fronting Hwy 181. Planning Commission may want to discuss when installation of perimeter sidewalks and street trees are installed.

(9) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.

Response: As mentioned previously staff is concerned about the loss of single family residences within the PUD and the possibility of high-density multi-family uses located directly-adjacent to lower density (R-1 and R-2) single family residential uses. As proposed, B-2 and R-5 abut R-1 and R-2 properties. Staff recommends a better transition to adjacent properties that may come in the form of larger buffers, greenspace, or less dense housing.

The westernmost buffer was increased to 45’ and will include a 10’ screen abutting adjacent property. Per the City of Fairhope Tree Ordinance, a 20’ preserved greenspace shall be provided along Fairhope Ave and Gayfer Rd. Development along Hwy 181 was not contemplated when the Tree Ordinance was adopted. Staff would like to recommend a condition of approval that the 20’ preserved greenspace be provided along Hwy 181 as well. To be clear, this does not impose an additional 20’ to the required setback, but rather preserve the space within the setback for the preservation of trees.

Staff Recommendation:

Staff recommends Case # ZC 20.10 Klumpp Planned Unit Development (PUD) amendment for PPIN's 236701, 24160, 316793 be **APPROVE** subject to the following conditions:

1. A master drainage plan shall be prepared for the entire site and included with the initial subdivision application creating units 1-3
2. City of Fairhope site plan review (Zoning Ordinance Article II, Section C.2.) shall be mandatory for each lot within units 1-3.
3. City of Fairhope subdivision regulations (including multiple occupancy project provisions as applicable) shall be required for the creation of all lots and units within the Klumpp PUD.
4. A 20' greenspace and tree preservation strip shall be provided along Hwy 181.
5. Unit 2 will require 20% greenspace as shown. Provided retention/detention shall not encroach into required greenspace other than those methods approved within the City of Fairhope Subdivision Regulations and/or as approve during MOP/Site Plan Review.

ORDINANCE NO. _____

**AN ORDINANCE AMENDING ORDINANCE NO. 1253
KNOWN AS THE ZONING ORDINANCE**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FAIRHOPE, ALABAMA as follows:

The ordinance known as the Zoning Ordinance (No. 1253), adopted 27 June 2005, together with the Zoning Map of the City of Fairhope, be and the same hereby is changed and altered in respect to that certain property described below:

After the appropriate public notice and hearing, the Planning Commission of the City of Fairhope, Alabama has forwarded a **favorable** recommendation,

The property of RW Battles, LLC, is generally located at the northwest corner of Greeno Road and Old Battles Road in Fairhope, Alabama.

PPIN # 17515, 391379, 391372, 391373, 391374, 391375, 391376

Legal Description: (Case number ZC 22.09)

LOTS 1, 2, 3, 4, 5, 7 & 9, RW BATTLES LLC REPLAT, AMENDED PLAT, AS RECORDED ON SLIDES 2785 A-C OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA;

A map of the property to be rezoned is attached as Exhibit A.

The property is hereby initially zoned B-2, General Business District, concurrent with annexation into the City of Fairhope. This property shall hereafter be lawful to construct on such property any structures permitted by Ordinance No. 1253 and to use said premises for any use permitted or building sought to be erected on said property shall be in compliance with the building laws of the City of Fairhope and that any structure shall be approved by the Building Official of the City of Fairhope and that any structure be erected only in compliance with such laws, including the requirements of Ordinance No. 1253.

Severability Clause - if any part, section or subdivision of this ordinance shall be held unconstitutional or invalid for any reason, such holding shall not be construed to invalidate or impair the remainder of this ordinance, which shall continue in full force and effect notwithstanding such holding.

Effective Date – This ordinance shall take effect immediately upon its due adoption and publication as required by law.

ADOPTED AND APPROVED THIS 12TH DAY OF DECEMBER, 2022

By: _____
Jay Robinson, Council President

Attest:

By: _____
Lisa A. Hanks, MMC
City Clerk

ADOPTED AND APPROVED THIS 12TH DAY OF DECEMBER, 2022

By: _____
Sherry Sullivan, Mayor



Exhibit A: The Property of RW Battles, LLC.
Conditional Annexation to B-2
(ZC 22.09)



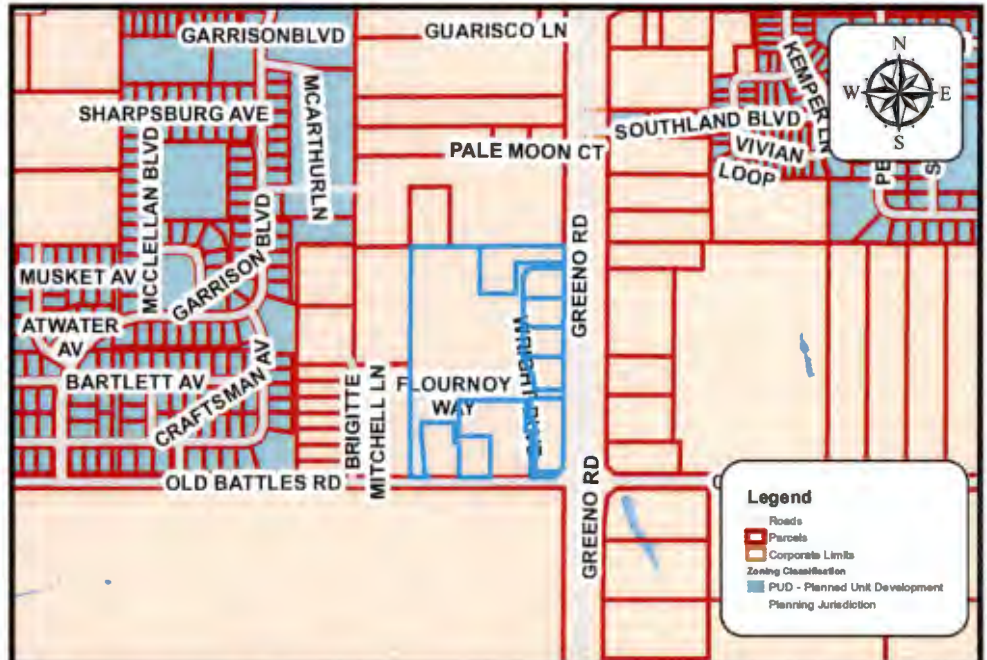
City of Fairhope City Council



November 28, 2022

The Planning Commission unanimously (8 Ayes, 0 Nays) voted to recommend approval of ZC 22.09.

ZC 22.09 Shoppes at Point Clear



Project Name:

Shoppes at Point Clear

Site Data:

21.18 Acres

Project Type:

Cond. Annexation w/ Rezoning to B-2

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

Unzoned

PPIN Number:

17515, 391379, 391372, 391373, 391374, 391375, 391376

General Location:

Northwest corner of Greeno Road and Old Battles Road

Surveyor of Record:

Engineer of Record:

Trey Jinright, Jade Consulting

Owner / Developer:

RW Battles, LLC

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approval

Prepared by:

Hunter Simmons





APPLICATION FOR ZONING DISTRICT CHANGE

Property Owner / Leaseholder Information

Name: RW Battles, LLC Phone Number: 334-481-0510
 Street Address: 418 Scott St.
 City: Montgomery State: AL Zip: 36106

Applicant / Agent Information
If different from above
Notarized letter from property owner is required if an agent is used for representation

Name: JADE Consulting, LLC Phone Number: 251-928-3443
 Street Address: 208 N. Greeno Rd., Ste C
 City: Fairhope State: AL Zip: 36532

Current Zoning of Property: County Unzoned
 Proposed Zoning/Use of the Property: B-2
 Property Address: 18153 18155, 18157, 18159 18161, 18163, 18165, 18167 18169, 18171, 18173, 18175, 18177 18179 Wright Blvd
 Parcel Number: 05-46-09-29-0-000-087 012, 05-46-09-29-0-000-087 000, 05-46-09-29-0-000-087 010, 05-46-09-29-0-000-087 014, 05-46-09-29-0-000-087 011 05-46-09-29-0-000-087 017 05-46-09-29-0-000-087 013
 Property Legal Description: See enclosed
 Reason for Zoning Change: The reason for zoning change is to request initial zoning after proposed annexation of the property
This property is currently 'Baldwin County Unzoned' & the initial zoning requested is B2 to allow for development of Publix Grocery & 18,800 sq of new retailers

- Property Map Attached YES NO
- Metes and Bounds Description Attached YES NO
- Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached. YES NO

Character of Improvements to the Property and Approximate Construction Date: _____
 See attached Narrative

Zoning Fee Calculation:
Reference: Ordinance 1269

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Chris Wightman
 Property Owner/Leaseholder Printed Name

[Signature]
 Signature

7/21/2022
 Date

Fairhope Single Tax Corp. (If Applicable)



CERTIFICATION OF PROPERTY OWNER NOTIFICATION LIST
As Required by the City of Fairhope

Hearings on Zoning Change applications require notification to all property owners within 300 feet of the property under consideration for the change. This list must be the most current property owners' records available from the Baldwin County Revenue Office.

By signing below, I Chris Wightman, (applicant) do hereby certify that the property owner list attached to this application was obtained from the Baldwin County Revenue Office and is a complete list of all real property owners/lessees within 300 feet of the parcel submitted for consideration by the Planning & Zoning Commission.

A handwritten signature in blue ink, appearing to read "Chris Wightman", written over a horizontal line.

Signature of Applicant or Authorized Agent

7/11/2022

Date of Application

Summary of Request:

Applicant, Jade Consulting LLC, acting on behalf of the Owner, RW Battles LLC, is requesting to establish an initial zoning of B-2, General Business District, concurrent with conditional annexation into the City of Fairhope. The property is approximately 21.18 acres and is located on the northwest corner of Greeno Road and Old Battles Road.

Comments:

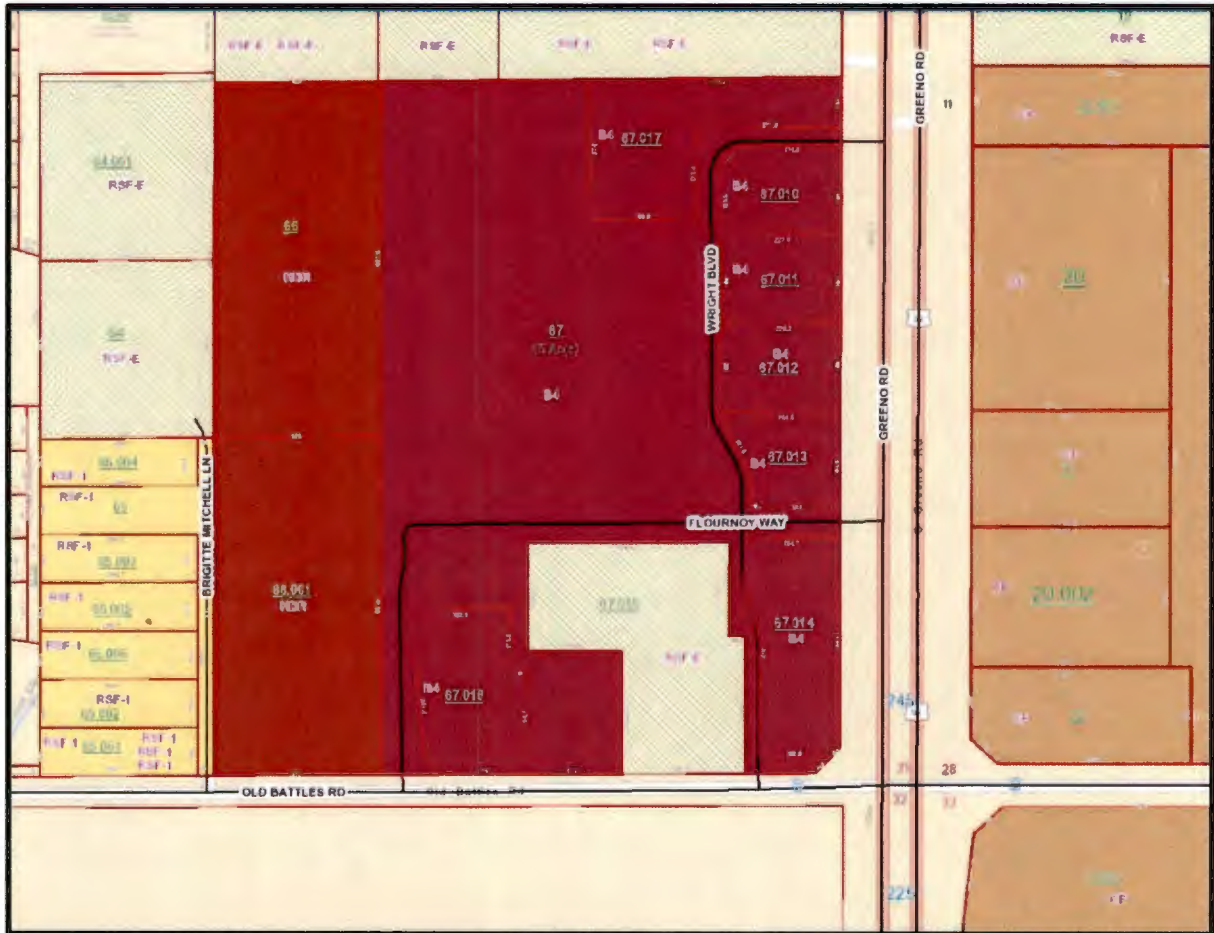
The subject property is currently outside the City of Fairhope’s municipal boundary and un-zoned. The subject property lies within the City of Fairhope’s permitting jurisdiction and a permit has been issued for the site. Construction has begun on Publix and one outbuilding. The property to be annexed is generally located on the map below. The property to north currently has an application for conditional annexation to B-2 as well. The annexation of the northern property will make this property contiguous to Fairhope Corporate Limits.



This site is not within a commercial/village node within Fairhope’s current Comprehensive Plan. However, the City is currently in the process of updating its Comprehensive Plan and acknowledge the intersection of Greeno Rd and Old Battles Rd development pattern change since the last update and will need to be considered a future node at this intersection. If annexation and B-2 Zoning are approved, future uses for the outparcels shall meet the Fairhope Zoning Ordinance requirements.

The outparcels were created via an Administrative Replat (City)/Common Lot Line Exemption (County). The Publix site received approval for a 16-unit Multiple Occupancy Project (Case SD 21.09) in 2021. Important to note, this is a straight re-zoning request and does not include a site plan for intended uses.

Update: When this application was received the subject property was un-zoned, but within the City of Fairhope Planning Jurisdiction. On July 19, 2022, the Baldwin County Commission enacted zoning for Planning Districts 8 and 37. The subject property is now zoned B4 (Major Commercial District) as shown on the map below.



The Zoning Ordinance defines B-2 General Business District as follows:

“B-2 General Business District: This district is intended to provide opportunity for activities causing noise and heavy traffic, not considered compatible in the more restrictive business district. These uses also serve a regional as well as a local market and require location in proximity to major transportation routes. Recreational vehicle parks, very light production and processing activities are included.”

Criteria – The application shall be reviewed based on the following criteria:

(1) Compliance with the Comprehensive Plan;

Response:

Meets

(2) Compliance with the standards, goals, and intent of this ordinance;

Response: Staff is appreciative of the application, which intends to annex into the City of Fairhope and fall under the City's development guidelines.

(3) The character of the surrounding property, including any pending development activity;

Response: Meets

(4) Adequacy of public infrastructure to support the proposed development;

Response: This is a re-zoning request, without a Site Plan review. The subject property lies within the City's permitting jurisdiction. Site Construction has begun on the approved Multiple Occupancy Project.

(5) Impacts on natural resources, including existing conditions and ongoing post-development conditions;

Response: Construction was permitted through the City of Fairhope.

(6) Compliance with other laws and regulations of the City;

Response: At the time of any redevelopment all applicable laws of the City will be applied. If granted, any use within B-2 zoning will be allowed 'by right'.

(7) Compliance with other applicable laws and regulations of other jurisdictions;

Response: At the time of a redevelopment all applicable laws will be applied.

(8) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; and,

Response: Prior to application for annexation and rezoning, the subject property was reviewed as a Multiple Occupancy Project for Lot 5. That review considered the above-mentioned impacts. Future development on outparcels may require further reviews, depending on the projects proposed on those parcels.

(9) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.

Response: Staff does not anticipate any significant issues relating to this criterion.

Recommendation:

Staff recommends 22.09 Shoppes at Point Clear be approved for conditional annexation, with initial zoning of B-2 General Business District, with the following condition:

1. Case ZC 22.11 shall be approved by City Council, or lot lines adjusted, to ensure subject property is contiguous to Fairhope Corporate Limits.

**RW BATTLES, LLC
418 Scott St.,
Montgomery, AL 36106**

July 6, 2022

Mayor Sherry Sullivan
City of Fairhope
555 South Section Street
Fairhope, AL 36533

Re: Shops at Point Clear, Fairhope, AL

Dear Mayor Sullivan:

RW Battles, LLC is the corporate entity which is developing the 21-acre project known as the Shops at Point Clear. This development is located on the NWC of U.S. 98 (Greeno Road) and Old Battles Road. The Shops at Point Clear will consist of a new 48,387 square foot Publix Grocery Store as well as 18,800 square feet of new retailers and five (5) new outparcels. This is a development that should be very convenient to those living in the Point Clear area of Fairhope.

Construction has been underway at the site since the Spring of 2021, and the project should open in October 2022. RW Battles, LLC is excited to bring this new retail project online for all those customers who were not served by a development such as this in the area. Some developers build a project and then sell it when it opens. However, RW Battles, LLC plans on keeping this project for years to come, and to operate it efficiently and maintain it as a Class-A center.

A lot of money is being spent on landscaping this project. It should be a very attractive landscaping area of Fairhope. Many trees have been kept in different areas of the site and coupled with the new landscaping, the Shops at Point Clear should stand out to the citizens of Fairhope.

Sincerely,

RW Battles, LLC

U.S JUSTICE DEPARTMENT INFORMATION

- Size of property (acres or square feet) 25.08
- If property is occupied, give number of housing units 0
- Number of Persons residing in each unit, and their race 0
- If property is unoccupied, give proposed use MOP
- If property is being developed as a subdivision, give subdivision name _____
- Number of lots within proposed subdivision _____

I, Nancy A. Butler a Notary Public in and for said State and County, hereby certify that Chris Wightman whose name(s) is/are signed to the forgoing Petition and who is/are known to me, this day appeared before me and, being first duly sworn, acknowledge that he/she/they have voluntarily executed this Petition on this day same bears date.

Given under my Hand and Seal this 11th day of July, 20 22.



Nancy A. Butler
 NOTARY PUBLIC
 Muscogee County, Georgia
 My Commission Expires
 May 6, 2025

Nancy A. Butler
 Notary Public

My commission expires May 6, 2025

I, _____ a Notary Public in and for said State and County, hereby certify that _____ whose name(s) is/are signed to the forgoing Petition and who is/are known to me, this day appeared before me and, being first duly sworn, acknowledge that he/she/they have voluntarily executed this Petition on this day same bears date.

Given under my Hand and Seal this _____ day of _____, 20 _____,

(Seal)

 Notary Public

My commission expires _____

I, _____ a Notary Public in and for said State and County, hereby certify that _____ whose name(s) is/are signed to the forgoing Petition and who is/are known to me, this day appeared before me and, being first duly sworn, acknowledge that he/she/they have voluntarily executed this Petition on this day same bears date.

Given under my Hand and Seal this _____ day of _____, 20 _____,

(Seal)

 Notary Public

My commission expires _____

July 23,2022

Ms. Casey Potts
Planner
City of Fairhope
555 S. Section Street
Fairhope, AL 36533

Re: Zoning Change, Greeno and Old Battles Roads Area

Dear Ms. Potts:

Thank you again for your assistance the other day. You provide excellent customer service. It is our understanding the Planning Commission will be considering a zoning change on August 1, 2022, for an area north of the Shoppes at Point Clear shopping center and east of the Old Battles Village subdivision. The change will allow for high density residential development, which potentially could mean the construction of apartment buildings. We also understand the zoning change was approved by the Baldwin County Commissioners; However, the zoning change is within the extraterritorial area of Fairhope for zoning and planning purposes. Our concerns are threefold:

- 1) Drainage. It is our understanding Truland Builders had to buy out the owners of five homes on Craftsman Avenue that have their backyards abutting Point Clear Creek due to flooding. We also understand that drainage issues on Point Clear Creek are a point of contention between the City of Fairhope and Baldwin County as to which entity bears responsibility for improvements. We suspect the construction of apartments and sizeable parking lots with resulting increases in runoff will only exacerbate the drainage problem.
- 2) Traffic. We think most homeowners in Old Battles Village are looking forward to the opening of the Shoppes at Point Clear. However, we are sure many of them have concerns about traffic congestion on Old Battles Road and the intersection of Old Battles and Greeno.
- 3) Property values. If the construction of high-density residences impacts drainage and traffic issues, it might impact property values adversely in Old Battles Village.

Thank you for sharing our concerns with the Planning Commission.

Sincerely,

Terry and Judith Ullrich

Terry and Judith Ullrich
229 Garrison Blvd.
Fairhope, AL 36532
(504) 625-5809
tullri@bellsouth.net

LEGAL DESCRIPTION

STATE OF ALABAMA
COUNTY OF BALDWIN

LOTS 1, 2, 3, 4, 5, 7 & 9, RW BATTLES LLC REPLAT, AMENDED PLAT, AS RECORDED ON SLIDES 2785 A-C
OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA;



STATE OF ALABAMA

DOMESTIC LIMITED LIABILITY COMPANY (LLC) CERTIFICATE OF FORMATION

MONTGOMERY COUNTY, ALABAMA
 Probate Judge:
 J C LOVE, III
 Filed: 06/25/2020 04:46 PM
 Total: \$55.00 3 PAGES
 Certified Copy

5101469

(FOR COUNTY PROBATE OFFICE USE ONLY)

1. THE NAME OF THE LIMITED LIABILITY COMPANY

RW Battles, L.L.C.

2. THIS FORM WAS PREPARED BY:

Ray W. Roark II

3. THE NAME AND STREET (NO PO BOXES) ADDRESS OF THE REGISTERED AGENT LOCATED AT THE REGISTERED OFFICE (MUST BE LOCATED IN ALABAMA):

Ray W Roark II
 418 Scott Street
 Montgomery, AL 36106
 MONTGOMERY

MAILING ADDRESS IN ALABAMA OF REGISTERED OFFICE (IF DIFFERENT FROM STREET ADDRESS):

4. THE UNDERSIGNED CERTIFY THAT THERE IS AT LEAST ONE MEMBER OF THE LIMITED LIABILITY COMPANY.

5. CHECK ONLY IF THE TYPE APPLIES TO THE LIMITED LIABILITY COMPANY BEING FORMED:

- NON-PROFIT LLC
- NON-PROFIT SERIES LLC
- PROFESSIONAL SERIES LLC
- PROFESSIONAL LLC COMPLYING WITH TITLE 10A, CHAPTER 5A, ARTICLE 8
- SERIES LLC COMPLYING WITH TITLE 10A, CHAPTER 5A, ARTICLE 11

(FOR SOS OFFICE USE ONLY)

Alabama	
Sec. Of State	
635-732	DLL
Date	06/25/2020
Time	16:47:00
File	\$100.00
Exp	\$0.00
Total	\$100.00

6. THE UNDERSIGNED SPECIFY 06/25/2020 16:41:40 AS THE EFFECTIVE DATE AND THE TIME OF FILING

ATTACHED ARE ANY OTHER MATTERS THE MEMBERS DETERMINE TO INCLUDE HEREIN

7. ORGANIZER(S) - OPTIONAL

Not Applicable

06/25/2020
DATE

Ray W Roark II Manager/Member
ELECTRONIC SIGNATURE & TITLE

John H. Merrill
Secretary of State

P.O. Box 5616
Montgomery, AL 36103-5616

STATE OF ALABAMA

I, John H. Merrill, Secretary of State of Alabama, having custody of the Great and Principal Seal of said State, do hereby certify that

pursuant to the provisions of Title 10A, Chapter 1, Article 5, Code of Alabama 1975, and upon an examination of the entity records on file in this office, the following entity name is reserved as available:

RW Battles, L.L.C.

This name reservation is for the exclusive use of Ray W. Roark II, 418 Scott Street, Montgomery, AL 36104-0000 for a period of one year beginning September 05, 2019 and expiring September 05, 2020



RES853686

In Testimony Whereof, I have hereunto set my hand and affixed the Great Seal of the State, at the Capitol, in the city of Montgomery, on this day.

September 05, 2019

Date

A handwritten signature in black ink that reads "John H. Merrill".

John H. Merrill

Secretary of State

ORDINANCE NO. _____

AN ORDINANCE DISCONTINUING THE ISSUANCE OF BUILDING PERMITS OUTSIDE OF THE CORPORATE LIMITS WITHIN THE POLICE JURISDICTION AND REPEALING ORDINANCE NO. 1129 REGARDING THE ISSUANCE OF BUILDING PERMITS WITHIN THE POLICE JURISDICTION OF THE CITY OF FAIRHOPE, SECTION 7-16 OF THE CITY OF FAIRHOPE CODE OF ORDINANCES

WHEREAS, Baldwin County enforces ordinances regarding the issuance of building permits, regulation of the construction of buildings, and enforcement of building codes in the County outside of the corporate limits of the City of Fairhope; and

WHEREAS, Baldwin County has provided notice to the City of Fairhope of its intent to assume responsibility for the issuance of building permits, regulation of the construction of buildings, and enforcement of building codes outside of the corporate limits of the City of Fairhope and within Fairhope's police jurisdiction pursuant to Alabama Code § 11-40-10(b)(2) in accordance with changes to the law created by Act 2021-297 (SB107).

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

Pursuant to Alabama Code § 11-40-10(b)(2) and the changes created by Act 2021-297 (SB107), the City of Fairhope hereby discontinues the issuance of building permits outside of the corporate limits of Fairhope within Fairhope's police jurisdiction for Baldwin County to assume responsibility for regulation of all new building permit applications and enforcement of building codes outside of the corporate limits of the City of Fairhope. Additionally, the City of Fairhope City Council repeals the following Section of the City of Fairhope Code of Ordinances: Section 7-16. "Issuance of Building Permits: The City shall start issuing building permits with the Police Jurisdiction of the City of Fairhope."

The Fairhope Building Department shall work with the Baldwin County Building Department to coordinate the transition and appropriate oversight of building projects outside of the corporate limits in Fairhope's police jurisdiction. The City of Fairhope Building Department will continue with the inspection of the construction of buildings, enforcement of building codes, and regulation of buildings where the City has either (1) received a building permit application or (2) has issued a building permit prior to December 31, 2022 in Fairhope's police jurisdiction until such time as building completion, a certificate of occupancy is issued or as otherwise set forth under Alabama law.

Severability Clause. The sections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by a court of competent jurisdiction, then such ruling shall not affect any other paragraphs and sections, since the same would have been enacted by the municipality council without the incorporation of any such unconstitutional phrase, clause, sentence, paragraph or section.

Effective Date. This ordinance shall take effect January 1, 2023, and upon its due adoption and publication as required by law.

ADOPTED THIS THE 12TH DAY OF DECEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

ADOPTED THIS THE 12TH DAY OF DECEMBER, 2022

Sherry Sullivan, Mayor

ORDINANCE NO. 1129

**AN ORDINANCE TO EXERCISE THE POWER TO ISSUE
BUILDING PERMITS WITHIN THE POLICE JURISDICTION OF
THE CITY OF FAIRHOPE**

Pursuant to the Code of Alabama, Code 1975, Section 11-24-5, the City of Fairhope wish to exercise the power to issue building permits regulating the use and design of structures within the City 's police jurisdiction, but outside the corporate limits.

Section 11-24-5

No county shall exercise jurisdiction under provision of this chapter within the jurisdiction of any municipal planning commission presently organized and functional or which shall become organized and functional within six months of the date the county assumes such jurisdiction by publishing and adopting notice thereof.

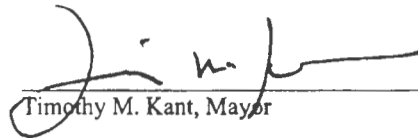
BE IT ORDAINED BY THE GOVERNING BODY OF TH CITY OF FAIRHOPE,
ALABAMA:

The City of Fairhope shall start issuing building permits within the police jurisdiction of the City of Fairhope.

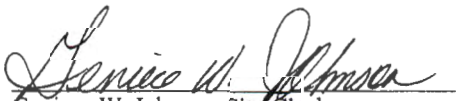
SEVERABILITY CLAUSE. If any part, section of subdivision of this ordinance shall be held unconstitutional or invalid for any reason, such holding shall not be construed to invalidate or impair the remainder of this ordinance, which shall continue in full force and effect not withstanding such holding.

EFFECTIVE DATE. This ordinance shall take effect October 1, 2001, and upon its due adoption and publication as required by law.

ADOPTED THIS 09TH DAY OF JULY, 2001.


Timothy M. Kant, Mayor

Attest:


Geniece W. Johnson, City Clerk

Ord. No. 1129 Published in
THE FAIRHOPE COURIER
on 11/10/01
GCJ City Clerk

City of Fairhope

2023 Regular City Council Meetings

Fairhope Municipal Complex Council Chamber

located at 161 North Section Street

6:00 p.m. on Second and Fourth Mondays or Noted below!

Months	Regular Date	Rescheduled	Reason
January	1/9/2023		
January	1/23/2023		
February	2/13/2023		
February	2/27/2023		
March	3/13/2023		
March	3/27/2023		
April	4/10/2023		
April	4/24/2023		
May	5/8/2023		
May	5/22/2023		
June	6/12/2023		
June	6/26/2023		
July	7/10/2023		
July	7/24/2023		
August	8/14/2023		
August	8/28/2023		
September	9/11/2023		
September	9/25/2023		
October	10/9/2023		
October	10/23/2023		
November	11/13/2023		
November	11/27/2023		
December	12/11/2023		
December	12/25/2023	12/20/2023 at 2:00 p.m. or ??	Christmas

MEMORANDUM

DATE: December 12, 2022
TO: Fairhope City Council
FROM: Hunter Simmons, Planning Director
RE: Starbucks Site Plan (SR 22.03)

On March 7, 2022, the Starbucks Site Plan was recommended for approval by the Fairhope Planning Commission ("Commission"). The staff report presented to the Planning Commission is attached for your convenience.

Staff reviewed the request and made a recommendation to the Planning Commission to approve Case SR 22.03 with the following conditions:

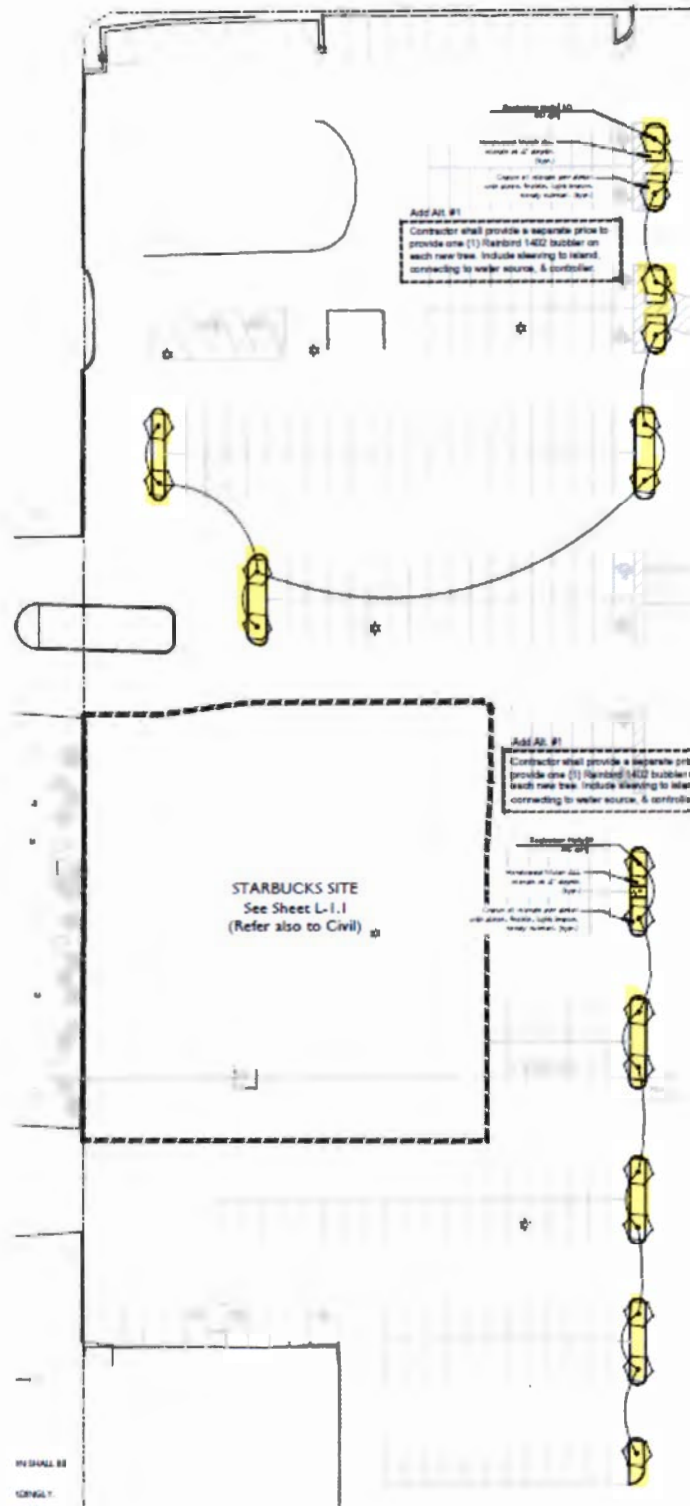
- 1.) A Shared Parking Agreement shall be executed prior to issuance of the building permit.
- 2.) Tree removal permit and fees shall be provided at the time of building permit.
- 3.) A sign plan shall be submitted via Citizen Serve to Code Enforcement for review and approval.
- 4.) Electric services shall be coordinated at the time of permitting with aid-to-construction costs and applicable easements. Final plans for all utilities and any associated aid to construction costs shall be approved by the respective Supervisor prior to submittal of a building permit.

The Planning Commission unanimously recommended approval of SR 22.03, subject to staff recommendations. They also added the following condition.

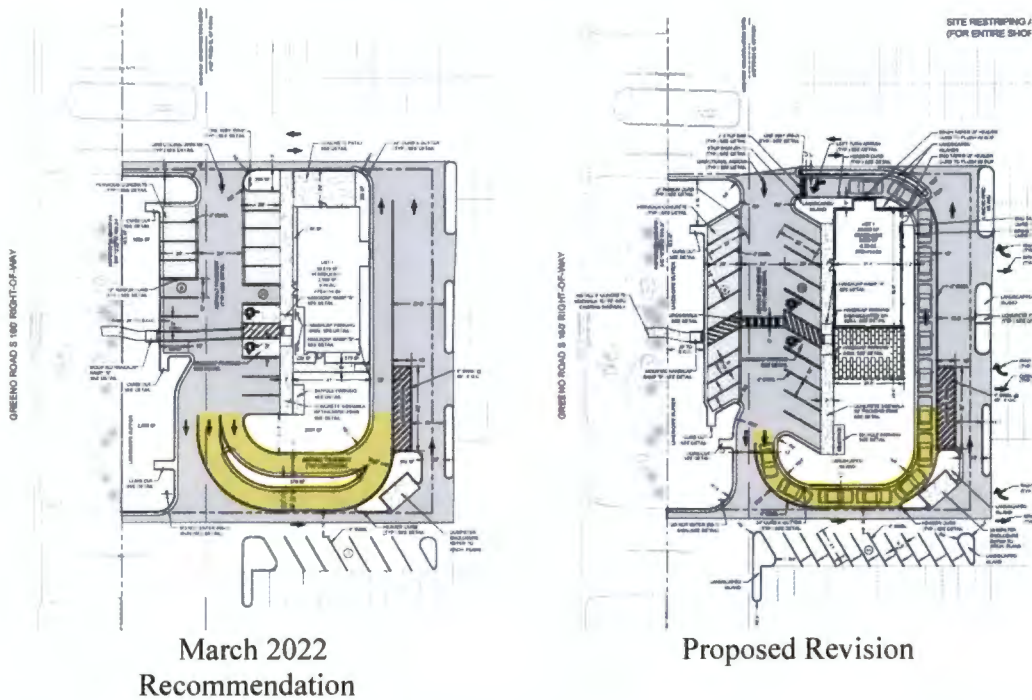
- 5.) Applicant will work with staff to add more landscape features.
*This condition was related to the entire Eastern Shore Shopping Center and not just the proposed Starbucks site.

The Applicant submitted revised plans that provided the requested landscape features in the shopping center. The following changes were made since the March Planning Commission:

- o The addition of landscaped islands within the shopping center parking lot.

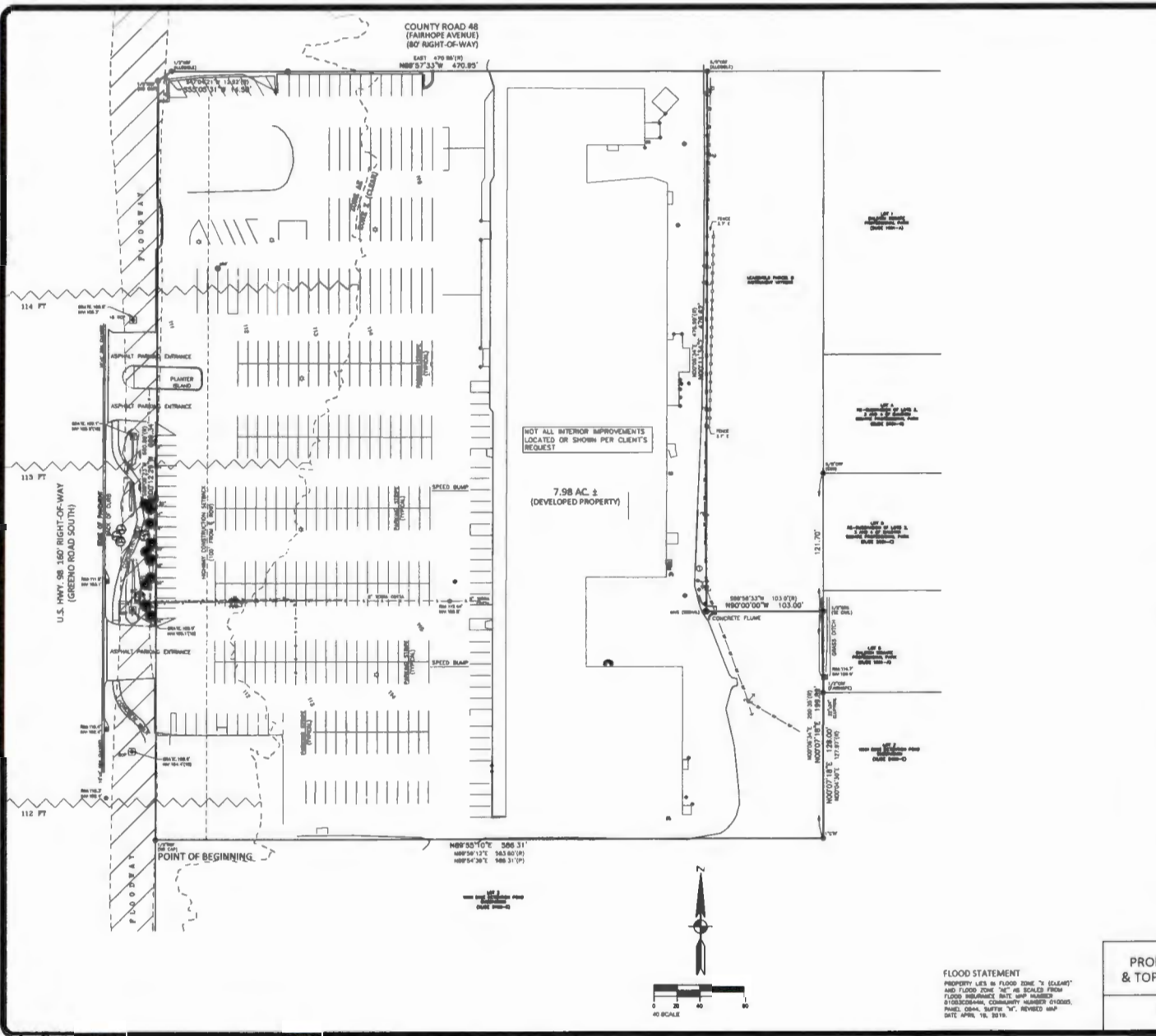


- A revised site plan was submitted that included the following changes:
 - A revised building footprint
 - Drive-thru aisle is single-stacked queuing



The revised landscape plans, included as Exhibit A, are the result of conversations with Staff and the Developer to add more landscape and still provide sufficient parking. The applicant also plans to re-stripe the entire parking lot. Consequently, this Site Plan (Case 22.03) is being forwarded to the City Council with recommendations of approval from staff, as well as a unanimous recommendation of approval from the Planning Commission with the following conditions:

- 1.) A Shared Parking Agreement shall be executed prior to issuance of the building permit.
- 2.) Tree removal permit and fees shall be provided at the time of building permit.
- 3.) A sign plan shall be submitted via Citizen Serve to Code Enforcement for review and approval.
- 4.) Electric services shall be coordinated at the time of permitting with aid-to-construction costs and applicable easements. Final plans for all utilities and any associated aid to construction costs shall be approved by the respective Supervisor prior to submittal of a building permit.



- LEGEND:**
- B.L.L. = BUILDING SET BACK LINE
 - (R) = RECORD REBAR/SETBACK
 - (P) = PLAT RECORD BEARING/DISTANCE
 - (C) = CAPPED REBAR SET (SEE CIVIL-16116/16)
 - (CRP) = CRIMP TOP IRON FOUND
 - (RFB) = REBAR FOUND (NO CAP)
 - (TMB) = TEMPORARY BRANCH MARK
 - (RCP) = REINFORCED CONCRETE PIPE
 - (INV) = INVERT
 - (R/W) = RIGHT-OF-WAY
 - (R/F) = ROAD FENCE
 - (M/F) = METAL FENCE
 - (G) = GAS LINE
 - (W) = WATER MAIN
 - (U) = UTILITY POLE
 - (L) = LIGHT POLE
 - (P) = INCREASED POWER LINE
 - (S) = SEWER MANHOLE
 - (E) = ELEVATION MARK
 - (F) = FIRE HYDRANT
 - (O) = OAK WAVE
 - (I) = IRON WAVE
 - (C) = CEM
 - (P) = PINE
 - (CE) = CEDAR
 - (CW) = CRICK WHITTLE
 - (FZ) = FLOOD ZONE AE

- SURVEYOR'S NOTES:**
1. THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTY.
 2. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
 3. THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE U.S. HIGHWAY 98 (GREEN ROAD SOUTH) AND STATE HIGHWAY 177 (COUNTY ROAD 48) ARE SHOWN FOR INFORMATION ONLY AND ARE NOT SURVEYED UNLESS SO NOTED OTHERWISE.
 4. SURVEY WAS CONDUCTED ON AUGUST 31, 2014, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
 5. BEARINGS AND DISTANCES SHOWN HEREIN WERE COMPUTED FROM ACTUAL FIELD TRAVERSE, AND ARE BASED ON STATE PLANE GRID, ALABAMA WEST ZONE UTM SPZ COORDINATES.
 6. ELEVATIONS SHOWN HEREIN ARE RELATED TO MEAN SEA LEVEL, BASED ON NAVD 83, TIME DATUM.
 7. THE UTILITY INFORMATION SHOWN HEREIN WAS OBTAINED BY SURVEYING AND NOTING THE VISIBLE ABOVE GROUND UTILITY FEATURES.
 8. NO TITLE SEARCH OR REPORT FILE PROVIDED FOR THIS SURVEY.
 9. THIS SURVEY HAS BEEN CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA, EFFECTIVE JANUARY 1, 2011.

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

COMMENCE AT A REBAR FOUND (NO CAP) AT THE NORTHWEST CORNER OF LOT 2, WINDY DOCK DETENTION POND SUBDIVISION AS RECORDED IN SLIDE 2468-C, PROBATE COURT RECORDS, BALDWIN COUNTY, ALABAMA, AND RUN THENCE NORTH 80 DEGREES 55 MINUTES 10 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 588.31 FEET TO A CRIMP TOP IRON PIPE FOUND, THENCE DEPARTING SAID NORTH LOT LINE, RUN NORTH 00 DEGREES 07 MINUTES 18 SECONDS EAST, A DISTANCE OF 199.89 FEET TO A CAPPED REBAR SET (SEE CIVIL) AT THE SOUTHEAST CORNER OF LEASEHOLD PARCEL A, AS RECORDED IN INSTRUMENT 1875268, PROBATE COURT RECORDS, BALDWIN COUNTY, ALABAMA, THENCE RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LEASEHOLD PARCEL A, A DISTANCE OF 103.00 FEET TO A WAVE AND DISC SET (SEE CIVIL) AT THE SOUTHWEST CORNER OF SAID LEASEHOLD PARCEL B, THENCE RUN NORTH 00 DEGREES 11 MINUTES 34 SECONDS EAST, ALONG THE WEST LINE OF SAID LEASEHOLD PARCEL B, A DISTANCE OF 478.63 FEET TO A CAPPED REBAR FOUND (ALLEGIBLE) ON THE SOUTH RIGHT-OF-WAY OF COUNTY ROAD 48 (FAIRHOPE AVENUE), THENCE RUN NORTH 99 DEGREES 57 MINUTES 33 SECONDS WEST, ALONG SAID SOUTH RIGHT-OF-WAY, A DISTANCE OF 470.95 FEET TO A CAPPED REBAR FOUND (ALLEGIBLE), THENCE RUN SOUTH 93 DEGREES 00 MINUTES 31 SECONDS WEST, A DISTANCE OF 14.56 FEET TO A REBAR FOUND (NO CAP) ON THE EAST RIGHT-OF-WAY OF U.S. HIGHWAY 98 (GREEN ROAD SOUTH), THENCE RUN SOUTH 00 DEGREES 12 MINUTES 29 SECONDS WEST, ALONG SAID EAST RIGHT-OF-WAY, A DISTANCE OF 808.34 FEET TO THE POINT OF BEGINNING TRACT CONTAINS 7.98 ACRES, MORE OR LESS.

(DESCRIPTION COMPILED FROM PROBATE RECORDS AND AN ACTUAL FIELD SURVEY)

DAVID E. DEAR, AL. P.L.S. NO. 28014, DATE _____

SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL

FLOOD STATEMENT

PROPERTY LIES IN FLOOD ZONE "A (SEASIDE)" AND FLOOD ZONE "A-C" AS SHOWN FROM FLOOD INSURANCE RATE MAP BASED ON HYDROGRAPHIC COMBINATION NUMBER 210005, PANEL DEAR, SURVEY "N", REVERSED MAP DATE APRIL 18, 2010.

PROPERTY BOUNDARY & TOPOGRAPHIC SURVEY

STARBUCKS



DRAWN	RDC
CHECKED	JAF
PREPARED BY	DEE
SCALE	1"=40'
PROJECT	2011078
FILE	2011078
SHEET	1 OF 1

REFER TO SHEET C06 FOR OVERALL SITE RESTRIPING AND ISLAND PLAN (FOR ENTIRE SHOPPING CENTER)

SITE ANALYSIS		
SITE ACREAGE (PROPOSED)	BUILDING HEIGHT	BUILDING UNDER ROOF
40.79 AC (38,918 SF)	30 FT	2,950 SF
REQUIRED PARKING 18 SPACES (SEE PARKING DATA)		PROPOSED PARKING 18 SPACES
EXISTING PERVIOUS PAVING 9 SPACES		PROPOSED PERVIOUS PAVING 9 SPACES
JURISDICTION CITY OF FAIRBORN		ZONING B-2
EXISTING IMPERVIOUS AREA 30,915 SF		PROPOSED IMPERVIOUS AREA 19,770 SF
EXISTING PERVIOUS AREA 9 SF		PROPOSED PERVIOUS AREA 10,748 SF
BUILDING SETBACKS	REQUIRED	
FRONT YARD	45 FT	
SIDE YARD	5 FT	
REAR YARD	0 FT	
MAXIMUM BUILDING HEIGHT	30'	
MAX. GROUND COVERAGE RATIO	N/A	
MAX. DENSITY	N/A	

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY FAIRBORNE REGULATIONS AND CODES AS WELL AS O.S.H.A. AND ALDOT STANDARDS.
- ALL ISLANDS WITH CURBS & GUTTERS SHALL BE LANDSCAPED.
- ALL CURBS OR STRIPPED BACK ARE TO BE 4" UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURBS UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BIDDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATION, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH CONDITIONS AUTHORIZED BY SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BIDDING.
- THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
- REFER TO THE LANDSCAPED PLAN FOR PLANTING LOCATIONS AND ISLAND DETAILS.
- PAVING STRIPES SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
- CURBS SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBS SHALL BE 3000 PSI.
- HANDICAP MARKS AND PAVING STRIPES SHALL BE PER ADA REQUIREMENTS AND LOCAL REGULATIONS.
- THIS SITE IS ZONED B-2.
- TOTAL SITE ACREAGE = 40.79 ACRES.
- NOTIFY CITY OF FAIRBORNE INSPECTIONS 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE THROUGHOUT CONSTRUCTION.
- CONSTRUCTION EQUIPMENT SHALL NOT BE PERMITTED IN REQUIRED R.O.W. AND MUST BE STORED WITHIN THE SITE.
- DURING CONSTRUCTION, ACCESS ROADWAYS CONSTRUCTED OF AN ALL ASBESTOS SURFACE CAPABLE OF SUPPORTING FULL POLYMER GROUNDWATER SHALL BE PROVIDED THE WIDTH OF THE ACCESS ROADWAY. DURING CONSTRUCTION, SHALL BE 30 FT PER STANDARD FIRE PREVENTION CODE, LATEST EDITION.
- ALL NON-HANDICAP PARKING SPACES SHALL BE 18'x24'.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FINAL LATEST EDITION. REFER TO THE SIGN COORDINATOR FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAVEMENT MARKINGS. REFER TO DETAILS B IN ALDOT'S ROADWAY AND TRAFFIC DESIGN STANDARDS WHERE APPLICABLE.
- NO PROTECTED TREES WILL BE REMOVED, DESTRUCTIVELY DAMAGED, SULLIED, RELOCATED, DISPOSED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
- FIRE LINES AND SIGNAGE TO MEET REQUIREMENTS OF NFPA 1 CHAPTER 14.
- THE CONTRACTOR SHALL FURNISH THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE, INCLUDING UTILITIES, SIGNAGE, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO NEW AND EXISTING CONSTRUCTION, PROPERTY AND ANY UNAUTHORIZED DISRUPTION TO UTILITIES TO ADJACENT PROPERTIES.
- PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD LOCATED TO VERIFY LOCATIONS, DEPTH AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DEVIATIONS OR CONFLICTS.
- CONTRACTOR SHALL REFER TO THE ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING PREVIOUS BUILDING DIMENSIONS AND EXISTING BUILDING UTILITY ENTRANCE LOCATIONS.
- THE DIMENSIONS SHOWN ARE TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL PLANS FOR THE COLLISION GRID LAYOUT AND INFORMATION REQUIRED TO LOCATE THE BUILDING WITHIN THE FOUNDATION.
- NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.

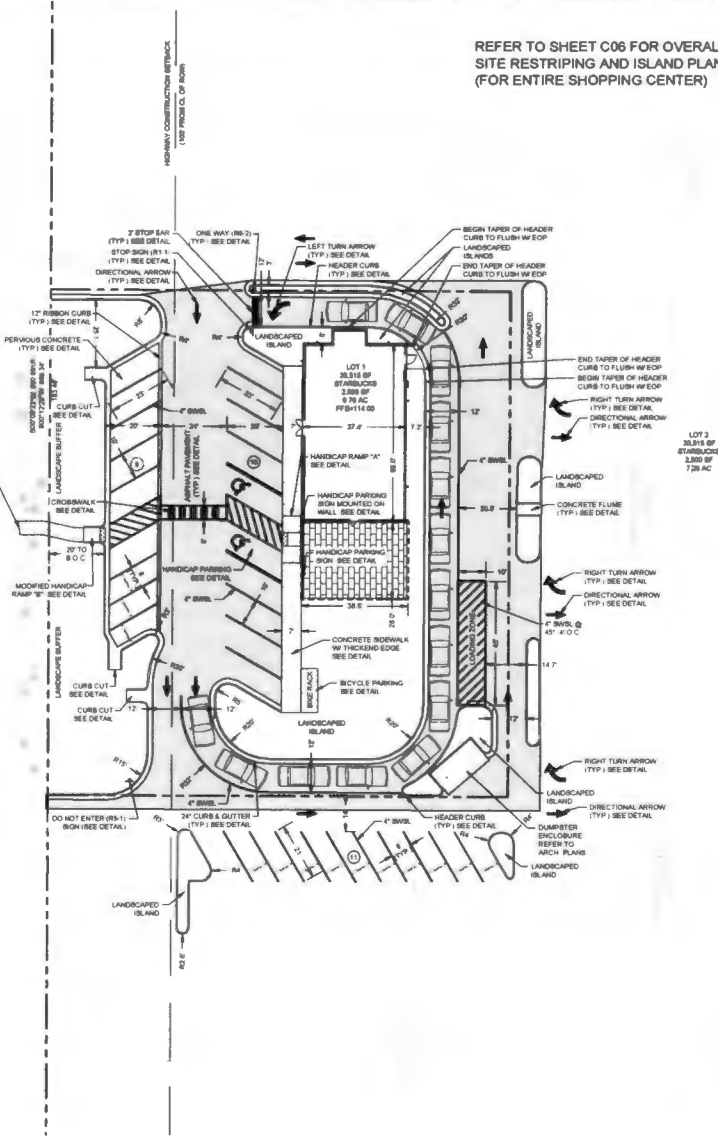
LAND USAGE		
DESCRIPTION	AREA	% OF PROPERTY AREA
PROGRESS AREA	30,915 SF	-
BUILDING AREA (UNDER ROOF)	2,950 SF	8.19%
SITE AREA EXCLUSIVE OF BLDG	30,915 SF	-
IMPERVIOUS PAVING	17,370 SF	54.89%
PERVIOUS PAVING	1,780 SF	5.43%
GRASSED/LANDSCAPED AREA	8,985 SF	29.39%

PARKING DATA - SITE	
PARKING REQUIREMENT	SPACES
TOTAL REQUIRED (11 SPACES @ 24'x18')	18
TOTAL PROVIDED (18 SPACES + 1 BICYCLE CREDIT)	19

PARKING DATA - CENTER	
PARKING REQUIREMENT	SPACES
TOTAL REQUIRED =	391
TOTAL PROVIDED (332 SPACES + 1 BICYCLE CREDIT) =	361

SITE PLAN LEGEND	
EXISTING	PROPOSED
	TRAFFIC CONTROL ARROW
	CURB & GUTTER
	HEADER CURB
	RISSON CURB
	STANDARD PARKING QUANTITY
	ACCESSIBLE PARKING SPACE
	CONCRETE PAVING
	MEDIUM DUTY ASPHALT PAVING
	PERVIOUS CONCRETE PAVING
	1" SWL
	2" SWL
	3" SWL
	4" SWL
	5" SWL
	6" SWL
	7" SWL
	8" SWL
	9" SWL
	10" SWL
	11" SWL
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	36" SWL
	37" SWL
	38" SWL
	39" SWL
	40" SWL
	41" SWL
	42" SWL
	43" SWL
	44" SWL
	45" SWL
	46" SWL
	47" SWL
	48" SWL
	49" SWL
	50" SWL

GREENWOOD ROAD S 160' RIGHT-OF-WAY



SITE PLAN

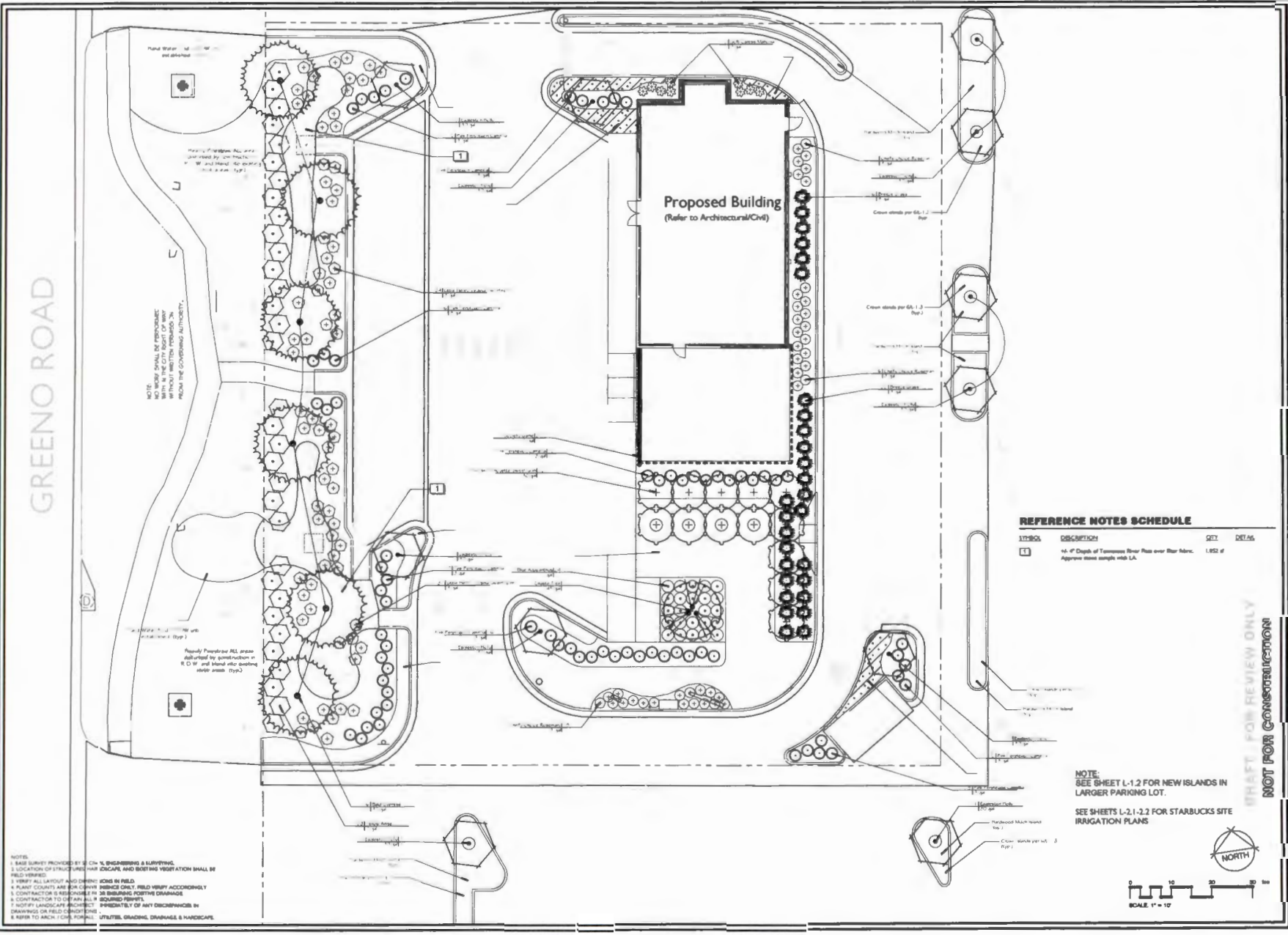
Starbucks
Greenwood Road (15-019)
Fairburn, Minnesota 56525



JOB No. DATE
180188 10/16/23

Drawn BY SCALE
JMS 1"=20'

SHEET
C01



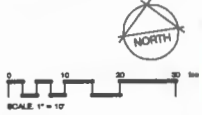
GREENO ROAD

Proposed Building
(Refer to Architectural/Civil)

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	CITY	DETAIL
1	+4' Depth of Tennessee River Rise over River Bed. Approve most sample with L.A.	1952	d

NOTE:
SEE SHEET L-1.2 FOR NEW ISLANDS IN LARGER PARKING LOT.
SEE SHEETS L-2.1-2.2 FOR STARBUCKS SITE IRRIGATION PLANS



ESPALIER
landscape architects

Espalier LLC
P.O. Box 1307
Fairhope, Alabama 36530
P: 251-484-5200
esp@espdesign.com

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STARBUCKS
Greeno Road
Fairhope, AL



DATE	BY	REVISION
1/24/22		Permitting
11/28/22		Revised

LANDSCAPE PLAN

DATE: 1/24/22
SCALE: 1" = 10'
SHEET NO: L-1.1
PROJECT NO: 178/19

DRAFT FOR REVIEW ONLY
NOT FOR CONSTRUCTION

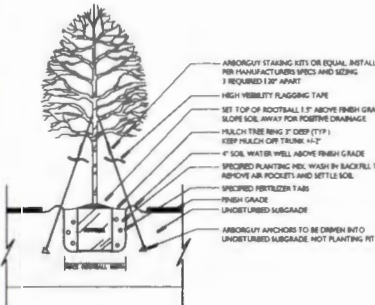
NOTES:
1. BASE SURVEY PROVIDED BY M. CH. ENGINEERING & SURVEYING.
2. LOCATION OF STRUCTURES HAS ZONING AND SETBACK VEGETATION SHALL BE FIELD VERIFIED.
3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
4. PLANT COUNTS ARE FOR CONSTRUCTION ONLY. FIELD VERIFY ACCORDINGLY.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING POSITIVE DRAINAGE.
6. CONTRACTOR TO DETAIL ALL UNRESOLVED DETAILS.
7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWING OR FIELD CONDITIONS.
8. REFER TO ARCH. CODE, FORMS, UTILITIES, GRADING, DRAINAGE & Hardscape.

LANDSCAPE NOTES

- The contractor shall furnish and install all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all shrubs and planting areas and acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
- Before beginning work, the contractor shall thoroughly inspect himself with the existing site conditions and proposed plan. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
- Contractor is made aware of active existing underground utilities. It is the contractor's responsibility to determine the location of all utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location services. All damaged utilities shall be repaired to owners satisfaction by contractor with no additional charge to owner.
- Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
- Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architect attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
- The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
- Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
- Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to PCA or AAS guidelines if applicable.
- All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
- Topsoil shall be synthetic material, sterile, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
- Once delivered to the site, the contractor is responsible for the protection, including staking, of all material.
- The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
- Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
- Quantities shown on plans are for convenience only.
- All groundcover & flower beds shall receive 2" minimum of planting mix consisting of decomposed plant bark or mushroom compost and blended into the top 4" of existing soil. Rate beds shall receive topsoil with 2" min. of ground plant bark prior to planting.
- All trees and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed plant bark or mushroom compost.
- All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs as rates per manufacturers recommendations. All planting beds also to be top dressed with a slow release Osmocote fertilizer or equal per manufacturers recommendations prior to finishing.
- All beds shall receive Freshland pre-emergent herbicide or equal.
- Unless otherwise noted, all beds shall receive 3" compacted depth of Fresh Long Leaf straw mulch from sticks and pine cones. Groundcover areas with 4" plants or plug shall be mulched with polyurethane plant bark mulch unless otherwise noted.
- All bed beds shall have 3" V-shaped trenches. See detail.
- All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
- All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
- All trees shall be staked with arbor guy for equal tree sizes per manufacturers recommendations.
- All disturbed areas shall be irrigated and mulched.
- Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
- Brown or defoliated plants shall be removed and replaced immediately.
- All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
- No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

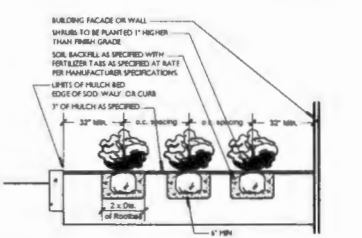
1 LANDSCAPE NOTES

NTA LA-14



2 TREE PLANTING

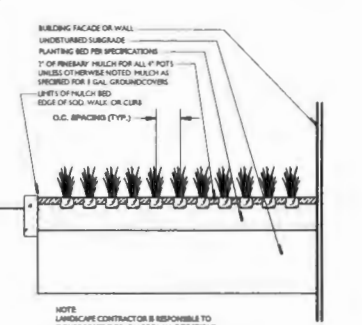
NTA LA-81



NOTE: LANDSCAPE CONTRACTOR IS RESPONSIBLE TO INSURE POSITIVE DRAINAGE IN ALL DIRECTIONS AND AWAY FROM ALL STRUCTURES.

3 SHRUB PLANTING DETAIL

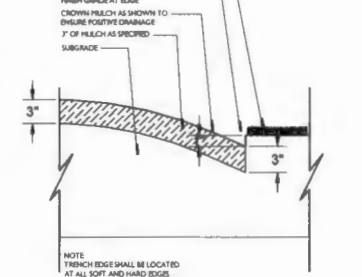
NTA LA-82



NOTE: LANDSCAPE CONTRACTOR IS RESPONSIBLE TO INSURE POSITIVE DRAINAGE IN ALL DIRECTIONS AND AWAY FROM ALL STRUCTURES.

4 GROUNDCOVER PLANTING DETAIL

NTA LA-40



NOTE: TRENCH BED SHALL BE LOCATED AT ALL SOFT AND HARD EDGES.

5 TRENCH BED EDGE

NTA LA-80

PLANT SCHEDULE STARBUCKS

FRONTAGE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	TD	6	Taxodium distichum	Bald Cypress	30 gal	7" Cal. Fla., 10' Ht. Fla.	
PERIMETER TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	ED	11	Bux x sinensis 'Elegant'	English Holly	30 gal	1.5" Cal. Fla., 8' Ht. Fla. Single Trunk, Tree Form	
	LS	13	Liquidambar styraciflua 'Sander Silihoues'	Sander Silihoues Sweet Gum	30 gal	7" Cal. Fla., 10' Ht. Fla. Single Trunk, Grassroots Nursery	
	VC	1	Viburnum acerifolium	Chaste Tree	40 gal	Main Trunk, Tree Form, 5 Case Fla., 17" Cal., 8' Ht. Fla. Grassroots Nursery, Approp. Place With LA.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	AB	24	Agave attenuata 'Blue'	Blue Agave	1 gal	30" c.c.	
	FP	72	Camellia japonica 'Grand Ed-019 TH'	Red Japanese Camellia	3 gal	30" c.c.	
	IP	33	Boum parviflorum	Yellow Anas	7 gal	60" c.c.	Grassroots
	LS	71	Les virginica 'Little Henry'	Little Henry Virginia Insectivore	3 gal	30" c.c.	
	HS	30	Lemnaea longifolia 'Broom'	Broom Grass	7 gal	40" c.c.	
	ML	9	Melissa eurythymus Salt Carpet	Salt Carpet Plantain	2 gal	30" c.c.	
	BL	41	Ranunculus offrandis 'Roman Beauty'	Clay's Chaco Ranuncy	3 gal	30" c.c.	
	TV	31	Tuliphe violacea	Seaside Gerks	1 gal	17" c.c.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	CT	3272 sq	Cynodon dactylon 'TIF 419'	419 Bermuda Grass	seed		
	LSP	291	Liriodia spicata	Spicata Liriodia	4" pot	17" c.c.	Do Not Sell Older Nurseries, Doig Young Nursery or Plant Center

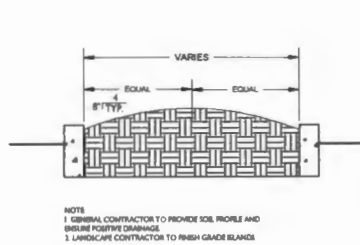
PLANT SCHEDULE PARKING ISLANDS

PERIMETER TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS
	ED	19	Bux x sinensis 'Elegant'	English Holly	30 gal	1.5" Cal. Fla., 8' Ht. Fla. Single Trunk, Tree Form

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
	4"-6" Depth of Taxodium River Plant over their beds. Approve stems sample with LA.	1,853 sq	

- NOTES:**
- HARDWOOD MULCH ALL BEDS. APPROVE MULCH SAMPLE WITH LA.
 - APPLY GRANULAR PRE-EMERGENT TO ALL PLANTING BEDS. SEE NOTES.
 - USE WOODACE FERTILIZER TABS IN ALL PLANTING BEDS. SEE NOTES.
 - PREP. PLANTING PITS & GROUND COVER AREAS WITH PLANTING MIX. SEE NOTES.
 - THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 - SEE LANDSCAPE NOTES.



NOTE: 1. ORIGINAL CONTRACTOR TO PROVIDE SOIL PROFILE AND INSURE POSITIVE DRAINAGE. 2. LANDSCAPE CONTRACTOR TO FINISH GRADE ISLANDS.

6 ISLAND GRADING

NTA LA-82

ESPALIER
landscape architects

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P.O. Box 1247
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P: 251-938-8888
espalier.com

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STARBUCKS
Greene Road
Fairhope, AL

TRAFFIC FOR REVIEW ONLY
NOT FOR CONSTRUCTION

CITY OF FAIRHOPE
PLANNING DEPARTMENT

SS: ED/REVISED

Permitting	1/24/22
Revised	11/28/22
Revised	11/29/22

CITY OF FAIRHOPE LANDSCAPE REQUIREMENTS:

PERIMETER REQUIREMENTS:
Road Frontage Feet = 183.5/30' = 6 Trees in First 25' regardless of tree credits.
Remaining Perimeter Feet = 516.12/30' = 17 Trees
Parking Requirements (1 Tree/12 Spaces) = 19 Spaces/12 = 1 Trees
Total Existing Tree Credits = 0
Total Trees Required = 6 Frontage (Overstory) & 18 Perimeter/parking lot Trees (At Least 50% Overstory)

LANDSCAPE DET AILS

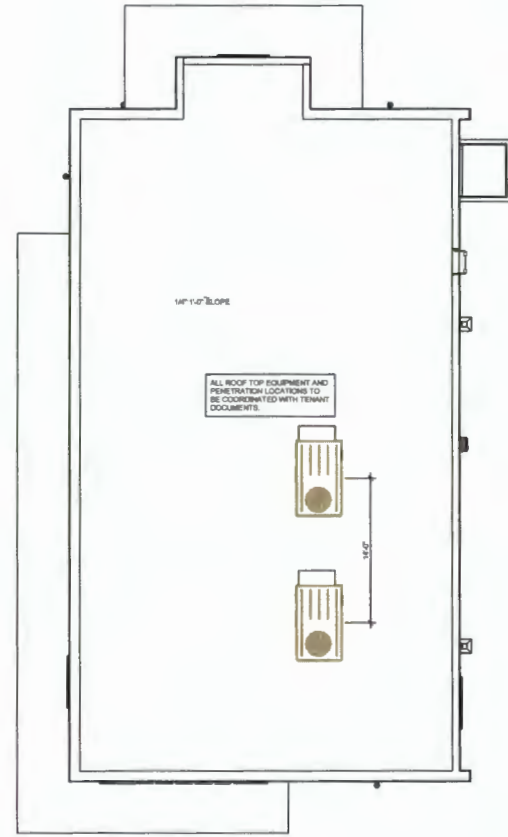
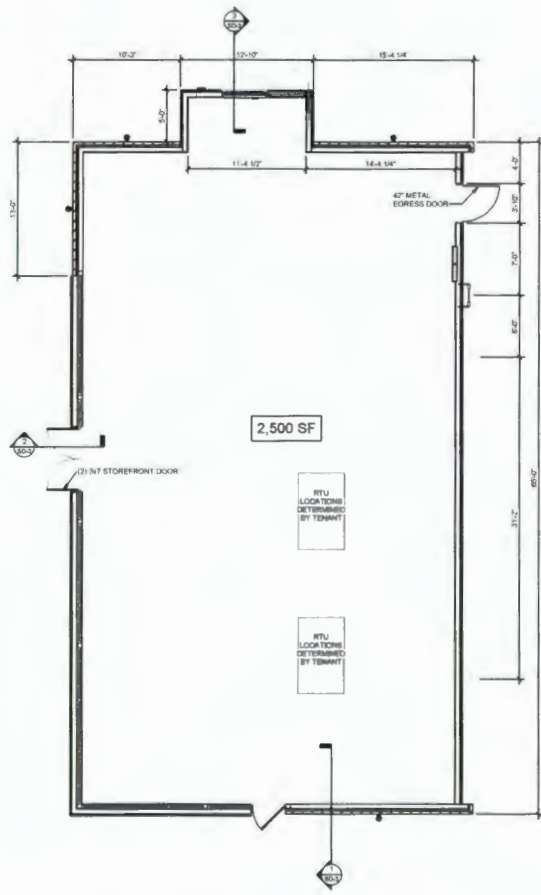
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
PROJECT NO.	1-L-13
DATE	1/28/22



MJM ARCHITECTS 2048 Sidco Dr Nashville, TN 37204
Phone: 615-244-8170 www.mjmarsh.com

STARBUCKS SHELL | FAIRHOPE, AL
2022.10.28





MJM ARCHITECTS 2948 Sidco Dr Nashville, TN 37204
 Phone: 615-244-8170 www.mjmarsh.com

STARBUCKS SHELL | FAIRHOPE, AL
 2022.10.28



FINAL SIGNAGE TYPE AND LOCATION TO BE PER TENANTS DOCUMENTAION



① COLOR - SIDE ELEVATION
3/16" = 1'-0"



② COLOR - REAR ELEVATION
3/16" = 1'-0"



③ COLOR - DT ELEVATION
3/16" = 1'-0"



④ COLOR - FRONT ELEVATION
3/16" = 1'-0"

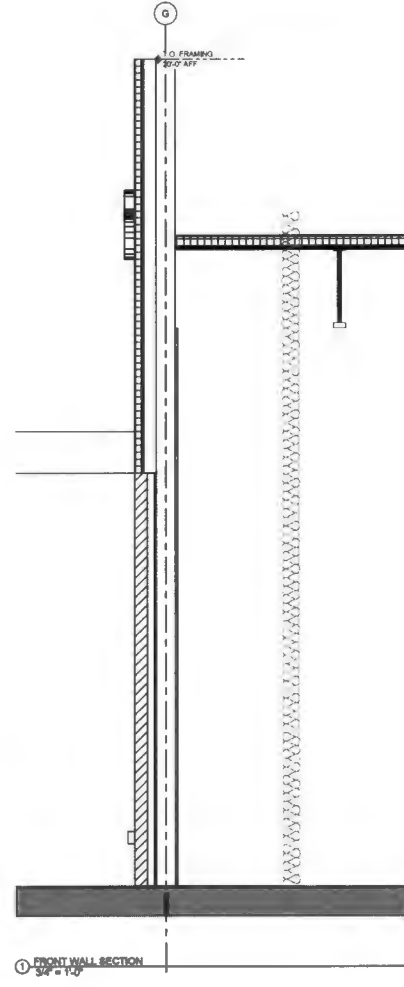
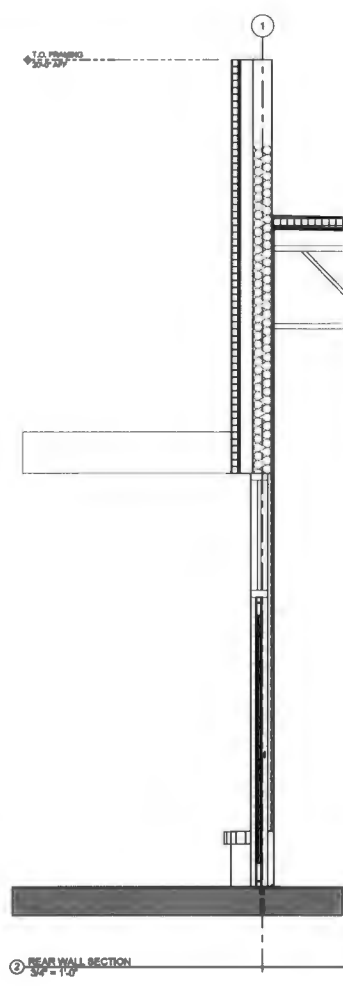
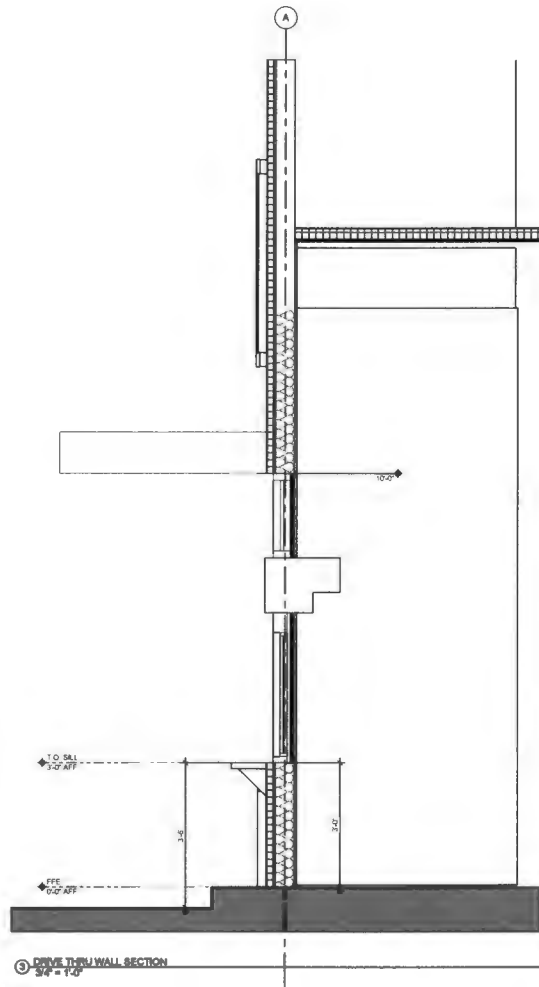


MJM ARCHITECTS 2948 Sidco Dr Nashville, TN 37204
Phone: 615-244-8170 www.mjmarsh.com

EXTERIOR FINISH SCHEDULE				
MARK	MATERIAL	MANUFACTURER	COLOR	REMARKS
AMN-1	PREFINISHED METAL CANOPY	PAWNEER OR EQ	MATTE BLACK	COLORADO CANOPY NO TIE BACKS
EPN-1	BRICK VENEER	PACIFIC TILE BRICK OR EQUAL	CHOCOLATE	
EPN-2	DIAMONABLE EPS SYSTEM	ORBIT OR EQUAL	SHERWIN WILLIAMS TONER "GRIP FIN"	TEXTURE: SANDPAPER FINE DRW
MTL-1	METAL WALL CLADDING	PRESTONE	MATTE BLACK	
CS-1	CRIP LAP SIDING	WOODWAY TOWER	WALAY "ACEIVA"	VERTICAL
STY-1	ALUMINUM & GLASS STOREFRONT FRAME	QUAMBER OR EQUAL	MATTE BLACK	



STARBUCKS SHELL | FAIRHOPE, AL
2022.10.28



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Phone: 615-244-8170 www.mjmach.com

STARBUCKS SHELL | FAIRHOPE, AL
2022.10.28

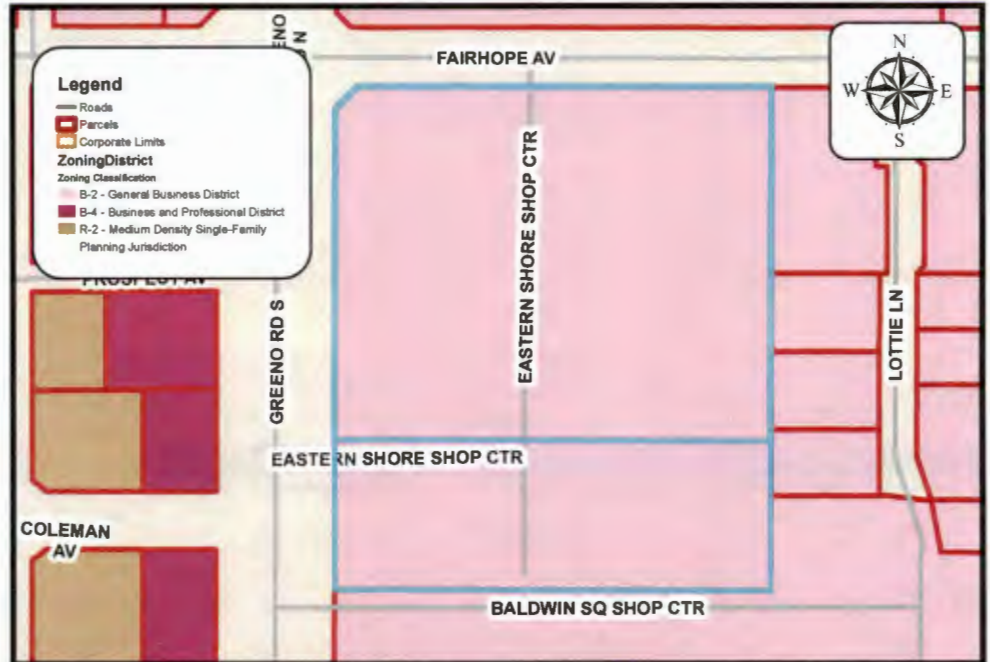


City of Fairhope Planning Commission

March 7, 2022



SR 22.03 - Starbucks



Project Name:

Starbucks

Site Data:

0.70 acres

Project Type:

Site Plan

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

B-2

PPIN Number:

64946

General Location:

Southeast corner of Fairhope Avenue
and U.S. Highway 98

Surveyor of Record:

S.E. Civil

Engineer of Record:

S.E. Civil

Owner / Developer:

FST Robert N Graham LLC

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approved W/conditions

Prepared by:

Mike Jeffries



APPLICATION FOR SITE PLAN APPROVAL

Application Type: Site Plan
Attachments: Articles of Incorporation or List all associated investors

Date of Application: 1/25/22

Property Owner / Leaseholder Information
Name of Property Owner: FST Robert N Graham LLC Phone Number: 251-929-9006
Address of Property Owner: PO Box 1207
City: Purvis State: MS Zip: 39475

Proposed Site Plan Name: Starbucks
Site Acreage: 0.70 Sq. Footage: 2500
Parcel No: 05-46-05-16-0-000-028.545 Current Zoning: B-2

Authorized Agent Information
Name of Authorized Agent: SE Civil, LLC Phone Number: 251-990-6566
Address: 9969 Windmill Rd
City: Fairhope State: AL Zip: 36532
Contact Person: Larry Smith, PE

Engineer/Architect Information
Name of Firm: SE Civil, LLC Phone Number: 251-990-6566
Address: 9969 Windmill Rd
City: Fairhope State: AL Zip: 36532
Contact Person: Larry Smith, PE

I certify that I am the property owner/leaseholder of the above described property and hereby submit this site plan to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Jason Graham for Robert N Graham, LLC
Property Owner/Leaseholder Printed Name

1/14/22
Date

Signature Agent
Lee Turner,
Fairhope Single Tax Corp. (If Applicable)
President

STATE OF ALABAMA

FOREIGN LIMITED LIABILITY COMPANY (LLC) APPLICATION FOR REGISTRATION

PURPOSE: In order to register a foreign entity (any entity formed outside of Alabama) to transact business in Alabama, the entity must deliver to the Secretary of State for filing a Application for Registration to Section 10A-1-7.04, Code of Alabama 1975.

INSTRUCTIONS: Mail this completed form with the appropriate fee to the Office of the Secretary of State at PO Box 5616, Montgomery, AL 36103. Include a check, money order, or credit card payment for \$150.00 for standard processing (no guaranteed processing timeframe - dependent on volume) or \$250.00 for expedited processing (within approximately 3 business days after date of receipt). The application is only accepted via mail or courier and will not be accepted via fax or email. Using a credit card and our website, you may file the Foreign LLC online in the time it takes to type this application. Due to volume, we are unable to search for applications that may or may not have been received via regular mail to provide receipts or status - if a receipt is needed use registered mail service or a courier service. No fees are charged or deposited until the Application is approved. If the credit card does not authorize or the check is dishonored the Application will be terminated (there is a \$30.00 NSF check fee for all returned checks). All processing instructions are complete in this form; cover letters are not necessary and will not be reviewed.

Alabama Sec. Of State	New Entity 408-716	FLL 11/29/2017	File	\$150.00
	Date	14:37	Ackn	\$.00
	Time	3 Pg	Exp	\$.00
	171129		Total	\$150.00
			01/012	

(For SOS Office Use Only)

The information completing this form must be typed or the filing will be rejected without review.

Faxed or emailed applications will not be acknowledged, reviewed, processed, or returned.

- The legal name of the foreign entity as recorded in the jurisdiction in which it was formed/organized:
Robert N Graham, LLC
 - The name of the foreign entity for use in Alabama only if different from the legal name*:
Robert N Graham, LLC
*A fictitious name may be used only if the legal name is not available for use in Alabama or the name does not contain the words "Limited Liability Company" or the abbreviation "L.L.C." or "LLC" (10A-1-5.06).
 - If a fictitious name is used the undersigned certifies the resolution of the LLC's governing authority to adopt the fictitious name for use in Alabama and affirms the authority to make such a certification under 10A-1-7.07.
 - A copy of the name registration received from the Office of the Alabama Secretary of State must be attached.
 - Street (No PO Boxes) Address of principal office: 40 Deep South Lane, Purvis, MS 39475
- Mailing Address (if different) _____

**FOREIGN LIMITED LIABILITY COMPANY (LLC)
APPLICATION FOR REGISTRATION**

6. Entity's jurisdiction of formation: Mississippi
(State or Country, if formed outside the United States, of formation)
7. Date of the entity's formation in state/country of jurisdiction: 08 / 28 / 2014 (MM/DD/YYYY)
8. The undersigned certifies that the foreign entity exists as a valid Limited Liability Company under the laws of the entity's jurisdiction of formation.
9. Name of registered agent for service of process (MUST be physically located in Alabama): C T Corporation System
10. Street (No PO Boxes) Address of initial registered office (MUST be office of registered agent and physically located in Alabama): 2 North Jackson Street, Suite 605, Montgomery, AL 36104
Mailing Address in Alabama of registered agent/office (if different) _____
11. The foreign entity will begin or began transacting business in Alabama (**a date must be provided**):
Began or Will begin doing business: 12 / 01 / 2017 (MM/DD/YYYY)

11 / 07 / 2017
Date (MM/DD/YYYY)

Robert N. Graham, Member
Typed Name **and** Title of Signature Below


Signature of Person Authorized to Sign per 10A-1-4.01, Alabama Code

In order to review the sections of the *Code of Alabama 1975* referred to in the filing form you may access www.sos.alabama.gov and click the Government Records tab. Choose the Code of Alabama link to review.

John H. Merrill
Secretary of State

P.O. Box 5616
Montgomery, AL 36103-5616

STATE OF ALABAMA

I, John H. Merrill, Secretary of State of Alabama, having custody of the Great and Principal Seal of said State, do hereby certify that

pursuant to the provisions of Title 10A, Chapter 1, Article 5, Code of Alabama 1975, and upon an examination of the entity records on file in this office, the following entity name is reserved as available:

Robert N Graham, LLC

This name reservation is for the exclusive use of Robert N. Graham, P.O. Box 1207, Purvis, MS 39475 for a period of one year beginning November 06, 2017 and expiring November 06, 2018

In Testimony Whereof, I have hereunto set my hand and affixed the Great Seal of the State, at the Capitol, in the city of Montgomery, on this day.



November 06, 2017

Date

J. H. Merrill

RES776921

John H. Merrill

Secretary of State

Summary of Request:

Request of FST Robert N Graham LLC for Site Plan Approval of Starbucks, a site plan. Mr. Larry Smith is the authorized agent and Engineer for the project. The subject property is zoned B-2 General Business District and is approximately 0.70 acres. The property is located on the southeast corner of County Road 48 and US Highway 98.

Setbacks: The front setback off US Highway 98 is 45 feet. Within this setback, there is a 20-foot landscape buffer adjacent to the right-of-way. Plans illustrate the applicant is removing existing asphalt within the 20-foot buffer to manage storm water and provide trees and shrubs.

Building: The building meets the height restriction of B-2. The wall height is 18', while a maximum of 30' is required. Architectural elevations are provided as attachments. Front elevations are shown in Figure 2. The submitted "Design Criteria" document shows that the materials for the building are primarily wood siding and stucco. The plans specify that the material specifications are for reference only.



Figure 2. Main Entrance Architectural Elevations

Landscaping Plan: The site currently is paved and has no landscaping. There are zero Heritage Trees on the site. The landscape plans were approved by the City Horticulturist with the condition that the tree removal permit and fee be included with the building permit.

Parking: According to staff calculations (shown below) and based on the uses provided, the applicant is proposing too many parking spaces. Ten spaces are required and applicants are allowed up to 20% above the required amount of parking, which would allow a maximum of 12 spaces. The applicant proposes 19.

Required Parking	10
Provided Parking	19
Maximum Parking	12
Required Pervious Spaces	7
Provided Pervious Spaces	7
Required Compact Spaces	3 to 4

The applicant attributes the excess parking to the nature of the shopping center that it is located in. They cite that the center uses shared parking, and the analysis should consider the entire shopping center, rather than the single parcel. The applicant provides 361 spaces, meeting the requirements of the zoning ordinance. Shared parking will require a shared parking agreement.

However, staff would like consideration to be given to the Non-Conforming Lots section within the Zoning Ordinance. Article VII Section C.3 states that,

“Any site characteristic of a use, whether conforming to this ordinance or a legal non-conforming use, in existence prior to adoption of this ordinance (such as parking, landscaping, or driveways) shall be considered legal. However, any change in use, expansion of the use, or expansion of the structure associated with the use shall require all non-conforming site characteristics to be brought in conformance with this ordinance.”

The tree ordinance, landscaping, and parking provision are in conflict. As such, staff is requesting direction from the Planning Commission regarding the balance of landscaping and spaces while bringing the parking lot into conformity.

Sidewalks: There is an existing concrete walk in front of the subject property. The applicant has provided a connection from the building to the existing concrete walk. Five bicycle spaces and a concrete patio are provided on site.

Dumpster location and screening: Garbage is collected in a commercial dumpster located southeast of the building. The enclosure consists of a 7' 6" concrete block enclosure with four swing-gates.

Storm water: Stormwater will be redirected to the west, through curb cuts that flow into the US 98 drainage system.

Location and size of all signage: The tenant intends to place one sign on the existing Eastern Shore Shopping Center's existing complex sign, shown below. This request meets the intention of the Sign Ordinance, which requires shared complex signs over multiple monument signs. Square footage of the pylon sign shall be subtracted from the total square feet of allowable signage for other signs, which shall meet the requirements of the City of Fairhope Sign Ordinance. All proposed signs shall be approved through the City of Fairhope Citizen Serve permit portal prior to placement.



Utilities: City of Fairhope Water, Sewer, and Gas have reviewed and approved the site plan. City of Fairhope Electric has stated that there is a choice of route with associated costs. These options will need to be coordinated at the time of permitting with aid-to-construction costs and applicable easements.

ADA Requirements: ADA requirements shall be met.

Traffic: Larry Smith, with SE Civil, provided a traffic letter. Per the letter, ALDOT controls the access and an ALDOT access permit will not be required.

Recommendation:

Staff recommends conditional approval of case SR 22.03 with the following conditions:

- 1.) A Shared Parking Agreement shall be executed prior to issuance of the building permit.
- 2.) Tree removal permit and fees shall be provided at the time of building permit.
- 3.) A sign plan shall be submitted via Citizen Serve to Code Enforcement for review and approval.
- 4.) Electric services shall be coordinated at the time of permitting with aid-to-construction costs and applicable easements. Final plans for all utilities and any associated aid to construction costs shall be approved by the respective Supervisor prior to submittal of a building permit.

Article II, Section C.2.d. (Site Plan Review Criteria)

Criteria – The application shall be reviewed based on the following criteria:

- (1) Compliance with the Comprehensive Plan;
The property is currently zoned B-2 and the use currently proposed (restaurant) is allowed in B-2.
- (2) Compliance with any other approved planning documents;
- (3) Compliance with the standards, goals, and intent of this ordinance and applicable zoning districts;
The standards of the zoning ordinance have been, or shall be by condition of approval, met.
- (4) Compliance with other laws and regulations of the City;
Meets
- (5) Compliance with other applicable laws and regulations of other jurisdictions;
Meets
- (6) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values;
Meets
- (7) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values;
Meets
- (8) Overall benefit to the community;
No Conflicts.
- (9) Compliance with sound planning principles;
Outdoor seating is provided, including bicycle parking. The project increases the amount of pervious surfaces on site.
- (10) Compliance with the terms and conditions of any zoning approval;
Meets
- (11) Any other matter relating to the health, safety, and welfare of the community;
Nothing noted
- (12) Property boundaries with dimensions and setback lines;
Meets
- (13) Location of proposed buildings and structures indicating sizes in square feet;
Meets
- (14) Data to show percentage of lot covered with existing and proposed buildings;
Meets
- (15) Elevations indicating exterior materials;
Building elevation and materials were provided.
- (16) The locations, intensity, and height of exterior lights;
- (17) The locations of mechanical equipment;
Meets
- (18) Outside storage and/or display;
Properly screened.
- (19) Drive-up window locations (must be away from residential uses/districts and not in front of building);
Meets.
- (20) Curb-cut detail and location(s);
Provided.

(21) Parking, loading, and maneuvering areas;

Meets

(22) Landscaping plan in accordance with the City Landscape Ordinance;

Meets

(23) Location, materials, and elevation of any and all fences and/or walls;

Meets

(24) Dumpster location and screening; and

Meets

(25) Location and size of all signage.

No signs were submitted for approval. Signage plan will need to be approved by Code Enforcement



January 25, 2022

Hunter Simmons
Planning Director
City of Fairhope
555 S. Section Street
Fairhope, AL 36532

Re: Starbucks Fairhope Traffic Letter

Dear Hunter:

The Starbucks site is an existing shopping center with existing access points. Due to the location of the shopping center, the existing access points are set. ALDOT controls this access and we have submitted the layout to them. Attached is there response and an ALDOT access permit will not be required.

Sincerely,

A handwritten signature in black ink, appearing to read 'Larry Smith', written over a faint dotted circular stamp.

Larry Smith, PE
larry@secivil.pro



Larry Smith

From: Smith, Michael <smithmi@dot.state.al.us>
Sent: Tuesday, January 18, 2022 4:19 PM
To: Larry Smith
Cc: Hunter Simmons; Jackson Berkbigler; Donnie Hendrix; Denton, Samantha H.; McCracken, Paul
Subject: RE: Starbucks Fairhope
Attachments: Site Plans 1-25-22.pdf; MB-07 Drainage May 2017.pdf; BM-174 March 2016.pdf; PERMIT CHECKLIST APR 2021.pdf

Larry,

I like the double drive thru plan as shown and the one way flow presented around the building. The drainage work will be submitted under the MB-07 permit which I have attached. If you have any questions let me know.

MICHAEL SMITH, P.E.
AREA PERMIT MNGR.
OFFICE: 251-470-8273
CELL: 251-331-0104

From: Larry Smith <lsmith@secivileng.com>
Sent: Monday, January 17, 2022 11:43 AM
To: Smith, Michael <smithmi@dot.state.al.us>
Cc: Hunter Simmons <hunter.simmons@fairhopeal.gov>; Jackson Berkbigler <jberkbigler@secivileng.com>; Donnie Hendrix <donnie@thegrahambuilding.com>
Subject: Starbucks Fairhope

Michael,

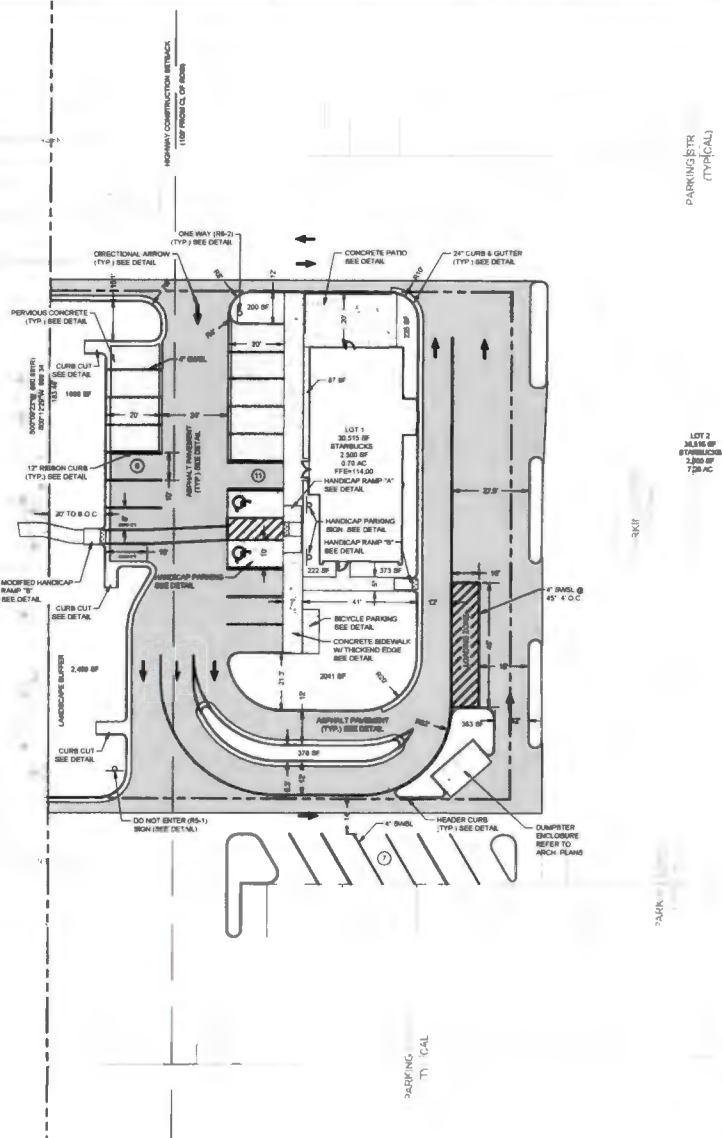
My client is proposing a new Starbucks at the Eastern Shore Shopping Center. The Starbucks will go in an area that is currently entirely paved. We will be removing the paving and installing the parking, buildings, driveways, and landscaping. All of the drainage currently enters into inlets along the right of way. We will be reducing the impervious areas and by that the run-off. We will be piping this run-off and connecting to these inlets. Therefore we will be submitting this project to ALDOT for a grading permit.

As for access, the existing entrances along US 98 (greeno) will remain. The client has switched the concept to a dual drive-thru lane and changed the layout in order to maximize the available stacking. Let me know if you need to look at any additional drawings other than what we submit with the drainage permit.

Please note that we have moved and have a new business address. All other information is the same.

Larry Smith, PE
9969 Windmill Road
Fairhope, Alabama 36532
251-990-6566 phone
www.secivil.pro

GREENWOOD ROAD S 160' RIGHT-OF-WAY



SITE ANALYSIS

SITE ACREAGE (PROPOSED)	BUILDING HEIGHT	BUILDING (UNDER ROOF)
16.70 AC (36,515 SF)	30 FT	3500 SF
REQUIRED PARKING 10 SPACES (SEE PARKING DATA)		PROVIDED PARKING 18 SPACES
REQUIRED PERVIOUS PARKING 9 SPACES		PROVIDED PERVIOUS PARKING 9 SPACES
APPROXIMATE CITY OF FAIRHOPE 34,515 SF		ZONING S-2
EXISTING PERVIOUS AREA 0 SF		PROPOSED PERVIOUS AREA 34,515 SF
EXISTING PERVIOUS AREA 0 SF		PROPOSED PERVIOUS AREA 8,222 SF
BUILDING SETBACK	REQUIRED	
FRONT YARD	48 FT	
SIDE YARD	8 FT	
REAR YARD	0 FT	
MAXIMUM BUILDING HEIGHT	30'	
MAX. GROUND COVERAGE RATIO	50%	
MAX. DENSITY	50%	

LAND USAGE

DESCRIPTION	AREA	% OF PROPERTY AREA
PROPERTY AREA	34,515 SF	-
BUILDING AREA (UNDER ROOF)	2,560 SF	7.4%
SITE AREA EXCLUSIVE OF BLDG	28,915 SF	-
IMPERVIOUS PARKING	14,183 SF	49.0%
PERVIOUS PARKING	1,889 SF	6.5%
GRASS/LANDSCAPED AREA	8,224 SF	28.5%

PARKING DATA - SITE

PARKING REQUIREMENT	SPACES
TOTAL REQUIRED (1 SPACES RATE) =	10
TOTAL PROVIDED (18 SPACES + 1 BICYCLE CREDIT) =	30

PARKING DATA - CENTER

PARKING REQUIREMENT	SPACES
TOTAL REQUIRED =	381
TOTAL PROVIDED (132 SPACES + 1 BICYCLE CREDIT) =	361

- ### SITE PLAN NOTES
- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY FAIRHOPE REGULATIONS AND CODES AS WELL AS LOCAL AND ADJACENT STANDARDS.
 - ALL ISLANDS WITH CURBS & GUTTERS SHALL BE LANDSCAPED.
 - ALL CURBED OR STRIPPED AREAS ARE TO BE C UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS AND SPACES ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY EACH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
 - REFER TO THE LANDSCAPING PLANS FOR PLANTING LOCATIONS AND ISLAND DETAILS.
 - PAINTED STRIPING SHALL BE EROSION AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
 - CURSING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURSING SHALL BE 3000 PSI.
 - HANDICAP RAMP AND PARKING SPACES SHALL BE PER ADA REQUIREMENTS AND LOCAL REGULATIONS.
 - THIS SITE IS ZONED S-2.
 - TOTAL SITE ACREAGE 43.70 ACRES.
 - NOTIFY CITY OF FAIRHOPE INSPECTORS 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL PERMITS.
 - A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE THROUGHOUT CONSTRUCTION. PERMIT SHALL BE PRESENT ON SITE THROUGHOUT CONSTRUCTION.
 - CONSTRUCTION EQUIPMENT SHALL NOT BE STORED IN THE YARD AND SHALL BE STORED WITHIN THE SITE.
 - DURING CONSTRUCTION, ACCESS ROADS/WAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 70,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED. THE WIDTH OF THE ACCESS ROADWAY DURING CONSTRUCTION SHALL BE 30 FT PER STANDARD FIRE PREVENTION CODE LATEST EDITION.
 - ALL NON-HANDICAP PARKING SPACES SHALL BE WHITE.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), PAPER LATEST EDITION. REFER TO THE SIGN CODE CONTAINED IN THE MUTCD FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAINTED MARKINGS. SEE SIGNING DETAILS IN ALDOT'S ROADWAY AND TRAFFIC DESIGN STANDARDS WHERE APPLICABLE.
 - NO "PROTECTED TREE" SHALL BE REMOVED, OBSTRUCTIVELY DAMAGED, MITIGATED, RELOCATED, OR OTHERWISE DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
 - FIRE LANSSE AND STORAGE TO MEET REQUIREMENTS OF NFPA 1 CHAPTER 14.
 - THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE INCLUDING UTILITIES, SURFACES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO ANY AND EXISTING CONSTRUCTION, PROPERTY AND ANY UNAUTHORIZED OBSTRUCTION TO UTILITIES OR ETC. AND TO ADJACENT PROPERTIES.
 - PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATIONS, DEPTHS AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES OR CONFLICTS.
 - CONTRACTOR SHALL REFER TO THE ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BEST PORCHES. PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - THE DIMENSIONS SHOWN ARE TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO STRUCTURAL PLANS FOR THE COLUMN GRID LAYOUT AND INFORMATION REQUIRED TO LAYOUT THE BUILDING WITHIN THE FOUNDATIONS.
 - NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.



SITE PLAN

Starbucks
Greensboro Road (US-98)
Fairhope, Alabama 36532



DATE: 08/20/2024
SCALE: 1"=20'
SHEET: 01 OF 01

C01

Elevations / Option 1

BUILDING WILL HAVE A PARAPET WALL HEIGHT OF 18'-0" WITH A CONCEALED ROOF THAT SLOPES 1:12. TYPICAL STARBUCKS SIGNAGE WILL BE ON BUILDING FACES AND ON EXISTING PYLON.



Main Entrance Elevation



Patio Elevation



Drive Thru Lane Elevation



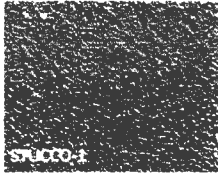
Back Elevation

Exterior Finishes

Option 01



WA-1



STUCCO-1

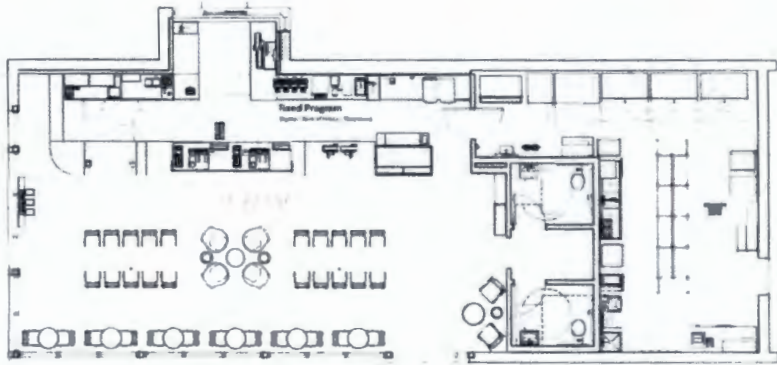
NOTE:
MATERIAL SPECIFICATIONS SHOWN FOR REFERENCE ONLY.
FINAL BUILDING MATERIAL SELECTION TO BE REVIEWED BY DESIGN.
IF MATERIAL VARIES FROM STANDARD PALETTE, MATERIAL SAMPLES WILL NEED TO BE SUBMITTED TO DESIGN FOR REVIEW

At Drive Thru Bump

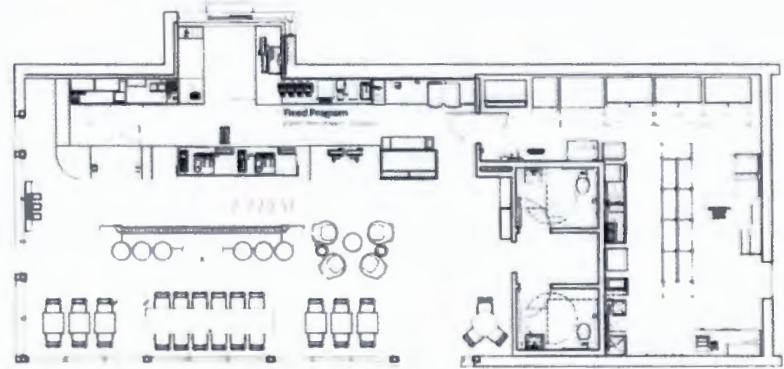
STUCCO-2

No.	Material	Manufacturer	Color / Description	Finish / Style	Price <small>(varies per region. LL to confirm pricing w/ vendor)</small>	Vendor Contact Info			
WA-1	Nichiha Facade Panel Systems	NICHIHA	Vintage Wood / Bark	AWP 3030 17 7/8" H X 119 5/16" L	\$6.87/sf (includes accessories & shipping)	Matt Stephenson	NICHIHA	MSTEPHENSON@NICHIHA.COM	770-805-9466
STUCCO-1	Stucco	Locally Sourced	SW7054 Keystone		(Varies Per Region)				
STUCCO-2			SW7026 Griffin		(Varies Per Region)				
MTL-1	Metal Coping	Locally Sourced	To match RAL#7021 Matte MT0028 - Flat Black	Pre-finished	(Varies Per Region)				
MTL-2	Aluminum Storefront System			Anodized	(Varies Per Region)				
MTL-3	Metal Canopy			Powdercoat	(Varies Per Region)				
MTL-4	Hollow Metal Door Frame			Painted	(Varies Per Region)				
LED-1	Recessed LED Light Strip (@ canopies)	LEDPower	2500K, 120 degree, 120 VAC, Frosted Lens	48" Length, Mounted as continuous light strip		Judy Kastner	LEDPower	jkastner@ledpower.com	949-679-0031
CP-1	Concrete	Increte Systems	Color-Crete Liquid - Soft Gray	Cast In Place			Increte Systems		800-752-4626
Canopy									
WD-1	Wood	ReSawn Timber CO.	ABODO	WB10 Profile prefinished with STRAW	\$11.95 SF	Anna Pipher	havenluxe	anna@havenluxe.com	832.367.7757

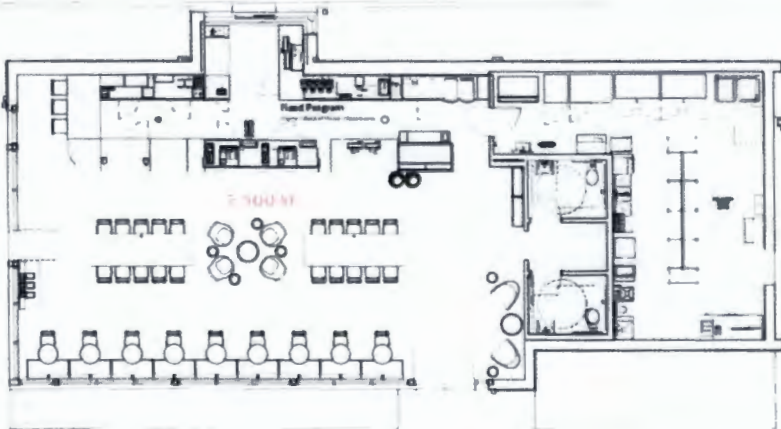
Starbucks Prototype Building: STB-A Seating Scenarios



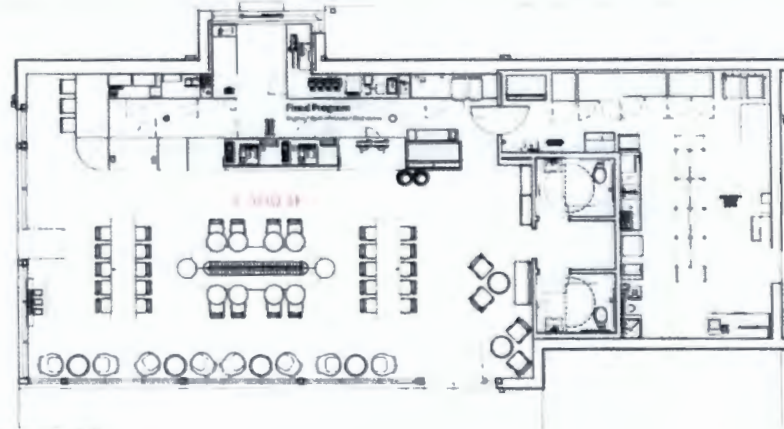
Scenario 01



Scenario 02

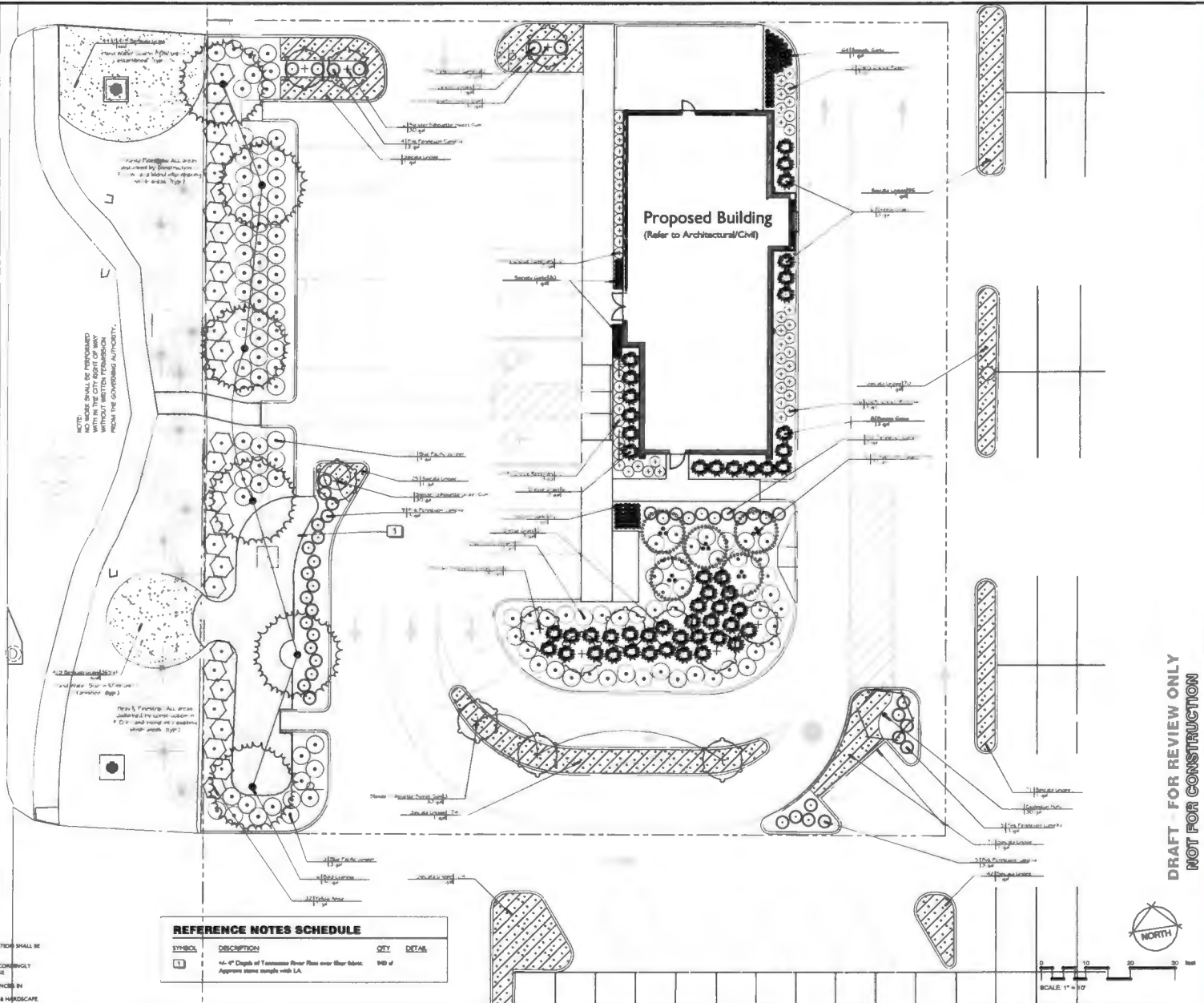


Scenario 03



Scenario 04

GREENO ROAD



NOTES:
NO TREES SHALL BE REMOVED
WITHIN THE CITY RIGHT OF WAY
FROM THE GOVERNMENT AUTHORITY.

Handed Lanes
Hatched Lanes
10' Spacing

SYMBOL	DESCRIPTION	QTY	DETAIL
1	44" Depth of T massonir River Flax over Blue Sphac.	940	

NOTES:
BASE SURVEY PROVIDED BY SE CIVIL, ENGINEERING & SURVEYING
LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE
FIELD VERIFIED.
VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
PLANT COUNTY USE FOR CONFORMANCE ONLY. FIELD VERIFY ACCORDINGLY.
CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN
DIMENSIONS OR FIELD CONDITIONS.
REFER TO ARCH / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

DRAFT FOR REVIEW ONLY
NOT FOR CONSTRUCTION



ESPALEIR
landscape architecture

Esपालier LLC
P.O. Box 1307
Fairhope, Alabama 36533
P: 251-464-3300
esपालierdesign.com

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STARBUCKS

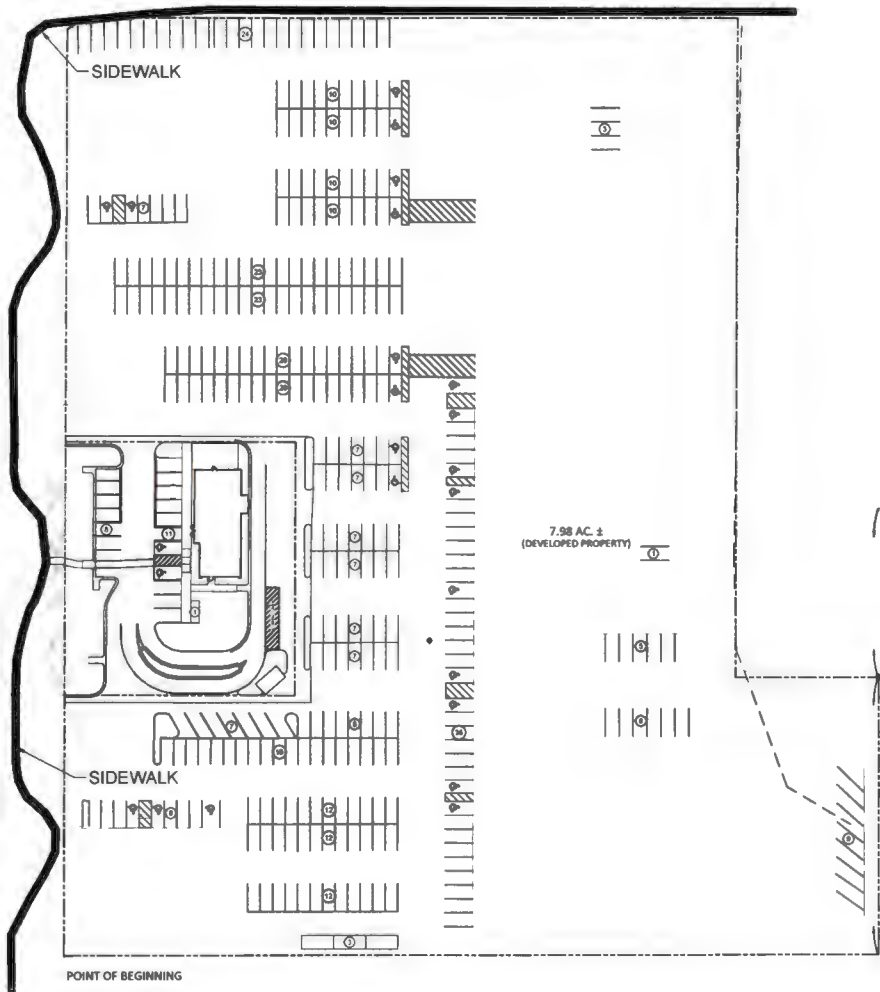
Greeno Road
Fairhope, AL



ISSUED: REVISED
Permitting 1/24/22

LANDSCAPE PLAN

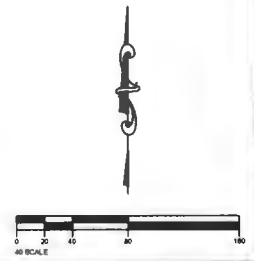
DATE: 1/24/22
SCALE: 1" = 10'
PROJECT: STARBUCKS
SHEET: L-1.1



PARKING ANALYSIS

TOTAL REQUIRED 351 SPACES (FROM PEAK HOUR PARKING ANALYSIS)
 TOTAL PROVIDED 351 SPACES* (INCLUDING 24 ADA ACCESSIBLE SPACES)

IT SHOULD ALSO BE NOTED THAT THE ZONING ORDINANCE ALLOWS FOR SHARED PARKING AND REDUCTIONS IN PARKING IF THE USES HAVE DIFFERENTLY DIFFERENT PEAK HOURS. THIS SITE CURRENTLY HAS RETAIL, SPACIA, DRUGS ETCOMBA, AND RESTAURANT USES. THE RETAIL AND RESTAURANT SPACES DO HAVE DIFFERENT PEAK HOURS. AN OBSERVATION OF THE SITE SHOWS THAT THERE IS AMPLE PARKING THROUGHOUT ANY GIVEN DAY. A FURTHER BREAK DOWN OF PARKING AND PEAK HOURS CAN BE PROVIDED DURING THE ZONING REVIEW OF ANY PROPOSED DEVELOPMENT ON THE LOT IF DESIRED.



RE-STRIPING PLAN

Eastern Shore Shopping Center
 Ocean Blvd (A-1A)
 Panama, Alabama



JOB NO. 20210078 DATE 6/20/23
 DRAWN BY JMB SCALE 1"=40'

88-SHEET
C01

RESOLUTION NO. _____

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, that the City Council hereby approves and authorizes the City of Fairhope to execute a Memorandum of Understanding between the City of Fairhope, on behalf of its Police Department (“Fairhope PD”), the City of Spanish Fort, on behalf of its Police Department (“Spanish Fort PD”) and the Coastal Alabama Community College Police Department (the “Participating Agencies”) for the purpose of receiving and extending services in the form of a unified Special Response Team (SRT) with related services and resources extended to one another when such assistance is requested. The Team will consist of members from Participating Agencies.

ADOPTED ON THIS 12TH DAY OF DECEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

**BALDWIN AREA MUTUAL SPECIAL RESPONSE TEAM
MEMORANDUM OF UNDERSTANDING**

**CITY OF FAIRHOPE POLICE DEPARTMENT
CITY OF SPANISH FORT POLICE DEPARTMENT
AND
COASTAL ALABAMA COMMUNITY COLLEGE POLICE DEPARTMENT**

This Special Response Team (SRT) Memorandum of Understanding (MOU) is entered into by and between the City of Fairhope on behalf of the City of Fairhope Police Department, the City of Spanish Fort on behalf of the City of Spanish Fort Police Department, and the Coastal Alabama Community College Police Department (the "Participating Agencies") for the purpose of receiving and extending services in the form of a Unified SRT Team with related services and resources extended to one another when such assistance is requested. The Team will consist of members from the Participating Agencies.

SECTION I. – AUTHORITY

This MOU is effective as of the date of signature by the Mayor of the respective municipalities or the authorized Chief Law Enforcement Officer of the Participating Agencies and shall remain in effect as between each and every party for a term of three (3) years from the date of full execution, unless the agreement is terminated by any party. The designated representative identified below represents that he/she is duly authorized by his jurisdiction or Participating Agency to enter into this agreement on behalf of the Participating Agency.

SECTION II. – PROVISIONS FOR OPERATIONS ASSISTANCE

The Participating Agencies hereby approve and enter into this MOU whereby each Participating Agency so represented may request and render the Baldwin Area Mutual SRT (BAMSRT) assistance to one another including, but not limited to, a large-scale extraordinary event, a prolonged operation, any operation with expansive dynamics, or when an operation requires providing the BAMSRT with related services and resources to one another.

SECTION III. – REQUEST FOR ASSISTANCE

The Chief of Police and/or his designated representative from each Participating Agency shall have the authority to request or render the BAMSRT any necessary or required assistance. In the event that a Participating Agency requires assistance as set forth above, it shall, through the proper chain of command, notify the BAMSRT commander through each department's dispatch center. In conjunction with the initiating agency, the BAMSRT commanders shall evaluate the situation, assess their available resources and respond accordingly. The BAMSRT commanders will take all steps necessary to ensure that the Chiefs of Police of each Participating Agency are immediately notified upon a BAMSRT activation.

SECTION IV. – COMMAND AND SUPERVISORY RESPONSIBILITY

The BAMSRT will operate under the National Incident Management System and the Incident Command System through the BAMSRT Command except that the Chief of Police or his designated representative from the requesting agency shall have tactical operational command and veto authority over the BAMSRT Commander's recommended tactical actions. Whenever a team member is rendering assistance pursuant to this MOU, the team member shall abide by and be subject to the rules and regulations, personnel policies, general orders and standard operating procedures of his or her own employer. If any such standard is contravened or otherwise in conflict with a direct order of a superior officer of the BAMSRT, such rules and regulations, personnel policies, general orders, or standard operating procedures of his or her own employer shall control.

SECTION V. – USE OF FORCE COMPLAINTS

Whenever the BAMSRT is involved in a use of force or there is cause to believe that a complaint has arisen as a result of a cooperative effort as it may pertain to this MOU, the Participating Agencies will conduct a joint review of the use of force and/or complaint. The BAMSRT commanders or their designated representatives shall be responsible for the documentation of the use of force and/or complaint with a disposition recommendation. A mirror copy of the documentation shall be provided to each Participating Agency for review regarding their own respective policies. Upon review, the Chief of Police, or his designated representative, of any Participating agency may request that additional investigation be conducted jointly by the Participating Agencies. The Participating Agencies Chiefs of Police, or their designated representatives, will conduct a joint evaluation of the overall actions of the BAMSRT after a review of the documentation and/or investigation. In any event, the review of individual actions by any member of the BAMSRT shall be the sole responsibility of the team member's Chief of Police according to his agency's policies and procedures. Each Participating Agency engaging in any assistance pursuant to this MOU agrees to fully cooperate with all such joint investigative efforts.

Should an application of force on behalf of the BAMSRT result in serious injury or death, or a complaint arises as a result of a cooperative effort as it may pertain to this MOU that, if sustained, would be likely to result in serious injury or death, it is agreed by the Participating Agencies that the Baldwin County Major Crimes Unit will be requested to conduct a separate and independent criminal investigation as appropriate.

SECTION VI. – LIABILITY

Each Participating Agency engaging in any assistance pursuant to this MOU agrees to assume responsibility for the acts, omissions, or conduct of each of its SRT Team members or conduct of such Participating Agency's/team's own employees while engaged in rendering such assistance pursuant to this MOU.

SECTION VII. – PROCEDURES & TRAINING

The BAMSRT Team will meet and train a minimum of eight (8) hours per month. All training will be documented. The training schedule will be reviewed and updated as needed but, in any event, at least once per year. The BAMSRT shall operate under the standard operating procedures that govern the team's operational structure, command and tactical procedures. The BAMSRT standard operating procedures shall be approved by the agency heads of the Participating Agencies.

SECTION VIII. – POWERS, PRIVILEGES, IMMUNITIES AND COSTS

The BAMSRT Team members from each Participating Agency, when engaging in assistance outside their normal jurisdictional limits but inside the city limits of the City of Fairhope, the City of Spanish Fort, or Coastal Alabama College Campuses, shall have the same powers, duties, rights, privileges and immunities as if the team member was performing duties inside the member's own city or jurisdiction in which he or she is normally employed.

Each Participating Agency agrees to furnish the necessary personal equipment and resources to their department members assigned to the BAMSRT Team to render services to each Participating Agency; provided however, that no Participating Agency shall be required to unreasonably duplicate its own equipment, resources, facilities and services in furnishing such assistance.

Each Participating Agency that furnishes personal equipment pursuant to this MOU agrees to bear the cost of loss or damage to that equipment and must pay any expenses incurred in the operation and maintenance of that equipment. Nothing herein shall prevent either Participating Agency from lending necessary equipment to the other Participating Agency team member for operational purposes pursuant to this MOU.

The Participating Agency furnishing assistance pursuant to this MOU shall compensate its SRT Team members during the time such assistance is rendered and shall assume the actual travel and maintenance expenses of its members while they are rendering such assistance including, but not limited to, any amounts paid or due for compensation due to personal injury or death while such SRT Team members are engaged in rendering such assistance.

The privileges and immunities from liability, exemption from laws, ordinances and rules, together with all pension, insurance, relief, disability, worker's compensation, salary, death and other benefits that apply to the activity of a SRT Team member of a Participating Agency when performing the member's duties within the territorial limits of the member's agency apply to the employee to the same degree, manner and extent while engaged in the performance of the employee's duties outside the territorial limits of the member's agency under the provisions of this MOU.

Nothing herein shall prevent the requesting agency from requesting supplemental appropriations from entities other than its governing body, reimbursement for itself and the assisting team for any actual costs or expenses incurred by the assisting Participating Agency performing hereunder.

SECTION IX. – TERMINATION

Either Participating Agency may terminate their participation in this MOU upon delivery of written notice to the other Participating Agency. Termination will become effective thirty (30) days from receipt of such notice. Upon termination the Participating Agencies agree to coordinate the prompt return of any loaned equipment to the proper owner.

AGREED TO AND ACKNOWLEDGED on this the _____ day of _____, 2022.

CITY OF FAIRHOPE POLICE DEPARTMENT

By: _____

Printed name: _____

Title: _____

Date: _____

CITY OF SPANISH FORT POLICE DEPARTMENT

By: _____

Printed name: _____

Title: _____

Date: _____

COAST ALABAMA COMMUNITY COLLEGE

By: _____

Printed name: _____

Title: _____

Date: _____

RESOLUTION NO. _____

WHEREAS, on April 11, 2022 the City Council approved and authorized Mayor Sherry Sullivan to execute the Maynard, Cooper & Gale, P.C. Engagement Letter Agreement for the City of Fairhope. Engagement Letter Agreement was executed for a six (6) month period with a not-to-exceed amount of \$54,000.00 via Resolution No. 4432-22.

WHEREAS, the Mayor is desirous to extend this engagement for an additional year from October 2022 to September 2023 with a not-to-exceed amount of \$96,000.00 (retainer fee of \$8,000.00 per month).

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, That the City Council hereby authorizes Mayor Sherry Sullivan to execute a one year extension of the Maynard, Cooper & Gale, P.C. Engagement Letter Agreement for the City of Fairhope. Engagement Letter with Maynard, Cooper & Gale, P.C. from October 2022 to September 2023 with a retainer fee of Eight Thousand Dollars (\$8,000.00) per month; and a not-to-exceed amount of \$96,000.00.

DULY ADOPTED THIS 12TH DAY OF DECEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

City of Fairhope
Project Funding Request

Issuing Date 12/6/2022

Please return this Routing Sheet to Treasurer by: ASAP

Project Name: Authorization to execute and engagement letter for professional government affairs services, including special projects/grants

Project Location: City

Presented to City Council: 12/12/2022

Funding Request Sponsor: Sherry Sullivan, Mayor

Resolution # :
Approved _____

Changed _____

Rejected _____

Project Cash Requirement Requested:
Cost: \$ 96,000.00 (Not-to-Exceed)(\$8,000 mthly)

\$ _____

Vendor: Maynard, Cooper & Gale, P.C.

Project Engineer: n/a

Order Date: n/a

Lead Time: n/a

Department Funding This Project

General Gas Electric Water Wastewater Sanitation Cap Project Impact Gas Tax Fed Grant

Department of General Fund Providing the Funding

Admin-10 Bldg-13 Police-15 Fire-20 ECD-24 Rec-25 Civic-26 Street-35 Meter-19 IT-16
Fleet-46 Golf-50 Golf Grounds-55 Museum-27 NonDeptFac-75 Debt Service-85 Marina-34 Plan/Zone-12 Adult Rec-30

Project will be:

Expensed XXX
Capitalized _____
Inventoried _____

Funding Source:

Operating Expenses XXX
Budgeted Capital _____
Unfunded _____

Expense Code: 001100-50290
G/L Acct Name: Professional Services

Grant: _____ Federal - not to exceed amount
_____ State
_____ City
_____ Local

Project Budgeted: \$ 96,000.00
Balance Sheet Item-
Included in projected
cash flow

Over (Under) budget amount: \$ -

Bond: _____ Title _____ Year _____
Loan: _____ Title _____ Year _____



Capital Lease: _____ Payment _____ Term _____

City Council Prior Approval/Date? _____

Senior Accountant

City Treasurer

Mayor

Purchasing Memo Date: 12/5/2022

Purchasing Memo Date: 12/5/2022

Delivered To Date: 12/5/2022

Request Approved Date: 12/5/2022

Request Approved Date: 12/5/2022

Approved Date: 12/5/2022

Signatures: Aislinn Stone
Aislinn Stone

Signatures: Kim Creech
Kim Creech

Signatures: Sherry Sullivan
Mayor Sherry Sullivan



MEMO

To: Lisa Hanks, City Clerk
Kim Creech, Treasurer



From: Erin Wolfe, Purchasing Manager

Date: December 6, 2022

Re: Authorization to Execute an Engagement Letter with Maynard, Cooper & Gale, P.C.

Sherry Sullivan
Mayor

Council Members:
Kevin G. Boone
Jack Burrell, ACOMO
Jimmy Conyers
Corey Martin
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
Treasurer

The Mayor, Sherry Sullivan, is requesting authorization to execute an Engagement Letter with Maynard, Cooper & Gale, P.C. for professional government affairs services and assistance, as well as assist in special projects and provide strategic consulting advice (from time to time) for the City of Fairhope, Alabama.

The Engagement Letter would be for services from October 2022 to September 2023. There would be a retainer fee of Eight Thousand Dollars (\$8,000.00) per month, with a not-to-exceed amount of Ninety-Six Thousand Dollars (\$96,000.00).

Please compose a Green Sheet and place on the next available City Council Agenda request to authorize the Mayor to execute an Engagement Letter with Maynard, Cooper & Gale, P.C. for a not-to-exceed amount of \$96,000.00 for twelve months.

Cc: file, Sherry Sullivan


61 North Section St.
PO Box 429
Fairhope, AL 36533

251-928-2136 (p)

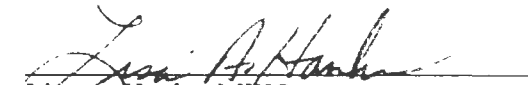
RESOLUTION NO. 4432-22

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, that Mayor Sherry Sullivan is hereby authorized to execute an Engagement Letter with Maynard, Cooper & Gale, P.C. for professional government affairs services and assistance as well as assist in special projects and provide strategic consulting advice (from time to time) for the City of Fairhope, Alabama. This engagement will be for a six month period with a not-to-exceed amount of \$54,000.00.

DULY ADOPTED THIS 11TH DAY OF APRIL, 2022


James Reid Conyers, Jr.,
Council President

Attest:


Lisa A. Hanks, MMC
City Clerk

RESOLUTION NO. _____

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That Mayor Sherry Sullivan is hereby authorized to execute a Contract for Professional Engineering Services for Power Line Conversion along Magnolia Avenue between Bancroft Street and Church Street with Hi-Line Engineering (RFQ PS23-002) with a negotiated not-to-exceed budgeted amount of \$75,000.00.

DULY ADOPTED THIS 12TH DAY OF DECEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

City of Fairhope
Project Funding Request

Issuing Date: 12/2/2022

Please return this Routing Sheet to Treasurer by: ASAP

Project Name: RFQ PS23-002 Professional Engineering Services for Power Line Conversion

Project Location: Magnolia Ave between Bancroft and Church

Presented to City Council: 12/12/2022

Resolution # :
Approved _____

Funding Request Sponsor: Conrad Havranek, Electric Superintendent
Ben Patterson, Licensed Electrician

Changed _____

Rejected _____

Project Cash Requirement Requested:
Cost: \$ 75,000.00 (Not-to-Exceed)

Vendor: Hi-Line Engineering

Project Engineer: n/a

Order Date: n/a Lead Time: n/a

Department Funding This Project

General Gas **Electric** Water Wastewater Sanitation Cap Project Impact Gas Tax Fed Grant

Department of General Fund Providing the Funding

Admin-10 Bldg-13 Police-15 Fire-20 ECD-24 Rec-25 Civic-26 Street-35 Meter-19 IT-16
Fleet-46 Golf-50 Golf Grounds-55 Museum-27 NonDeptFac-75 Debt Services-85 Marina-34 Plan/Zone-12 Adult Rec-30

Project will be:

Expensed _____
Capitalized XXX
Inventoried _____

Funding Source:

Operating Expenses _____
Budgeted Capital XXX
Unfunded _____

Expense Code: 003-59500
G/L Acct Name: Capital System Improvements

Grant: _____ Federal - not to exceed amount
_____ State
_____ City
_____ Local

Project Budgeted: \$ 75,000.00
Balance Sheet item-
Included in projected
cash flow

Over (Under) budget amount: \$ _____

Bond: _____ Title _____ Year _____
Loan: _____ Title _____ Year _____

Capital Lease: _____ Payment _____ Term _____

City Council Prior Approval/Date? _____

Senior Accountant

City Treasurer

Mayor

Purchasing Memo Date: 12/2/2022

Purchasing Memo Date: 12/2/2022

Delivered To Date: 12/2/2022

Request Approved Date: 12/2/2022

Request Approved Date: 12/2/2022

Approved Date: 12/2/2022

Signatures: Aislinn Stone
Aislinn Stone

Signatures: Kim Creech
Kim Creech

Signatures: Sherry Sullivan
Mayor Sherry Sullivan



MEMO

To: Lisa A Hanks, MMC, City Clerk
Kimberly Creech, City Treasurer

From: Erin Wolfe, Purchasing Manager

Date: December 2, 2022

Sherry Sullivan
Mayor

Council Members
Kevin G. Boone
Jack Burrell
Jimmy Conyers
Corey Martin
Jay Robinson, ACO

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Re: Approval of negotiated fees for budgeted professional services for RFQ PS23-002 Professional Engineering Services for Power Line Conversion along Magnolia Avenue between Bancroft Street and Church Street

The Superintendent of the Electric Department, Conrad Havranek, is requesting the hiring of a professional engineer for RFQ PS23-002 Professional Engineering Services for the Power Line Conversion along Magnolia Avenue between Bancroft Street and Church Street

Mayor Sullivan has selected Hi-Line Engineering for this project. The estimated fee schedule is listed below.

Officers and Principals:

Kevin J. Mara \$260.00
Matthew S. Pamperin \$225.00
Braxton Underwood \$225.00

Executive Consultant: \$158.00
Managing Director/Executive Engineer: \$235.00
Senior Project Manager: \$205.00
Project Manager: \$175.00
Project Engineer: \$160.00
Engineer/Analyst: \$142.00
Staking Technician: \$115.00
Field Technician: \$99.00
Drafter/Engineering Assistant: \$85.00

161 North Section Street
PO Drawer 429
Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax
www.fairhopeal.gov

Please place on the next available City Council Agenda this request for approval of negotiated not-to-exceed amount of \$75,000.00 for this project and allow the Mayor to execute a contract.

Enclosure

Cc: file; Conrad Havranek, Ben Patterson

GDS ASSOCIATES, INC.
FEE SCHEDULE
EFFECTIVE JANUARY 1, 2022 – DECEMBER 31, 2022

PERSONNEL HI-LINE STANDARD
CATEGORY/NAME BILLING RATES

1. Client shall compensate GDS Associates for the Services of the following named individuals and for all other individuals by personnel category in connection with each Project Assignment as follows:

OFFICERS AND PRINCIPALS

1. KEVIN J. MARA	\$260.00
2. MATTHEW S. PAMPERIN	\$225.00
3. BRAXTON UNDERWOOD	\$225.00

EXECUTIVE CONSULTANT

4. W. RICHARD LOVELACE	\$158.00
------------------------	----------

MANAGING DIRECTOR/EXECUTIVE ENGINEER

5. ROBERT C. DEW	\$235.00
------------------	----------

SENIOR PROJECT MANAGER

6. JASON C. SETTLE	\$205.00
--------------------	----------

PROJECT MANAGER

7. PROJECT MANAGER	\$175.00
--------------------	----------

PROJECT ENGINEER

8. PROJECT ENGINEER	\$160.00
---------------------	----------

ENGINEER/ANALYST

9. ENGINEER/ANALYST	\$142.00
---------------------	----------

STAKING TECHNICIAN

10. STAKING TECHNICIAN	\$115.00
------------------------	----------

FIELD TECHNICIAN

11. FIELD TECHNICIAN	\$88.00
----------------------	---------

DRAFTER/ENGINEERING ASSISTANT

12. DRAFTER/ENGINEERING ASSISTANT	\$85.00
-----------------------------------	---------

2. Client shall compensate GDS Associates for:

a. The actual costs of all subsistence expenses paid to, or on behalf of employees of GDS Associates in connection with each Project Assignment, including

**GDS ASSOCIATES, INC.
FEE SCHEDULE
EFFECTIVE JANUARY 1, 2022 – DECEMBER 31, 2022**

**PERSONNEL
CATEGORY/NAME**

**HI-LINE STANDARD
BILLING RATES**

- without limitation, reasonable travel and transportation costs, meals and lodging, incidentals, and telephone and other communication expenses;
- b. The standard charges in connection with each Project Assignment associated with GDS Associates' use of computers and other specialized equipment, and the standard charges associated with the development and use of computer programs;
 - c. The standard charges for telephone and other communications expenses, reproduction and binding expenses, and postage and special shipping charges;
 - d. The costs billed to GDS Associates by consultants or other individuals in connection with each Project Assignment increased by an amount equal to twelve and two-tenths percent (12.2%); and
 - e. All costs incurred for services provided by others for data processing or for use of special equipment increased by an amount equal to ten percent (10%) thereof.
3. Client understands that Services may include the time spent by GDS personnel traveling to and from locations as required by, and in connection with, Project Assignments.
 4. Client understands and agrees that the provisions of this Attachment shall be amended to include additional compensation in the event Client requests GDS Associates to provide Services in connection with: (i) the preparation of any issuance of securities or (ii) a Project Assignment a substantial part of which involves the checking of work by one other than GDS Associates which such work is to form the basis of an opinion or conclusion of GDS Associates. The parties hereto further understand and agree that should Client and GDS Associates be unable to agree upon such amended fee arrangement, this Agreement and any obligations hereunder shall terminate with respect to such request for said Services upon written notice by either party to the other.
 5. GDS Associates shall submit statements to Client for all charges and services rendered by GDS Associates and for costs incurred by GDS Associates as provided in this Fee Schedule for all work performed pursuant to written contracts with Client or for work otherwise performed at the request of Client or its representative. Client agrees to pay promptly to GDS Associates all amounts stated on each such statement that are not in excess of any not to exceed limit specifically stated in a written contract governing the provision of the services rendered. If payment is not received by GDS Associates within thirty (30) days

GDS ASSOCIATES, INC.
FEE SCHEDULE
EFFECTIVE JANUARY 1, 2022 – DECEMBER 31, 2022

PERSONNEL
CATEGORY/NAME

HI-LINE STANDARD
BILLING RATES

after GDS Associates' delivery of such statement to Client by U.S. Mail or otherwise, the amounts due GDS Associates may include a monthly charge equal to the higher of: (a) the prime rate plus one percent (1%) divided by twelve (12); or (b) an amount equal to eighteen percent (18%) annually, one and one-half percent (1-1/2%) monthly. Such monthly charge shall accrue on all amounts due from said thirtieth (30th) day through the date on which such statement is paid in full; provided, however, that in no event shall such charge exceed the maximum legal rate allowable by law. Client understands and agrees that in the event of non-payment, GDS Associates may, after giving written notice to Client, suspend Services under this Agreement. The failure of GDS Associates to impose any such charges or suspend any services for any period of time shall not constitute a waiver of GDS Associates' right to do so at any future date.

In the event Client fails to pay GDS Associates all amounts which become due under this Agreement, or fails to perform any of its obligations hereunder, and GDS Associates refers such matter to an attorney, Client agrees to pay, in addition to any amounts due hereunder, any and all costs incurred by GDS Associates as a result of such action, including reasonable attorney's fees.

- 6. The parties hereto understand and agree that this Fee Schedule is effective for the calendar year indicated above and that it may, by written notice to the Client, be adjusted annually by GDS Associates to equal the then prevailing fee schedule ("Prevailing Fee Schedule"). The Prevailing Fee Schedule shall be defined as that fee schedule which GDS Associates would charge new clients. The parties hereto further understand and agree that the initial adjustment hereunder to the above-stated hourly rates shall not occur within six (6) months of the effective date hereof.

Accepted by Client:

For GDS Associates, Inc.

Company Name

By: _____

By: _____

Name: _____

Name: _____

Title: _____

Title: _____

GDS ASSOCIATES, INC.
FEE SCHEDULE
EFFECTIVE JANUARY 1, 2022 – DECEMBER 31, 2022

PERSONNEL
CATEGORY/NAME

HI-LINE STANDARD
BILLING RATES

Date: _____

Date: _____

RESOLUTION NO. _____

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope did request, receive, and open bids to procure services for (Bid No. 23-004-2023-PWI-007) Metal Building 50 x 100 x 18 Truck Shed for the Electric Department at 555 South Section Street in the City of Fairhope offices, Fairhope, Alabama.

[2] At the appointed time and place, bids were received and tabulated as follows:

Please see attached Bid Tabulation for
Metal Building (50x100x18) Truck Shed

[3] At the appointed time and place; after evaluating the bids with the required specifications, Southern Steel Structures is now awarded (Bid No. 23-004-2023-PWI-007) Metal Building (50x100x18) Truck Shed with a total bid proposal budgeted not-to-exceed \$102,659.00.

ADOPTED ON THIS 12TH DAY OF DECEMBER, 2022

Jay Robinson
Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

City of Fairhope
Project Funding Request

Issuing Date: 12/1/2022

Please return this Routing Sheet to Treasurer by: ASAP

Project Name: Award Bid No. 23-004-2023-PWI-007 Metal Building (50x100x18) Truck Shed for Electric Dept

Project Location: 19121 South Young St

Presented to City Council: 12/12/2022

Funding Request Sponsor: Richard Johnson, Public Works Director
Conrad Havranek, Electric Superintendent

Resolution # :
Approved _____
Changed _____
Rejected _____

Project Cash Requirement Requested:
Cost: \$ 102,659.00

Vendor: Southern Steel Structures

Project Engineer: n/a

Order Date: n/a

Lead Time: n/a

DEC 2 '22 #1154 JAW

Department Funding This Project

General Gas Electric Water Sewer Sanitation Cap Project Impact Gas Tax Fed Grant

Department of General Fund Providing the Funding

Admin-10 Bldg-13 Police-15 Fire-20 ECD-24 Rec-25 Civic-26 Street-35 Meter-19 IT-16
Fleet-46 Golf-50 Golf Grounds-55 Museum-27 NonDept/Fac-75 Debt Service-85 Manna-34 Plan/Zone-12 Adult Rec-30

Project will be:

Expensed _____
Capitalized XXX
Inventoried _____

Funding Source:

Operating Expenses _____
Budgeted Capital XXX
Unfunded _____

Expense Code: 003-50475
G/L Acct Name: Capital Improvements

Grant: _____ Federal - not to exceed amount
State
City
Local

Project Budgeted: \$ 155,000.00
Balance Sheet Item-
Included in projected
cash flow

Over (Under) budget amount: \$ (52,341.00)

Bond: _____ Title _____ Year _____
Loan: _____ Title _____ Year _____

Comments:

[Empty box for comments]

Capital Lease: _____ - Payment _____ Term _____

City Council Prior Approval/Date? _____

Senior Accountant

City Treasurer

Mayor

Purchasing Memo Date: 11/30/2022

Purchasing Memo Date: 11/30/2022

Delivered To Date: 12/1/2022

Request Approved Date: 12/1/2022

Request Approved Date: 12/1/2022

Approved Date: 12/1/2022

Signatures:

Aislinn Stone
Aislinn Stone

Kim Creech
Kim Creech

Sherry Sullivan
Mayor Sherry Sullivan



MEMO

To: Aislinn Stone, Senior Accountant
Kimberly Creech, City Treasurer

From: _____
Erin Wolfe, Purchasing Manager

Sherry Sullivan
Mayor

Date: November 30, 2022

Council Members:
Kevin G. Boone
Robert A. Brown
Jack Burrell
Jimmy Conyers
Jay Robinson, ACOMO

Re: **Requesting Green Sheet and Approval by City Council to award Bid No. 23-004-2023-PWI-007 Metal Building – 50' x 100' x 18' Truck Shed for City of Fairhope – Electric Utility**

Lisa A. Hanks, MMC
City Clerk

The Director of Public Works, Richard Johnson, and the Superintendent of the Electric Department, Conrad Havranek, have requested to procure and install a truck shed for the Electric Utility Department, north of the Twin Beech Substation at 19121 South Young Street, Fairhope, AL 36532.

Kimberly Creech
City Treasurer

A service bid was issued on October 28, 2022, posted to the City of Fairhope's website, and viewed by 115 of 368 vendors who select to receive e-notifications. Six (6) responsive bids were received at the bid opening on November 17, 2022 at 10:00 a.m.

The Director of Public Works recommends the award be made to **Southern Steel Structures**. The bid response price was Ninety Thousand Seven Hundred Forty-Four Dollars (\$90,744.00) for the Lump Sum Cost of the 50' x 100' x 18' metal building installed on a foundation provided by the City, and Eleven Thousand Nine Hundred Fifteen Dollars (\$11,915.00) for the Additive Alternative of girts and wall panels to enclose the rear and sides of the building. The total recommended bid award price is in the amount of **One Hundred Two Thousand Six Hundred Fifty-Nine Dollars (\$102,659.00)**.

Please prepare a Green Sheet and place on the next City Council Agenda this request to award Bid No. 23-004-2023-PWI-007 Metal Building – 50' x 100' x 18' Truck Shed for City of Fairhope – Electric Utility for \$102,659.00.

161 North Section St.
PO Drawer 429
Fairhope, AL 36533

Enclosure

251-928-2136 (p)
251-928-6776 (f)
www.fairhopeal.gov

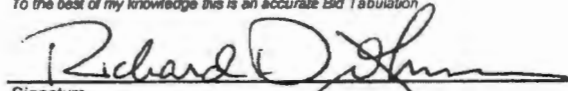
Cc: Richard Johnson, Conrad Havranek, Clint Steadham

City of Fairhope Bid Tabulation
 Bid No. 23-004-2023-PWI-007 Metal Building - 50' x 100' x 18' Truck Shed for City of Fairhope - Electric Utility
 Opened November 17, 2022 at 10:00 A.M.

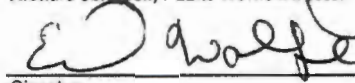
Vendor	Bid Documents Signed / Notarized (Y/N)	Vendor Compliance (Y/N)	Addendum 1 Acknowledged (Y/N)	Lump Sum Cost	Additive Alternative Total	Total
Covington Contracting, Inc.	Y	Y	Y	\$122,580.00	\$42,957.00	\$165,537.00
Tesecon	Y	Y	Y	\$113,053.00	\$44,953.00	\$158,006.00
Greer Building Contractors	Y	N	N	\$124,132.00	\$37,713.00	\$161,845.00
Southern Steel Structures	Y	Y	Y	\$90,744.00	\$11,915.00	\$102,659.00
BCM Moring Co., Inc.	N	N	Y	\$135,565.00	\$10,250.00	\$145,815.00
RE Johnson General Contractor	Y	Y	Y	\$121,800.00	\$11,225.00	\$133,025.00

Recommendation:

To the best of my knowledge this is an accurate Bid Tabulation



Signature
 Richard Johnson, Public Works Director



Signature
 Erin Wolfe, Purchasing Manager

**ITEM III
BID RESPONSE FORM**

Date: 11 / 16 / 22

Bid No: **23-004-2023-PWI-007**
Metal Building – 50'x100'x18' Truck Shed for City of Fairhope – Electric Utility

Bids Due: **Thursday, November 17, 2022, 10:00 A.M.**

Description	Lump Sum Cost
One 50'x100'x18' pre-engineered metal building, installed on a foundation to be provided by City, per specifications provided by the winning bidder	\$ 90,744.00
Additive Alternative	
Girts and wall panels to enclose rear and sides of 50'x100' truck shed (Up charge amount from base bid) *	ADD \$ 11,915.00
Vendor Shall Provide Metal Building Specifications with Bid Submittal	

*ADD ALL SPECIFICATIONS: Connection clips (min. 14 ga), All secondary framing (wall girts, min. 16 ga), base girts or 26 ga exposed fastener wall sheeting (std. colors) bolts, fasteners, and trim required to enclose 10'x100' wall and panels. Bid will include all labor, materials, equipment, shipping and postage, overhead, profit, bonds, insurance and all other costs necessary to provide the complete services outlined within this CONTRACT and scope of work.

Receipt of the following Addenda to these documents is hereby acknowledged by the undersigned (CONTRACTOR to complete below):

ADDENDUM NO.	DATE ISSUED	ADDENDUM NO.	DATE ISSUED
<u>1</u>	<u>11/2/22</u>		

Each bid must give the full business address of the CONTRACTOR and must be signed by him with his usual signature. Bids by partnerships must furnish the full names of all partners and must be signed with the partnership name by one of the members of the partnership, or by an authorized representative, followed by the signature and designation of the person signing. Bids by corporations must be signed with the legal name of the corporation followed by the name of the State of Incorporation and by the signature and designation of the president, secretary, or other person authorized to bind it in the matter. The name of each person shall also be typed or printed below the signature. A bid by a person who affixes to this signature the word "president," "secretary," "agent," or other designation without disclosing his principal, may be held to be the bid of the individual signing. When requested by the City of Fairhope, Baldwin County, Alabama, satisfactory evidence of the authority of the officer signing in behalf of the corporation shall be furnished.

The undersigned agrees to furnish the goods/services as requested by you for the City of Fairhope, Baldwin County, Alabama in your invitation to bid, and certifies that they will meet or exceed the specifications called for. The undersigned has read all information pertaining to this bid and has resolved all questions. It is also understood and agreed that all prices quoted are F.O.B. described in the bid documents and specifications. The undersigned also affirms he/she has not been in any CONTRACT or collusion among BIDDERS or prospective BIDDERS in restraint of freedom of competition, by CONTRACT to bid at a fixed price or to refrain from bidding or otherwise. Witness our hands and seals this 16th day of November, 2022.

If Individual or Partnership

(Name of Individual or Partnership) (Name of Partner Print)

(Name of Representative Authorized to sign Bids and CONTRACTs for the firm Print) (Name of Partner Print)

Address _____

Phone Number () _____ Fax Number () _____
E-mail address _____ Alabama Contractor's License No. _____

Foreign Entity ID (if outside of Alabama) _____

If Corporation or LLC

Company MAD DASH INC D/B/A/ SOUTHERN STEEL STRUCTURES

State of Incorporation ALABAMA

Company Representative LINDA CORNELIUS SANSOM, PRES
(Representative Authorized to sign Bids and CONTRACTs for the firm Print)

Company Representative _____
(Representative Authorized to sign Bids and CONTRACTs for the firm Signature)

Address 106 SANDY SHOAL LOOP
FAIRHOPE, AL 36532

Phone Number (251) 402-7318 Fax Number () _____

E-mail address STEELBLDGLADY@AOL.COM AL Contractor's License No. 38860

Foreign Vendor Id _____

BID PROPOSAL NOTARIZATION:

STATE OF Alabama
COUNTY OF Baldwin

Linda Cornelius, Secretary

I, the undersigned authority in and for said State and County, hereby certify that Linda Cornelius, as President respectively, of Mad Dash, Inc d/b/a Southern Steel Structures, whose name is signed to the foregoing document and who is known to me, acknowledged before me on this day, that, being informed of the contents of the document they executed the same voluntarily on the day the same bears date.

Given under my hand and Notary Seal on this 17th day of November, 2022

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____



**ITEM IV
CONTRACTOR INFORMATION**

This Section must be printed, completed, and turned in with your bid response to

Bid No. 23-004-2023-PWI-007

Metal Building – 50'x100'x18' Truck Shed for City of Fairhope – Electric Utility

Business Organization

Name of CONTRACTOR (exactly as it appears on W-9):

MAD DASH INC

Doing-Business-As Name of CONTRACTOR:

SOUTHERN STEEL STRUCTURES

Principal Office Address:

**2210 MAIN STREET, STE G
DAPHNE, AL 36526**

LOCAL Telephone Number: 251-625-3333 Toll- Free _____

LOCAL Fax Number: _____

Email address: STEELBLDGLADY@AOL.COM

Website: _____

Form of Business Entity [check one ("X")]

Corporation X

Partnership _____

Individual _____

Joint Venture _____

Other (describe): _____

Corporation Statement

If a corporation, answer the following:

Date of incorporation: 03/2016

Location of incorporation: MOBILE, AL

The corporation is held: Publicly X

Privately _____

Partnership Statement

If a partnership, answer the following:

Date of organization: _____

Location of organization: _____

The partnership is: General _____

Limited _____

Joint Venture Statement

If a Joint Venture, answer the following:

Date of organization: _____

Location of organization: _____

JV CONTRACT recorded? Yes _____ No _____

Contact: LINDA CORNELIUS SANSOM Email STEELBLDGLADY@AOL.COM

Phone 251-402-7318 Fax _____

END OF CONTRACTOR INFORMATION SECTION

SEALED BID

BID NUMBER 23-004-2023-PWI-007

METAL BLDG – 50' X 100' X 18' TRUCK SHED

CITY OF FAIRHOPE-PUBLIC UTILITIES

555 SOUTH SECTION ST

FAIRHOPE, AL 36532

9:30 11/17
NN

BIDDER:

SOUTHERN STEEL STRUCTURES

2210 MAIN STREET, STE G

DAPHNE, AL 36526

RESOLUTION NO. _____

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope did request, receive, and open bids to procure services for (Bid No. 23-006) to Install New Bay Doors at Fire Station 3 located at Fairhope Airport for the Fire Department at 555 South Section Street in the City of Fairhope offices, Fairhope, Alabama.

[2] At the appointed time and place, bids were received and tabulated as follows:

Please see attached Bid Tabulation to
Install New Bay Doors at Fire Station 3

[3] At the appointed time and place; after evaluating the bids with the required specifications, Bailey Door, Inc. is now awarded (Bid No. 23-006) to Install New Bay Doors at Fire Station 3 with a total bid proposal budgeted not-to-exceed \$58,378.00.

ADOPTED ON THIS 12TH DAY OF DECEMBER, 2022

Jay Robinson
Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

City of Fairhope
Project Funding Request

Issuing Date: 12/2/2022

Please return this Routing Sheet to Treasurer by: ASAP

Project Name: Award Bid No. 23-006 Procure and install new bay doors at Fire Station 3

Project Location: Fire Station 3

Presented to City Council: 12/12/2022

Resolution #: 01-02-22 243:54 JAW
Approved _____
Changed _____
Rejected _____

Funding Request Sponsor: John Saraceno, Fire Maintenance Supervisor

Project Cash Requirement Requested:
Cost: \$ 58,378.00

Vendor: Bailey Door, Inc

Project Engineer: n/a

Order Date: n/a Lead Time: n/a

Department Funding This Project

General Gas Electric Water Wastewater Sanitation Cap Project Impact Gas Tax Fed Grant

Department of General Fund Providing the Funding

Admin-10 Bldg-13 Police-15 Fire-20 ECD-24 Rec-25 Civic-26 Street-35 Meter-19 IT-16
Fleet-46 Golf-50 Golf Grounds-55 Museum-27 NonDeptFac-75 Debt Service-85 Marine-34 Plan/Zone-12 Adult Rec-30

Project will be:

Expensed
Capitalized XXX
Inventoried

Funding Source:

Operating Expenses
Budgeted Capital XXX
Unfunded

Expense Code: 001200-50475
G/L Acct Name: Capital Improvements

Grant: _____ Federal - not to exceed amount
_____ State
_____ City
_____ Local

Project Budgeted: \$ 60,000.00
Balance Sheet Item-
Included in projected
cash flow

Over (Under) budget amount: \$ (1,822.00)

Bond: _____ Title _____ Year _____
Loan: _____ Title _____ Year _____

Capital Lease: _____ Payment _____ Term _____

City Council Prior Approval/Date? _____

Senior Accountant

City Treasurer

Mayor

Purchasing Memo Date: 12/1/2022

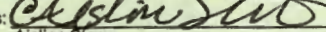
Purchasing Memo Date: 12/1/2022


Delivered To Date: 12/2/2022

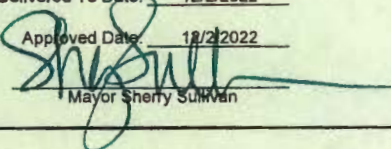
Request Approved Date: 12/2/2022

Request Approved Date: 12/2/2022

Approved Date: 12/2/2022

Signatures: 
Aislinn Stone


Kim Creech


Mayor Sherry Sullivan



MEMO

To: Aislinn Stone, Senior Accountant
Kimberly Creech, City Treasurer

From: _____
Erin Wolfe, Purchasing Manager

Sherry Sullivan
Mayor

Council Members:
Kevin G. Boone
Robert A. Brown
Jack Burrell, ACOMO
Jimmy Conyers
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Date: December 1, 2022

Re: **Requesting Green Sheet and Approval by City Council to award Bid No. 23-006 Bay Doors for Fire Station 3**

The Fire Maintenance Supervisor, John Saraceno has requested to procure and install new bay doors for Fire Station No. 3, located at Fairhope Airport.

Bid No. 23-006 Bay Doors for Fire Station 3 was issued on November 6, 2022, posted to the City website, and viewed by 134 of 370 vendors who select to receive e-notifications. One (1) responsive bid was received at the bid opening on November 29, 2022 at 2:00 p.m.

The Fire Maintenance Supervisor recommends the award be made Bailey Door, Inc. The bid response was a lump sum cost for four (4) doors of Thirty-Eight Thousand Nine Hundred Sixty-Four Dollars (\$38,964.00). Also included was an additive alternate of two (2) doors for Nine Thousand Seven Hundred Seven Dollars (\$9,707.00) each. The total price is Fifty-Eight Thousand Three Hundred Seventy-Eight Dollars (\$58,378.00).

Please prepare a Green Sheet and place on the next City Council Agenda this request to award Bid No. 23-006 Bay Doors for Fire Station 3 for \$58,378.00.

Enclosure

Cc: John Saraceno, Clint Steadham

161 North Section St.
PO Drawer 429
Fairhope, AL 36533

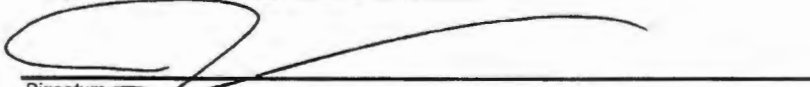
251-928-2136 (p)
251-928-6776 (f)
www.fairhopeal.gov

City of Fairhope Bid Tabulation
 Bid No. 23-006 Bay Doors for Fire Station 3
 Opened November 29, 2022 at 2:00 P.M.

Vendor	Bid Documents Signed / Notarized (Y/N)	Vendor Compliance (Y/N)	Lump Sum Cost	Cost Per Door	Total (With 2 Additional Doors)
Bailey Door, Inc.	Y	Y	\$38,964.00	\$9,707.00	\$58,378.00

Recommendation:

To the best of my knowledge this is an accurate Bid Tabulation



 Signature
 John Saraceno, Fire Maintenance Supervisor

 Signature
 Erin Wolfe, Purchasing Manager

**ITEM III
BID RESPONSE FORM**

Date: 11 / 26 / 2022

Bid No: 23-006
Bay Doors for Fire Station 3

Bids Due: Tuesday, November 29, 2022, 2:00 P.M.

Description	Lump Sum Cost
Provide and Install Four (4) Bay Doors	\$ 38,964.00
Additive Alternative	Cost Per Door
Provide and Install Two (2) Bay Doors	\$ 9,707.00
Vendor Shall Provide Door Specifications with Bid Submittal	Attached. Bid per spec.

Bid will include all labor, materials, equipment, shipping and postage, overhead, profit, bonds, insurance and all other costs necessary to provide the complete services outlined within this CONTRACT and scope of work.

Receipt of the following Addenda to these documents is hereby acknowledged by the undersigned (CONTRACTOR to complete below):

ADDENDUM NO.	DATE ISSUED	ADDENDUM NO.	DATE ISSUED
_____	_____	_____	_____
_____	_____	_____	_____

Each bid must give the full business address of the CONTRACTOR and must be signed by him with his usual signature. Bids by partnerships must furnish the full names of all partners and must be signed with the partnership name by one of the members of the partnership, or by an authorized representative, followed by the signature and designation of the person signing. Bids by corporations must be signed with the legal name of the corporation followed by the name of the State of Incorporation and by the signature and designation of the president, secretary, or other person authorized to bind it in the matter. The name of each person shall also be typed or printed below the signature. A bid by a person who affixes to this signature the word "president," "secretary," "agent," or other designation without disclosing his principal, may be held to be the bid of the individual signing. When requested by the City of Fairhope, Baldwin County, Alabama, satisfactory evidence of the authority of the officer signing in behalf of the corporation shall be furnished.

The undersigned agrees to furnish the goods/services as requested by you for the City of Fairhope, Baldwin County, Alabama in your invitation to bid, and certifies that they will meet or exceed the specifications called for. The undersigned has read all information pertaining to this bid and has resolved all questions. It is also understood and agreed that all prices quoted are F.O.B. described in the bid documents and specifications. The undersigned also affirms he/she has not been in any CONTRACT or collusion among BIDDERS or prospective BIDDERS in restraint of freedom of competition, by CONTRACT to bid at a fixed price or to refrain from bidding or otherwise. Witness our hands and seals this 15th day of November, 2022.

If Individual or Partnership

(Name of Individual or Partnership)

(Name of Partner Print)

(Name of Representative Authorized to sign Bids and CONTRACTs for the firm Print)

(Name of Partner Print)

Address _____

Phone Number () _____

Fax Number () _____

E-mail address _____

Alabama Contractor's License No. _____

Foreign Entity ID (if outside of Alabama) _____

If Corporation or LLC

Company Bailey Door

State of Incorporation Alabama

Company Representative Samuel Bailey

(Representative Authorized to sign Bids and CONTRACTs for the firm Print)

Company Representative [Signature]

(Representative Authorized to sign Bids and CONTRACTs for the firm Signature)

Address 16490 Pine Grove RD Ext E

Bay Minette, AL 36507

Phone Number (251) 937-0546

Fax Number(251) _____

E-mail address baileydoorinc@gmail.com

AL Contractor's License No. 3-41438

Foreign Vendor Id _____

BID PROPOSAL NOTARIZATION:

STATE OF Alabama ,

COUNTY OF Baldwin ,

I, the undersigned authority in and for said State and County, hereby certify that Samuel Bailey as President respectively, of Bailey Door whose name is signed to the foregoing document and who is known to me, acknowledged before me on this day, that, being informed of the contents of the document they executed the same voluntarily on the day the same bears date.

Given under my hand and Notary Seal on this 15th day of November, 2022.

NOTARY PUBLIC

Stephanie Gail Pawast

MY COMMISSION EXPIRES 8/18/2024

ITEM IV
CONTRACTOR INFORMATION

This Section must be printed, completed, and turned in with your bid response to

Bid No. 23-006
Bay Doors for Fire Station 3

Business Organization

Name of CONTRACTOR (exactly as it appears on W-9): Bailey Door, Inc

Doing-Business-As Name of CONTRACTOR: _____

Principal Office Address: _____

16490 Pine Grove RD Ext E
Bay Minette, AL 36507

LOCAL Telephone Number: 251-937-0546 Toll- Free _____

LOCAL Fax Number: _____

Email address: _____

Bailey Door Inc@gmail.com

Website: _____

Form of Business Entity [check one ("X")]

Corporation

Partnership

Individual

Joint Venture

Other (describe): _____

Corporation Statement

If a corporation, answer the following:

Date of incorporation: May 2005

Location of incorporation: Alabama (Baldwin County)

The corporation is held: Publicly

Privately

Partnership Statement

If a partnership, answer the following:

Date of organization: _____

Location of organization: _____

The partnership is: General

Limited

Joint Venture Statement

If a Joint Venture, answer the following:

Date of organization: _____

Location of organization: _____

JV CONTRACT recorded? Yes No

Contact: Sam Bailey (President)

Email Bailey Door Inc@gmail.com

Phone 251-937-0546

Fax _____

END OF CONTRACTOR INFORMATION SECTION

STATE OF ALABAMA

BID LIMIT:

AMOUNT:



LICENSE NO.: S- 41438

TYPE: RENEWAL

State Licensing Board for General Contractors

THIS IS TO CERTIFY THAT

BAILEY DOOR INC

BAY MINETTE, AL 36507

is hereby licensed a General Contractor in the State of Alabama and is authorized to perform the following type(s) of work:

SUBCONTRACTOR: DOORS, OVERHEAD DOORS

until **November 30, 2023** when this Certificate expires.

Witness our hands and seal of the Board, dated Montgomery, Ala.,

18th day of November, 2022

190194

Michael B. Tew

SECRETARY-TREASURER

Robert A. Corbett

CHAIRMAN

**ITEM II
SCOPE OF WORK**

**Bid Number 23-006
Bay Doors for Fire Station 3**

The City of Fairhope is requesting responses from qualified contractors to provide all labor, materials, and equipment to furnish and install four (4) minor-ribbed steel, thermally-broken, polyurethane insulated, motor operated doors at City of Fairhope Fire Station 3. The bid also includes pricing option for two (2) additional doors of the same specifications.

SCOPE OF WORK AND SPECIFICATIONS

1. GENERAL SCOPE

1.0 The Awarded Vendor to provide the following per Specifications:

1.1 The City of Fairhope is requesting responses from qualified contractors to provide all labor, materials, and equipment to furnish and install four (4) minor-ribbed steel, thermally-broken, polyurethane insulated, motor operated doors at City of Fairhope Fire Station 3. The bid also includes pricing option for two (2) additional doors of the same specifications.

2. SPECIFICATIONS

2.1 The overhead doors shall be of commercial design and shall be complete with all of the necessary accessories as shown and described herein. Accessories not specifically mentioned, but necessary to furnish a complete unit ready for use shall also be included. All equipment shall be new and of current production of national firms that manufacture overhead doors and the specified accessories. The Awarded Bidder shall provide the overhead doors as complete and coordinate systems.

2.2 **WARRANTY:** The Awarded Bidder shall provide written warranty for all parts and labor for a period of one (1) year commencing from the date of written acceptance of delivery/installation by City of Fairhope. Manufacturer's warranties must align with those contained herein. Award Bidder shall provide written copies of all other applicable warranties. Those warranties shall be in addition to the Awarded Bidder Warranty, and the terms of which shall not be altered by the Awarded Bidder's Warranty.

3. TECHNICAL SPECIFICATIONS

3.1 Four (4) Clopay motor operated, minor ribbed steel, thermal-broken, polyurethane insulated doors.

Model: 3729 (or equivalent)

Panels: Foamed in place polyurethane core construction between exterior and interior steel skins.

Steel Skins: Formed from roll formed commercial or drawing quality steel sheet, hot-dip galvanized per ASTM A924/A 924M and ASTM A 653/A 653M, pre-painted with primer and baked-on polyester topcoats; sections formed to create weather tight tongue-in-groove meeting joint.

Reinforcing: Galvanized and primed steel reinforcement located under each hinge location, pre-punched for hinge attachment.

Handle: High impact polymer step plate/lift handle on bottom panel section.

Wind Performance Requirements: Design doors to withstand positive and negative wind loads as calculated in accordance with 2012 International Building Code.

Design Wind Load: 140 MPH

Safety Factor: 1.5 times design wind load

Maximum Door Size: 20 feet, 2 inches (6.2 meters) wide by 18 feet (5.5 meters) high

Overall Panel Thickness: 2 inches (51 mm)

- Steel Skin Thickness:** Minimum 27-gauge 0.016-inch (0.40 mm) exterior; minimum 28-gauge 0.015-inch (0.38mm) interior.
- End Stiles:** Galvanized steel end stiles, engineered for easy hardware attachment through pre-punched holes. Minimum 18-gauge, 0.045-inch (1.14 mm) thick for single end hinge style and 16-gauge 0.056-inch (1.42 mm) minimum for double end hinge style.
- Astragal:** U-shaped flexible PVS in retainer of full-length 0.0555 inch (1.4 mm) rigid PVC.
- Thermal Resistance (R-Value):** 18.4-degree F r sq ft/BTU (3.0 (K sq m/W); Calculated door section R-Value in accordance with DASMA TDS-163.
- Windows:** One row of hurricane missile impact rated windows per door.
- Finish:** Minor ribbed exterior design with stucco embossment, white interior and exterior.
- Locking:** Interior slide lock with interlock switch. Inside spring loaded slide bolt lock on end stile that engages slot in track; one per door.
- Weatherstripping:** Provide complete perimeter seals. Provide flexible top seal, flexible jamb seal and U-shaped bottom seal.
- Tracks:** Vertical tracks minimum 0.061-inch (1.55 mm) galvanized steel tapered and mounted for wedge type closing. Horizontal tracks minimum 0.075-inch (1.91 mm) galvanized steel, reinforced with minimum 0.0897 inch (2.285 mm) galvanized steel angles as required:
Track Width: 2-inches (50 mm)
 Provide standard lift tracks with 15 inches (381 mm) radius track as indicated.
- Spring Counterbalance:** Torsion spring counterbalance mechanism sized to weight of the door, with a helically wound, oil tempered torsion spring mounted on a steel shaft; cable drum of die cast aluminum with high strength galvanized aircraft cable with minimum 7 to 1 safety factor.
Standard Cycle Spring: 10,000 cycle.

3.2 ELECTRIC DOOR OPERATORS

- General:** Provide electric door operator provided by door manufacturer for door with operational life specified complete with electric motor and factory pre-wire motor controls, starter, gear-reduction unit, clutch, remote-control stations, control devices, integral gearing for locking door, and accessories required for proper operation. Comply with NFPA 70. Solenoid-operated brake.
- Disconnect Device:** Provide hand-operated disconnect or mechanism for emergency manual operation while disconnecting motor, without affecting timing of limit switch. Mount disconnect and operator so they are accessible from floor level. Include interlock device to automatically prevent motor from operating when emergency operator is engaged.
 Design operator so motor may be removed without disturbing limit switch adjustment and without affecting emergency auxiliary operator.
 Provide control equipment complying with NEMA ICS 1, NEMA ICS 2, and NEMA ICS 6, with NFPA 70 Class 2 control circuit, maximum 24-V, AC or DC.
- Electric Motors:** Provide high-starting torque, reversible, continuous-duty, Class A insulated, electric motor, complying with NEMA MG 1, with overload protection, sized to start, accelerate, and operate door in either direction, from any position, at not less than 2/3 fps (0.2 m/s) and not more than 1 fps (0.03 m/s), without exceeding nameplate ratings or considering factor.
Type: Drawbar
HP: As recommended by manufacturer.
Power Characteristics: 115 V; 1 phase
Service Factor: NEMA MG 1
 Coordinate wiring requirements and electrical characteristics of motors with building electrical system.
- Remote Control Station:** Provide momentary contact, 3 button control station with push button controls labeled "Open", "Close", and "Stop".
- Remote Control Station:** Provide continuous contact, 3 button control station with push button controls

labeled "Open", "Close", and "Stop".

Provide interior units, fully guarded, surface mounted, heavy duty type, with general purpose NEMA ICS 6 enclosure in one of the following types:

Enclosure Type: Type 1

Obstruction Detection Device: Provide each motorized door with indicated external automatic safety sensor able to protect full width of door opening. Activation of sensor immediately stops and reverses downward door travel.

Photo-electric control: Provide each motorized door with a photo-electric device that will stop and reverse the downward door travel if the light beam is broken or blocked.

Device shall be: NEMA Type 1.

NEMA Type 4

Limit Switches: Provide adjustable switches, interlocked with motor controls and set to automatically stop door at fully opened and fully closed positions.

Radio Controls: Provide 3 button radio transmitter to provide remote open, close, stop functionality. Provide external antenna and coaxial wiring to receiver to enhance radio control reception. Provide auxiliary chain hoist: for emergency manual operation while disconnecting motor, without affecting timing of limit switch. Mount disconnect and operator so they are accessible from floor level. Include interlock device to automatically prevent motor from operating when emergency operator is engaged.

3.3 MANUFACTURER'S WARRANTY

Finish Warranty: Standard finish warranty against rust for 10-year period.

Delamination Warranty: Standard warranty against delamination for 10-year period.

4.0 INSTALLATION

The Awarded Vendor shall be responsible for furnishing all labor, materials and parts, design, testing, and inspection for the turnkey installation of code compliant, overhead doors for designated Fire Stations:

4.1 TURNKEY INSTALLATION

Unloading of the new doors at the time of delivery.

Removing of existing overhead doors.

Offsite disposal of doors.

Installation of new doors.

Installation of new motor operators.

Electrical hook up of new operators and safety edges.

Adjust limits and check for proper orientation of doors.

Permitting as required.

4.2 REQUIREMENTS OF CONTRACTOR

All work must be done in a neat and professional manner.

All applicable license or permit fees to be acquired and paid by the CONTRACTOR.

CONTRACTOR to provide all necessary services and materials unless stated otherwise above.

CONTRACTOR to comply with laws, codes and regulations, including safety, fire, health, environment, and insurance.

CONTRACTOR shall cleanup job site and remove all waste and non-salvageable material in accordance with applicable laws, codes, and regulations.

CONTRACTOR shall be responsible for all minor facilities and equipment damages (i.e., paint, drywall, etc.) caused by the CONTRACTOR resulting from negligence during the execution of this contract. This includes but is not limited to damage too small to be covered by the CONTRACTOR's insurance.

Written change proposals shall be provided to the Project Manager by the CONTRACTOR for any modifications to the plans, specifications, or other contract requirements. The proposals shall include add-on or deduct costs, if any. The Project Manager will return an approved copy of the proposal prior to any change implementation.

Sealed Bid #

11-29-2022 2:00 PM

Bay Doors for Fire Station 3

Bid #: 23-006

City of Fairhope

555 South Section St.

Fairhope, AL 36532

Bailey Door Inc

16490 Pine Grove RD Ext E

Bay Minette, AL 36507

RECEIVED

11/28/22

RESOLUTION NO. _____

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope did request, receive, and open bids to procure services for (Bid No. 23-008) for an Annual Contract for Fire Extinguisher Inspection Services at 555 South Section Street in the City of Fairhope offices, Fairhope, Alabama.

[2] At the appointed time and place, bids were received and tabulated as follows:

Please see attached Bid Tabulation for
Annual Contract for Fire Extinguisher Inspection Services

[3] At the appointed time and place; after evaluating the bids with the required specifications, Fire and Safety Commodities is now awarded (Bid No. 23-008) Annual Contract for Fire Extinguisher Inspection Services with a total bid proposal budgeted not-to-exceed \$15,000.00.

[4] The initial contract term would be for one (1) year, with extensions for two (2) additional one (1) year terms.

ADOPTED ON THIS 12TH DAY OF DECEMBER, 2022

Jay Robinson, Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

City of Fairhope
Project Funding Request

Issuing Date: 12/2/2022

Please return this Routing Sheet to Treasurer by: ASAP

Project Name: Award Bid No. 23-008 Fire Extinguisher Inspection Services

Project Location: City Wide

Presented to City Council: 12/12/2022

Funding Request Sponsor: John Saraceno, Fire Maintenance Supervisor

Resolution # :

Approved _____

Changed _____

Rejected _____

Project Cash Requirement Requested:

Cost: \$ 15,000.00 (Estimated annual cost)

DEC 2 2022 JAW

Vendor: Fire and Safety Commodities

Project Engineer: n/a

Order Date: n/a

Lead Time: n/a

Department Funding This Project

General Gas Electric Water Sewer Sanitation Cap Project Impact Gas Tax Fed Grant

Department of General Fund Providing the Funding

Admin-10 Bldg-13 Police-18 Fire-20 ECD-24 Rec-25 Civic-26 Street-35 Meter-19 IT-16
Fleet-46 Golf-50 Golf Grounds-55 Museum-27 NonDeptFac-75 Debt Service-85 Marina-34 Plan/Zone-12 Adult Rec-30

Project will be:

Expensed XXX
Capitalized _____
Inventoried XXX

Funding Source:

Operating Expenses XXX
Budgeted Capital _____
Unfunded _____

Expense Code: xxx-50360
G/L Acct Name: General Maintenance

Grant: _____ Federal - not to exceed amount
_____ State
_____ City
_____ Local

Project Budgeted: \$ 15,000.00
Balance Sheet Item-
Included in projected
cash flow

Over (Under) budget amount: \$ -

Bond: _____ Title _____ Year _____
Loan: _____ Title _____ Year _____

Comments:

The initial Contract term would be for one (1) year, with extensions for two (2) Additional one (1) year terms.

Capital Lease: - Payment _____ Term _____

City Council Prior Approval/Date? _____

Senior Accountant

City Treasurer

Mayor

Purchasing Memo Date: 11/30/2022

Purchasing Memo Date: 11/30/2022

Delivered To Date: 12/2/2022

Request Approved Date: 12/2/2022

Request Approved Date: 12/2/2022

Approved Date: 12/2/2022

Signatures: *Aislinn Stone*
Aislinn Stone

Signatures: *Kirby Creech*
Kirby Creech

Signatures: *Sherry Sullivan*
Mayor Sherry Sullivan



MEMO

To: Aislinn Stone, Senior Accountant
Kimberly Creech, City Treasurer

E Wolfe

From: _____
Erin Wolfe, Purchasing Manager

Sherry Sullivan
Mayor

Council Members:
Kevin G. Boone
Robert A. Brown
Jack Burrell, ACOMO
Jimmy Conyers
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Date: November 30, 2022

Re: **Requesting Green Sheet and Approval by City Council to award Bid No. 23-008 Fire Extinguisher Inspection Services**

The Fire Maintenance Supervisor, John Saraceno, has requested an annual contract for fire extinguisher inspection services.

Bid No. 23-008 Fire Extinguisher Inspection Services was issued on October 30, 2022, posted to the City website, and viewed by 124 of 368 vendors who select to receive e-notifications. Four (4) responsive bids were received at the bid opening on November 18, 2022 at 10:00 a.m.

The Fire Maintenance Supervisor recommends the award be made **Fire and Safety Commodities** based on the unit prices and extended prices as listed on the attached bid tabulation. The initial contract term would be for one (1) year, with extensions for two (2) additional one (1) year terms.

Please prepare a Green Sheet and place on the next City Council Agenda this request to award the contract for Bid No. 23-008 Fire Extinguisher Inspection Services to Fire and Safety Commodities, Inc.

Enclosure

Cc: John Saraceno, Clint Steadham

161 North Section St.
PO Drawer 429
Fairhope, AL 36533

251-928-2136 (p)
251-928-6776 (f)
www.fairhopeal.gov

City of Fairhope Bid Tabulation
 Bid No. 23-008 Fire Extinguisher Inspection Services
 Opened November 18, 2022 at 10:00 A.M.

		Fire and Safety Commodities, Inc.	Fire and Safety Commodities, Inc.	R. Carter & Associates, Inc. (RCA Inc)	R. Carter & Associates, Inc. (RCA Inc)	Safety Extinguisher LLC	Safety Extinguisher LLC	VSC Fire & Security, Inc.	VSC Fire & Security, Inc.	
	Bid Documents Signed / Notarized (Y/N)	Y		Y		Y		Y		
	Vendor Compliance (Y/N)	Y		Y		Y		Y		
	Addendum 1 (Y/N)	Y		Y		Y		Y		
	Bid Form Items	2021 Estimated Quantities	Price per Unit	Extended Pricing	Price per Unit	Extended Pricing	Price per Unit	Extended Pricing	Price per Unit	Extended Pricing
1	Annual Inspections (Sticker Tags on all extinguishers exposed to elements)	527	\$3.00	\$1,581.00	\$5.00	\$2,635.00	\$7.00	\$3,689.00	\$4.00	\$2,108.00
2	2.5# ABC, BC Recharge		\$5.00		\$15.00		\$14.00		\$32.00	
3	5# ABC, BC Recharge	4	\$75.00	\$300.00	\$20.00	\$80.00	\$17.00	\$68.00	\$32.00	\$128.00
4	10# ABC, BC Recharge	9	\$30.00	\$270.00	\$25.00	\$225.00	\$20.00	\$180.00	\$35.00	\$315.00
5	20# ABC, BC Recharge	2	\$20.00	\$40.00	\$35.00	\$70.00	\$31.00	\$62.00	\$40.00	\$80.00
6	2.5# Halatronic Recharge		\$5.00		\$198.00*		\$18.00		\$204.00	
7	5# Halatronic Recharge		\$5.00		\$357.00*		\$22.00		\$340.00	
8	11# Halatronic Recharge		\$5.00		\$695.00*		\$28.00		\$702.00	
9	30# Class D Recharge		\$5.00		\$285.00		\$32.00		\$1,065.00	
10	2.5 Gallon Recharge H2O	2	\$5.00	\$10.00	\$22.00	\$44.00	\$15.00	\$30.00	\$13.00	\$26.00
11	5# CO2 Recharge	6	\$5.00	\$30.00	\$9.00	\$54.00	\$18.00	\$108.00	\$30.00	\$180.00
12	10# CO2 Recharge	4	\$10.00	\$40.00	\$10.00	\$40.00	\$22.00	\$88.00	\$30.00	\$120.00
13	20# CO2 Recharge	1	\$10.00	\$10.00	\$20.00	\$20.00	\$28.00	\$28.00	\$12.00	\$12.00
14	2.5# ABC, BC Six (6) Year	4	\$8.00	\$32.00	\$25.00	\$100.00	\$19.00	\$76.00	\$12.00	\$48.00
15	5# ABC, BC Six (6) Year	5	\$10.00	\$50.00	\$35.00	\$175.00	\$22.00	\$110.00	\$12.00	\$60.00
16	10# ABC, BC Six (6) Year	1	\$12.00	\$12.00	\$45.00	\$45.00	\$25.00	\$25.00	\$12.00	\$12.00
17	20# ABC, BC Six (6) Year	1	\$40.00	\$40.00	\$60.00	\$60.00	\$36.00	\$36.00	\$12.00	\$12.00
18	ABC, BC Six (6) Year			NO BID	NO BID		\$6.00		\$12.00	
19	2.5# Halatronic Six (6) Year		\$5.00		\$198.00*		\$6.00		\$204.00	
20	5# Halatronic Six (6) Year	1	\$10.00	\$10.00	\$357.00*	\$357.00	\$10.00	\$10.00	\$340.00	\$340.00
21	11# Halatronic Six (6) Year		\$5.00		\$695.00*		\$22.00		\$702.00	
22	2.5# Hydro BC ABC		\$5.00		\$35.00*		\$24.00		\$20.00	
23	5# Hydro BC ABC	4	\$12.00	\$48.00	\$45.00*	\$180.00	\$28.00	\$112.00	\$20.00	\$80.00
24	10# Hydro BC ABC		\$15.00		\$60.00		\$29.00		\$20.00	
25	20# Hydro BC ABC		\$15.00		\$80.00		\$40.00		\$20.00	
26	10# Hydro CO2		\$10.00		\$45.00		\$18.00		\$20.00	
27	20# Hydro CO2	1	\$10.00	\$10.00	\$45.00	\$45.00	\$28.00	\$28.00	\$369.00	\$369.00
28	30# Class D Hydro		\$5.00		\$40.00		\$32.00		\$1,065.00	
29	2.5 Gallon Hydro H2O	10	\$5.00	\$50.00	\$25.00	\$250.00	\$27.00	\$270.00	\$142.00	\$1,420.00
30	2.5# Halatronic Hydro		\$10.00		\$198.00*		\$24.00		\$204.00	
31	5# Halatronic Hydro		\$10.00		\$357.00*		\$27.00		\$340.00	
32	11# Halatronic Hydro		\$10.00		\$695.00*		\$32.00		\$702.00	

33	New ABC, BC 2.5#	13	\$28.00	\$364.00	\$35.00	\$455.00	\$52.00	\$676.00	\$41.00	\$533.00
34	New ABC, BC 5#	22	\$35.00	\$770.00	\$45.00	\$990.00	\$75.00	\$1,650.00	\$51.00	\$1,122.00
35	New ABC, BC 10#	17	\$60.00	\$1,020.00	\$75.00	\$1,275.00	\$95.00	\$1,615.00	\$82.00	\$1,394.00
36	New ABC, BC 20#	3	\$115.00	\$345.00	\$140.00	\$420.00	\$165.00	\$495.00	\$147.00	\$441.00
37	New 6L K Class	3	\$180.00	\$540.00	\$210.00	\$630.00	\$245.00	\$735.00	\$229.00	\$687.00
38	New CO2 5#		\$130.00		\$149.00		NO BID		\$201.00	
39	New CO2 10#		\$192.00		\$209.00		NO BID		\$282.00	
40	New CO2 15#		\$230.00		\$253.00		NO BID		\$342.00	
41	New CO2 20#		\$285.00		\$308.00		NO BID		\$415.00	
42	New Halatron 2.5#		\$140.00		\$198.00		NO BID		\$204.00	
43	New Halatron 5#		\$230.00		\$357.00		\$225.00		\$340.00	
44	New Halatron 11#		\$475.00		\$695.00		\$465.00		\$702.00	
45	Valve		NO BID		\$11.00		\$12.00		\$4.50	
46	Gauge		\$6.00		\$10.00		\$9.00		\$4.50	
47	Suppression System Service	6	\$100.00	\$600.00	\$95.00**	\$570.00	\$95.00	\$570.00	\$150.00	\$900.00
48	Fusible Links	30	\$15.00	\$450.00	\$10.00	\$300.00	\$12.00	\$360.00	\$6.00	\$180.00
49	Pins		\$1.00		\$1.00		\$2.00		\$0.50	
50	Hood Cleaning per Sq Ft.	192	\$15.00	\$5,880.00	\$15.00	\$5,880.00	\$9.50	\$3,724.00	\$36.00	\$14,112.00
51	Hood Cleaning per Each Nozzle		NO BID		Included with Above		NO BID		\$54.00	
52	O Ring		Included		Included		Included		Included	
TOTAL (Items 1-51)										
Pickup/Delivery Charge (Pre Round Trip)										
			\$25.00		\$75.00		NO BID		\$65.00	
Service Charge for Callouts Other Than Annual Inspection										
			\$25.00		\$70.00***		\$45.00		\$67.00	
Total				\$13,902.00		\$14,900.00		\$14,745.00		\$24,679.00

* Comment: New
 ** Comment: 1st Cylinder
 *** Comment: \$70.00/hour ST - 2 hour minimum; \$112.00/hour OT - 4 hour minimum

Recommendation:

To the best of my knowledge this is an accurate Bid Tabulation

Signature
 John Saraceno, Fire Maintenance Supervisor

Signature
 Erin Wolfe, Purchasing Manager

**ITEM III
BID RESPONSE FORM**

Date: 11 / 17 / 2022

Bid No: 23-008 Fire Extinguisher Inspection Services

Bids Due: Tuesday, November 15, 2022, 2:00 P.M

Annual Inspection Costs		
	Item	Price per Unit
1	Annual Inspections (Sticker Tags on all extinguishers exposed to elements)	\$ 3 ⁰⁰
2	2.5# ABC, BC Recharge	\$ 5 ⁰⁰
3	5# ABC, BC Recharge	\$ 75 ⁰⁰
4	10# ABC, BC Recharge	\$ 30 ⁰⁰
5	20# ABC, BC Recharge	\$ 20 ⁰⁰
6	2.5# Halatron Recharge	\$ 5 ⁰⁰
7	5# Halatron Recharge	\$ 5 ⁰⁰
8	11# Halatron Recharge	\$ 5 ⁰⁰
9	30# Class D Recharge	\$ 5 ⁰⁰
10	2.5 Gallon Recharge H2O	\$ 5 ⁰⁰
11	5# CO2 Recharge	\$ 5 ⁰⁰
12	10# CO2 Recharge	\$ 10 ⁰⁰
13	20# CO2 Recharge	\$ 10 ⁰⁰
14	2.5# ABC, BC Six (6) Year	\$ 8 ⁰⁰
15	5# ABC, BC Six (6) Year	\$ 10 ⁰⁰
16	10# ABC, BC Six (6) Year	\$ 12 ⁰⁰
17	20# ABC, BC Six (6) Year	\$ 40 ⁰⁰
18	ABC, BC Six (6) Year	—
19	2.5# Halatron Six (6) Year	\$ 5 ⁰⁰
20	5# Halatron Six (6) Year	\$ 10 ⁰⁰

21	11# Halatron Six (6) Year	# 5 ⁰⁰
22	2.5# Hydro BC ABC	# 5 ⁰⁰
23	5# Hydro BC ABC	# 12 ⁰⁰
24	10# Hydro BC ABC	# 15 ⁰⁰
25	20# Hydro BC ABC	# 15 ⁰⁰
26	10# Hydro CO2	# 10 ⁰⁰
27	20# Hydro CO2	# 10 ⁰⁰
28	30# Class D Hydro	# 5 ⁰⁰
29	2.5 Gallon Hydro H2O	# 5 ⁰⁰
30	2.5# Halatron Hydro	# 10 ⁰⁰
31	5# Halatron Hydro	# 10 ⁰⁰
32	11# Halatron Hydro	# 10 ⁰⁰
33	New ABC, BC 2.5#	# 28 ⁰⁰
34	New ABC, BC 5#	# 35 ⁰⁰
35	New ABC, BC 10#	# 60 ⁰⁰
36	New ABC, BC 20#	# 115 ⁰⁰
37	New 6L K Class	# 180 ⁰⁰
38	New CO2 5#	# 130 ⁰⁰
39	New CO2 10#	# 190 ⁰⁰
40	New CO2 15#	# 230 ⁰⁰
41	New CO2 20#	# 285 ⁰⁰
42	New Halatron 2.5#	# 140 ⁰⁰
43	New Halatron 5#	# 230 ⁰⁰
44	New Halatron 11#	# 475 ⁰⁰
45	Valve	—
46	Gauge	# 6 ⁰⁰
47	Suppression System Service	# 100 ⁰⁰
48	Fusible Links	# 15 ⁰⁰

49	Pins	\$ 1 ⁰⁰
50	Hood Cleaning per Sq Ft.	\$ 15 ⁰⁰
51	Hood Cleaning per Each Nozzle	_____
52	O Ring	Included
TOTAL (Items 1-51)		2,611 ⁰⁰
	Pickup/Delivery Charge (Pre Round Trip)	25 ⁰⁰
	Service Charge for Callouts Other Than Annual Inspection	25 ⁰⁰

Bid will include all labor, materials, equipment, shipping and postage, overhead, profit, bonds, insurance and all other costs necessary to provide the complete services outlined within this CONTRACT and scope of work.

Receipt of the following Addenda to these documents is hereby acknowledged by the undersigned (CONTRACTOR to complete below):

ADDENDUM NO.	DATE ISSUED	ADDENDUM NO.	DATE ISSUED
<u>1</u>	<u>11/14/2022</u>	_____	_____
_____	_____	_____	_____

Each bid must give the full business address of the CONTRACTOR and must be signed by him with his usual signature. Bids by partnerships must furnish the full names of all partners and must be signed with the partnership name by one of the members of the partnership, or by an authorized representative, followed by the signature and designation of the person signing. Bids by corporations must be signed with the legal name of the corporation followed by the name of the State of Incorporation and by the signature and designation of the president, secretary, or other person authorized to bind it in the matter. The name of each person shall also be typed or printed below the signature. A bid by a person who affixes to this signature the word "president," "secretary," "agent," or other designation without disclosing his principal, may be held to be the bid of the individual signing. When requested by the City of Fairhope, Baldwin County, Alabama, satisfactory evidence of the authority of the officer signing in behalf of the corporation shall be furnished.

The undersigned agrees to furnish the goods/services as requested by you for the City of Fairhope, Baldwin County, Alabama in your invitation to bid, and certifies that they will meet or exceed the specifications called for. The undersigned has read all information pertaining to this bid and has resolved all questions. It is also understood and agreed that all prices quoted are F.O.B. described in the bid documents and specifications. The undersigned also affirms he/she has not been in any CONTRACT or collusion among BIDDERS or prospective BIDDERS in restraint of freedom of competition, by CONTRACT to bid at a fixed price or to refrain from bidding or otherwise.

Witness our hands and seals this 18 day of November, 2022.

If Individual or Partnership

(Name of Individual or Partnership)

(Name of Partner Print)

(Name of Representative Authorized to sign Bids and CONTRACTs for the firm Print)

(Name of Partner Print)

Address _____

Phone Number () _____ Fax Number () _____

E-mail address _____ Alabama Contractor's License No. _____

Foreign Entity ID (if outside of Alabama) _____

If Corporation or LLC

Company FIRE AND Safety Commodities, Inc

State of Incorporation Louisiana

Company Representative Derek Johnson
(Representative Authorized to sign Bids and CONTRACTs for the firm Print)

Company Representative [Signature]
(Representative Authorized to sign Bids and CONTRACTs for the firm Signature)

Address 8270 Spanish FORT Blvd
Spanish FORT, AL 36527

Phone Number (251) 520 - 3473 Fax Number() _____

E-mail address _____ AL CONTRACTOR's License No. _____

Foreign Vendor Id _____

BID PROPOSAL NOTARIZATION:

STATE OF Alabama

COUNTY OF Baldwin

I, the undersigned authority in and for said State and County, hereby certify that Derek Johnson, as respectively, of FIRE AND Safety Commodities, whose name is signed to the foregoing document and who is known to me, acknowledged before me on this day, that, being informed of the contents of the document they executed the same voluntarily on the day the same bears date.

Given under my hand and Notary Seal on this 17th day of November, 2022.

NOTARY PUBLIC [Signature]
MY COMMISSION EXPIRES 9/12/2026

ITEM IV
CONTRACTOR INFORMATION

This Section must be printed, completed, and turned in with your bid response to

Business Organization

Name of CONTRACTOR (exactly as it appears on W-9):

FIRE & Safety Commodities, Inc
Doing-Business-As Name of CONTRACTOR:

Principal Office Address: 245 WoodLAND DR
Laplace, LA 70068

LOCAL Telephone Number: 844-465-5994 Toll-Free _____

LOCAL Fax Number: _____

Email address: Firesafetyinc.net
Website: _____

Form of Business Entity [check one ("X")]

- Corporation _____
- Partnership _____
- Individual _____
- Joint Venture _____
- Other (describe): _____

Corporation Statement

If a corporation, answer the following:

Date of incorporation: 1/6/1982
Location of incorporation: Louisiana
The corporation is held: Publicly _____
Privately X

Partnership Statement

If a partnership, answer the following:

Date of organization: _____
Location of organization: _____
The partnership is: General _____
Limited _____

Joint Venture Statement

If a Joint Venture, answer the following:

Date of organization: _____
Location of organization: _____
JV CONTRACT recorded? Yes _____ No _____

Contact: Justin Sturm Email Justin@firesafetyinc.net

Phone 251-305-5459 Fax _____

END OF CONTRACTOR INFORMATION

**ITEM V
INSURANCE**

3.0 INSURANCE REQUIREMENTS

Awarded **CONTRACTOR**, at its sole expense, shall obtain and maintain in full force the following insurance to protect the **CONTRACTOR** and the City of Fairhope at limits and coverages specified herein. The City of Fairhope will be listed as an additional insured under the **CONTRACTOR'S** general liability insurance and automobile liability insurance policies, and all other applicable policies and certificates of insurance. These limits and coverages specified are the minimum to be maintained and are not intended to represent the correct insurance needed to fully and adequately protect the awarded **CONTRACTOR**.

3.01 All insurance will be provided by insurers by admitted carriers in the State of Alabama, shall have a minimum A.M. Best rating of A-VII and must be acceptable to the City. Self-insured plans and/or group funds not having an A.M. Best rating must be submitted to the City for prior approval.

3.02 **NO WORK IS TO BE PERFORMED UNTIL PROOF OF COMPLIANCE WITH THE INSURANCE REQUIREMENTS HAS BEEN RECEIVED BY THE CITY.**

3.03 **Worker's Compensation and Employers Liability**

Part One: Statutory Benefits as required by the State of Alabama

Part Two: Employers Liability	\$100,000 Each Accident
	\$100,000 Each Employee
	\$500,000 Policy Limit

3.04 **U.S. Longshoreman & Harbor workers Act (USL&H)-**

Required if CONTRACT involves work near a navigable Waterway that may be subject to the USL&H law.

3.05 **Maritime Endorsement (Jones Act)-**

Endorsement required if CONTRACT involves the use of a Vessel. Or include coverage for "Master or Members or Crew" under "Protection and Indemnity" coverage (P&I), unless crew is covered under Workers Compensation.

Bodily injury by accident	\$1,000,000 Each Accident
Bodily injury by disease	\$1,000,000 Aggregate

3.06 **Commercial General Liability**

Coverage on an Occurrence form with a combined single limit of (Bodily Injury and Property Damage combined as follows:

Each Occurrence	\$1,000,000
Personal and Advertising Injury	\$1,000,000
Products/Completed Operation Aggregate	\$2,000,000
General Aggregate	\$2,000,000

Coverage to include:

- Premises and operations
- Personal Injury and Advertising Injury
- Products/Completed Operations
- Independent BIDDERS
- Blanket Contractual Liability
- Explosion, Collapse and Underground hazards
- Broad Form Property Damage
- Railroad Protective Liability Insurance if work involves construction, demolition or maintenance operations on or within 50 feet of a railroad.

3.07 **Automobile Liability**

Covering all Owned, Non-Owned, and Hired vehicles with a limit of no less than \$1,000,000 combined single limit of Bodily Injury and property damage per occurrence.

3.08 **Certificate of Insurance**

A Certificate of Insurance evidencing the above minimum requirements must be provided to and accepted by the City PRIOR to commencement of any work on the CONTRACT. Each policy shall be endorsed to provide ten (10) days written notice of cancellation to the CITY.

Such insurance as is afforded by the above policies covers the operations undertaken by the insured with respect to the construction of the project above designated. The insurance afforded by the above designated policies, specimen copies of which have been filed with the CITY, and to each of which is attached for following endorsement.

The insurer agrees with the insured as follows:

1. That it will furnish to said City of Fairhope a certificate of insurance in triplicate on a form approved for such purpose by said CITY, setting forth the pertinent information regarding the policy to which this endorsement is attached, for each project of said CITY to which the policy applies.
2. That it will attach to each said certificate of insurance executed copies of any endorsement other than this endorsement which are attached to said policy at the time said policy is issued, provided only that said endorsements affect the coverage of said policy in respect of operations involved in the construction of the projects of said CITY to which the policy applies.
3. That it will mail to the City Council of the City of Fairhope three executed copies of each endorsement subsequently issued to become a part of said policy provided only that endorsement affects the coverages of said policy in respect of operations involved in the construction of the project of said CITY which the policy applies, and provided further that such endorsement shall not be effective unless such notice is given to the CITY at the same time that notice thereof is given to the insured.
4. That it will mail to the City Council of the CITY of Fairhope at least ten days before the effective date thereof notice of cancellation of said policy, provided no cancellation shall be effective unless such notice is given to the CITY.

END OF INSURANCE REQUIREMENTS



ADDITIONAL REMARKS SCHEDULE

AGENCY Hub International Gulf South		License # 231632	NAMED INSURED Fire & Safety Commodities, Inc. 245 Woodland Drive LaPlace, LA 70068
POLICY NUMBER SEE PAGE 1			
CARRIER SEE PAGE 1	NAIC CODE SEE P 1	EFFECTIVE DATE: SEE PAGE 1	

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: ACORD 25 FORM TITLE: Certificate of Liability Insurance

ADDITIONAL COVERAGE INFORMATION:

AUTOMOBILE:

Blanket Additional Insured, where required by written contract.
Blanket Waiver of Subrogation, where required by written contract.
Primary Insurance Clause, where required by written contract.
30 Day Notice of Cancellation, where required by written contract.

GENERAL LIABILITY:

Includes Contractual Liability.
Blanket Additional Insured, where required by written contract.
Blanket Waiver of Subrogation, where required by written contract.
Primary and Non-Contributory, where required by written contract.
30 Day Notice of Cancellation, where required by written contract.

WORKERS COMPENSATION/EMPLOYERS LIABILITY:

Officers/Owners Excluded - Mace Bourgeois and Sage Bourgeois
Blanket Waiver of Subrogation, where required by written contract.
30 Day Notice of Cancellation, where required by written contract.

UMBRELLA:

Follows Form to underlying policies.
Follows Form blanket additional insured as required by written contract
Follows Form blanket waiver of subrogation as required by written contract
Primary Insurance Clause, where required by written contract.

30 Day notice of cancellation, except 10 days for non payment of premium.



CITY OF FAIRHOPE
INVITATION TO BID

SEALED BIDS will be received by the City of Fairhope of Baldwin County, Alabama, in the City of Fairhope offices, 555 South Section St. Fairhope, Alabama, until 2:00 P.M. Tuesday, November 15, 2022, and then publicly opened thereafter, for furnishing all labor and materials, and performing all work required by the City of Fairhope and described as follows:

Bid Number 23-008
Fire Extinguisher Inspection Services

The City of Fairhope is seeking an experienced Contractor for the annual inspection, testing, maintenance, and service of all fire extinguishers throughout the City of Fairhope government buildings.

Bid documents will be posted on the City of Fairhope Website: www.FairhopeAL.gov or a copy may be obtained by e-mailing: Purchasing@FairhopeAL.gov. Specifications are on file and may be seen in the Purchasing Department of the City of Fairhope, Alabama, 555 S. Section Street. Prior to opening, Bid packages may be picked up at that location during normal operation, between 7:00 am and 4:00 pm local time.

Questions or comments pertaining to this bid must be presented in writing, sent as e-mail to the attention of the Purchasing Manager, Erin Wolfe, 555 South Section St., Fairhope, AL 36532, e-mail: Purchasing@FairhopeAL.gov, by Monday, November 14, 2022, at 11:00 A.M. or will be forever waived.

All Bids must be on blank bid forms provided in the Bid documents. BID BOND is not required.

The City of Fairhope is an Equal Opportunity Employer and requires that all **BIDDERS** comply with the Equal Employment Opportunity laws and the provisions of the CONTRACT Documents in this regard. The **CITY** also encourages and supports the utilization of Minority Business Enterprises on this and all public bids.

All bids must be on blank bid forms provided in the Bid Documents. All bids, with their guarantee (when required), must be enclosed in a sealed, opaque envelope, clearly identified on the outside as a "**Sealed Bid**" with **Item Name, Bid Number, City of Fairhope's Name and Address and CONTRACTOR's Name and Address**. Each bid must be in a separate envelope. Bids made out in pencil will not be accepted. Failure to observe the instructions contained herein will constitute grounds for rejection of your bid. The **City** reserves the right to accept or reject all bids or any portion thereof, and to waive informalities and to furnish any item of material or work to change the amount of the CONTRACT, whichever is in the best interest of the City of Fairhope.

No bids will be considered unless the **CONTRACTOR**, whether resident or non-resident of Alabama, is properly qualified to submit a proposal for this type of work in accordance with all applicable laws of the State of Alabama. Where applicable, this shall include evidence of holding a current license from the State Licensing board for General BIDDERS, Montgomery, Alabama, as required by Chapter 8 of Title 34, of the Code of Alabama, 1975. In addition, the Awarded Vendor, if non-resident of the State, and if a corporation, shall show evidence of having qualified with the Secretary of State to do business in the State of Alabama. **CONTRACTOR** must have a current business license or purchase a business license with the City of Fairhope prior to work performed. No bids shall be withdrawn for the period of thirty (30) days subsequent to the opening of proposals without the consent of the City of Fairhope, Baldwin County, Alabama. Once completed, a tabulation of the responsive and responsible bids will be available for public viewing by visiting the following web address: www.FairhopeAL.gov.



INVITATION TO BID
NO. 23-008
FIRE EXTIGUISHER INSPECTION
SERVICES

CITY OF FAIRHOPE
SHERRY SULLIVAN, MAYOR

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**ITEM I
INVITATION AND INSTRUCTIONS TO BIDDERS**

1.00 BID INVITATION

Notice is hereby given that the **City of Fairhope ("CITY")** will receive bids on the project described herein. Qualified **BIDDERS** are invited to bid on this CONTRACT.

1.01 BID NO.: 23-008
NAME: FIRE EXTINGUISHER INSPECTION SERVICES

1.02 SUMMARY

The City of Fairhope is seeking an experienced Contractor for the annual inspection, testing, maintenance, and service of all fire extinguishers throughout the City of Fairhope government buildings.

1.03 BID DEADLINE

Bids will be received until **2:00 P.M. local time, Tuesday, November 15, 2022**, at the City Services and Public Utilities Building, 555 South Section St., Fairhope, Alabama, and publicly opened shortly thereafter.

1.04 AVAILABILITY OF DOCUMENTS

Bid Documents may be obtained at the City Services and Public Utilities Building, 555 South Section Street., Fairhope, Alabama. One set of Bid Documents can be obtained free of charge. Bidder shall contact the Purchasing Department at purchasing@fairhopeal.gov or phone (251) 928-8003 to request a paper copy.

1.05 INQUIRIES

Questions or comments pertaining to this bid must be presented in writing, sent as e-mail to the attention of the Purchasing Manager, Erin Wolfe, 555 South Section St., Fairhope, AL 36532, e-mail: Purchasing@FairhopeAL.gov, by Monday, November 14, 2022 at 11:00 A.M. or will be forever waived.

1.06 SITE EXAMINATION

A pre-bid meeting/site examination is not required for this project.

The City of Fairhope will not furnish any labor, material, or supplies unless specifically stated in the CONTRACT Documents. **BIDDERS** must be properly licensed to perform the work as outlined in the Scope of Work. Awarded Vendor must have a current business license or purchase a business license with the City of Fairhope prior to bid being awarded.

Except for CONTRACTS funded in whole or in part by funds received from a federal agency, preference shall be given to resident **BIDDERS** on the same basis as the nonresident **BIDDERS** state awards CONTRACT to Alabama **BIDDERS** bidding under similar circumstances. Therefore, non-resident **BIDDERS** shall submit with their bid a written opinion of an attorney at law licensed to practice law in the non-resident **BIDDERS** state of domicile as to preferences granted by that state to entities doing business in that state when letting public contracts.

1.07 **BID SECURITY – Not Applicable**

1.08 **INSURANCE**

The accepted **BIDDER** shall also provide insurance as required in ITEM V.

1.09 **DURATION OF OFFER**

Bids may be withdrawn in written or telegraphic request received from **BIDDER** prior to the time fixed for opening. No bid shall be withdrawn for a period of thirty (30) days subsequent to the opening of bids without the consent of the City Council of the City of Fairhope.

1.10 **EQUAL OPPORTUNITY**

The City of Fairhope is an Equal Opportunity Employer and requires that all **BIDDERS** comply with the Equal Employment Opportunity laws and the provisions of the CONTRACT Documents in this regard. The City of Fairhope also encourages and supports the utilization of Minority Business Enterprises on this and all public bids.

1.11 **BID SUBMISSION AND PREPARATION**

Sealed Bids, signed, executed, and dated, will be received by the City of Fairhope as noted in section 1.03 above. Submit one copy of the executed offer on the Bid Form provided, signed, and with the required Bid Security. **The bid shall be enclosed in a sealed opaque envelope approximately 9x12 inches or larger, clearly identified on the outside as a SEALED BID with the BID NAME, BID NUMBER, CITY'S NAME AND ADDRESS, CONTRACTOR'S NAME AND ADDRESS.**

Forms furnished, or copies thereof, shall be used, and strict compliance with the requirements of the invitation, these instructions, and the instructions printed on the forms is necessary. Special care should be exercised in the preparation of bids. **BIDDERS** must make their own estimates of the facilities and difficulties attending the performance of the proposed CONTRACT, including local conditions, uncertainty of weather, and all other contingencies. All designations and prices shall be fully and clearly set forth. The proper space in the bid and guaranty forms shall be suitably filled in.

Fill in all blanks on the bid form with non-erasable ink or type. Erasers or other changes must be explained or noted over the signature of the **BIDDER**.

The Bid Form may have a Contingency Allowance listed. Add this amount to the Base Bid to derive the Total Bid. The Contingency Allowance covers unforeseen conditions and shall not be used by the **BIDDER** without the written authorization of the **CITY**. At the conclusion of the project, the unused portion of the Contingency Allowance shall revert to the **CITY**.

Each bid must give the full business address of the **BIDDER** and must be signed by him with his usual signature. Bids by partnerships must furnish the full names of all partners and must be signed with the partnership name by one of the members of the partnership, or by an authorized representative, followed by the signature and designation of the person signing. Bids by corporations must be signed with the legal name of the corporation followed by the name of the State of Incorporation and by the signature and designation of the president, secretary, or other person authorized to bind it in the matter. The name of each person shall also be typed or printed below the signature. A bid by a person who affixes to this signature the word "president," "secretary," "agent," or other designation without disclosing his principal, may be held to be the bid of the individual signing. When requested by the **CITY** satisfactory evidence of the authority of the officer signing in behalf of the corporation shall be furnished.

Each project will be bid separately unless otherwise expressly requested in the CONTRACT document. Combination bids, that is bids on separate projects lumped together as a single bid or on all or none basis, will not be accepted unless the CONTRACT document expressly requests or permits same.

1.12 **BID INELIGIBILITY**

Bids that contain irregularities of any kind may be declared unacceptable at the discretion of the **CITY**. The **CITY** may waive any irregularities and may reject any or all bids. Bids received after the deadline will be returned to the **BIDDER** unopened.

1.13 **CONTRACT TIME**

The **BIDDER** agrees to begin the work, for each sequence of owner submitted work orders, no later than thirty (30) days from the date of submission. The Contract being Three Hundred and Sixty-Five (365) calendar days with a provision to renew the Contract, if agreeable to both parties under the same conditions for not more than three consecutive years (two (2) one (1) year renewals). The Bidder, in submitting the offer, accepts the conditions of the contract period state for performing the work.

1.14 **INQUIRIES/ADDENDA**

All Addenda are part of the CONTRACT Documents. Include resultant costs in the Bid. Addenda will be issued by E-MAIL and posted on the City's website: www.FairhopeAL.gov. It is the responsibility of the **BIDDER** to verify that all Addenda have been received.

Questions or comments pertaining to this bid must be presented in writing, sent via email Purchasing@FairhopeAL.gov by Monday, November 14, 2022 at 11:00 A.M. or will be forever waived.

1.16 **BID ACCEPTANCE**

Bid with lowest Total Bid amount from a responsive and responsible **BIDDER** may be accepted if within the CONTRACT Budget. In the event that alternates are listed on the Bid Form, the lowest combination of Total Bid and Alternate Bids accepted by the **CITY** shall be the accepted bid. Alternates shall be awarded in the order in which they are listed on the Bid Form.

1.17 **BIDDERS INTERESTED IN MORE THAN ONE BID**

If more than one bid is offered by any one party, by or in a name of his clerk, partner, corporation in which he has a substantial interest, or in which he is an officer, or other person, all such bids may be rejected. A party who has quoted prices on materials to a **BIDDER** is not thereby disqualified from quoting prices to other **BIDDERS** or from submitting a bid directly for the materials or work. The **CITY** reserves the right to determine in its discretion whether the provisions of this clause have been violated by any **BIDDER**.

1.18 **ERRORS IN BIDS**

BIDDERS or their authorized agents are expected to examine the maps, drawings, specifications and all other instructions pertaining to the work, which will be open to their inspection. Failure to do so will be at the **BIDDER'S** own risk. In case of error, in the extension of prices, the unit price will govern.

1.19 **CONTRACT AND BOND**

The **BIDDER** to whom award is made must, when requested, enter into written CONTRACT on the standard form as set out herein, with satisfactory security in the amount required, within the period specified, or, if no period be specified, within 15 days after the required forms are presented to him for signature.

1.21 **COLLUSION**

If there is any reason for believing that collusion exists among the **BIDDERS** any or all bids may be rejected, and those participating in such collusion may be barred from submitting bids on the same or other work with the **CITY**.

1.22 **SUBLETTING OR ASSIGNING OF CONTRACT**

Limitations: The CONTRACTOR shall not sublet, assign, transfer, convey, sell, or otherwise dispose of any portion of the CONTRACT, his right, title or interest therein, or his power to execute such CONTRACT, to any person, firm or corporation without written consent of the CITY, and such written consent shall not be construed to relieve the BIDDER of any responsibility for the fulfillment of the CONTRACT. Unless otherwise stipulated in the proposal or special provisions, the BIDDER shall perform with his own organization, and with the assistance of workmen under his immediate superintendence and reported on his payroll, all CONTRACT work of a value not less than 50 percent of the total CONTRACT amount, except that any items designated in the CONTRACT as "Specialty Items" so performed by SUB-CONTRACT may be deducted from the total CONTRACT amount before computing the amount of work required to be performed by the BIDDER with his own organization.

SUB-CONTRACTOR'S Status:

A SUB-CONTRACTOR shall be recognized only in the capacity of an employee or agent of the CONTRACTOR and the CONTRACTOR will be responsible to the CITY for all of the SUB-CONTRACTOR's work, including failures or omissions; and his removal may be required by the Project Manager, as in the case of an employee.

1.23 **PROSECUTION OF WORK**

The BIDDER shall prosecute the work continuously and diligently in the order and manner set out in his schedule as approved by the CITY. He shall provide sufficient satisfactory materials, labor, and equipment to ensure that the work will be completed in a satisfactory manner within the time specified in the CONTRACT.

Should the BIDDERS fail to maintain a satisfactory rate of progress, the CITY may require that additional forces and/or equipment be placed on the work to bring the project up to schedule and maintain it at that level.

Should the BIDDER fail to furnish sufficient satisfactory equipment and/or labor for maintaining the quality and progress of the work at satisfactory level, the CITY may withhold all estimates that may become due until satisfactory quality and progress are maintained; or the CONTRACT may be annulled.

END OF INVITATION AND INSTRUCTIONS TO BIDDERS

**ITEM II
SCOPE OF WORK**

Bid No. 23-008 Fire Extinguisher Inspection Services

The City of Fairhope is seeking an experienced Contractor for the annual inspection, testing, maintenance, and service of all fire extinguishers throughout the City of Fairhope government buildings.

Base quotation will include all labor, materials, equipment, shipping, overhead, profit, insurance and all other costs necessary to provide the complete services outlined within this Contract and Scope of Work.

Scope of work will include the following:

- Once yearly inspection and tagging/labeling of all existing City of Fairhope fire extinguishers. Inspections shall occur on, or immediately prior to the "Inspection Date" for each extinguisher.
- Exchange and install new fire extinguishers suitable for type of hazard being protected.
- 6-year maintenance and Hydrostatically testing as necessary.
- All fire suppression systems will be inspected and tested up to and including fusible links and tagging of the system with current year tag.
- Re-charge existing fire extinguishers as required, in accordance with manufacturer's recommendations with materials suitable for the type of hazard being protected.
- All existing hood systems will be cleaned and inspected for proper operation.

All work shall be in accordance with National Fire Protection Association (NFPA) Code, the State of Alabama Fire Code, and all City of Fairhope regulations.

Service Contractor shall be certified and hold a valid permit from the State of Alabama Fire Marshall (a copy of a valid permit must be included in the bid documents).

The work shall be performed by qualified technicians that have met the training requirements established by the State of Alabama Fire Marshall.

Pricing shall include all travel time and expenses.

It is the intent of the City to award this contract for 36 months (3 Years). The pricing shall apply for all three (3) years.

The City of Fairhope's normal hours of operation are 7:00 a.m. to 4:00 p.m. Vendor shall adhere to the hours of operation to accommodate effective and timely communications.

SEALED Bid
FIRE Extinguisher Inspection
Services

City of Fairhope

NO. 23-008

Public Utilities Bldg
555 South Section St.
Fairhope, AL 36532

RECEIVED
827.1118
NN

FIRE AND Safety Commodities
8270 Spanish Fort Blvd.
Spanish Fort, AL 36527



CITY OF FAIRHOPE
PURCHASING DEPARTMENT
PROJECT REQUEST FORM

Requestor: John Saraceno Department: Fire
Project Name: Annual Fire Extinguisher service
Project Description: Inspecting and servicing all city owned Fire Extinguishers
Project Category: X Bid Professional Service Other:
Budget Amount: 15,000 Budget Code:
Budgeted for Current FY: X Yes No

BID INFORMATION

Bid Duration: 2 weeks Project Duration: 10 days
Engineer of Record:
Pre-Bid Meeting: No X Yes X Mandatory Non-Mandatory
Scope of Work Provided By: Safety Extinguishers Contract Extensions: No Yes
Project Manager: John Saraceno
Insurance Requirements: Minimum Maximum
Bonds: Bid Performance Labor & Materials
Related Bids/RF's

FORCE ACCOUNT INFORMATION

Force Account Project: No Yes Estimated Amount: Budget Code:
Notes:

SIGNATURES

Requestor: John Saraceno Senior Accountant: Aislinn Stone
City Treasurer: Kimberly Creech Mayor: Sheri

RESOLUTION NO. _____

BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF FAIRHOPE, ALABAMA, as follows:

[1] That the City of Fairhope approves the procurement of one (1) 2023 Ford F-250 Super Crew 4x4 Pickup or equivalent for the Gas Department from Stivers Ford Lincoln; the type of vehicle needed is on the State of Alabama Division of Purchasing Contract Number T191 and therefore does not have to be let out for bid; total cost not-to-exceed \$44,388.00.

[2] The Gas Department originally ordered a 2022 F-250 Super Crew 4x4 Pickup in December 2021 for \$33,241.00. The 2022 truck will not be delivered. The 2023 truck will be \$11,147.00 over the budgeted amount from 2022.

ADOPTED ON THIS 12TH DAY OF DECEMBER, 2022

Jay Robinson
Council President

Attest:

Lisa A. Hanks, MMC
City Clerk

City of Fairhope
Project Funding Request

Issuing Date: 12/5/2022

Please return this Routing Sheet to Treasurer by: ASAP

Project Name: Procure one (1) 2023 Ford F-250 Super Crew 4x4 Pickup or Equivalent

Project Location: Gas Dept

Presented to City Council: 12/12/2022

Resolution #: Approved _____

Funding Request Sponsor: Jeremy Little, Gas Assistant Superintendent

Changed _____

Rejected _____

Project Cash Requirement Requested:
Cost: \$ 44,388.00 (Not-to-Exceed)

DEC 7 '22 - 44377 *Jaw*

Vendor: Stivers Ford Lincoln

Project Engineer: n/a

Order Date: n/a Lead Time: n/a

Department Funding This Project

General **Gas** Electric Water Wastewater Sanitation Cap Project Impact Gas Tax Fed Grant

Department of General Fund Providing the Funding

Admin-10 Bldg-13 Police-15 Fire-20 ECD-24 Rec-25 Civic-26 Street-35 Meter-19 IT-16
Fleet-46 Golf-50 Golf Grounds-55 Museum-27 NonDeptFac-75 Debt Service-85 Marina-34 Plan/Zone-12 Adult Rec-30

Project will be:

Expensed _____
Capitalized XXX
Inventoried _____

Funding Source:

Operating Expenses _____
Budgeted Capital XXX
Unfunded _____

Expense Code: 002-50470
G/L Acct Name: Purchases Vehicles & Equipment

Grant: _____ Federal - not to exceed amount
_____ State
_____ City
_____ Local

Project Budgeted: \$ 33,241.00
Balance Sheet Item Included in projected cash flow

Over (Under) budget amount: \$ 11,147.00

Bond: _____ Title _____ Year _____
Loan: _____ Title _____ Year _____

Capital Lease: _____ - Payment _____ Term _____

City Council Prior Approval/Date? _____

Senior Accountant

City Treasurer

Mayor

Purchasing Memo Date: 12/5/2022

Purchasing Memo Date: 12/5/2022

Delivered To Date: 12/5/2022

Request Approved Date: 12/5/2022

Request Approved Date: 12/5/2022

Approved Date: 12/5/2022

Signatures: *Aislinn Stone*
Aislinn Stone

Kliff Creech
Kliff Creech

Sherry Sullivan
Mayor Sherry Sullivan



MEMO

To: **Aislinn Stone, Senior Accountant**
Kimberly Creech, Treasurer

Sherry Sullivan
Mayor

From: Erin Wolfe, Purchasing Manager

Council Members:
Kevin G. Boone
Jack Burrell, ACOMO
Jimmy Conyers
Corey Martin
Jay Robinson

Date: December 5, 2022

Lisa A. Hanks, MMC
City Clerk

Re: **Green Sheet and City Council Approval of Procurement of One (1) 2023 Ford F-250 Super Crew 4x4 Pickup or Equivalent**

Kimberly Creech
Treasurer

The Gas Department Superintendent, Jeremy Little, is requesting procurement of one (1) 2023 Ford F-250 Super Crew 4x4 Pickup or equivalent. This purchase should include a XL 600A. Crew Cab 4x4, 6.8L V8 PFI Gas Engine, 10 Speed Auto Transmission, 6.75' Box, Power Windows & Door Locks, Keyless Entry, Cruise Control, Vinyl Flooring, Vinyl 40/20/40 Seat, AM/FM Radio, Bluetooth, Rear View Camera, Trailer Tow Package 4/7 Pin, Trailer Brake Controller Upfitter Switches, 250 Amp. Alternator, Platform Running Boards, LED Box Lighting, 120V/400W Outlet, 3.73 Regular Axle.

The quote for one (1) Ford F-250 with options is an estimated total of Forty-Four Thousand Three Hundred Eighty-Eight Dollars (\$44,388.00). This type of vehicle that is needed is on the State of Alabama Division of Purchasing contract number T191 and therefore does not have to be let out for bid.

The Gas Department originally ordered a 2022 F-250 Super Crew 4x4 Pickup in December 2021 for \$33,241.00. The 2022 truck will not be delivered. The 2023 truck will be \$11,147.00 over the budgeted amount from 2022.

NOTES:

See Attached Vendor CUT-SHEET printout for details.

Please compose a Green Sheet and place on the next available City Council Agenda this request to approve this procurement for one (1) 2023 Ford F-250 or equivalent for a not to exceed amount \$44,388.00.

161 North Section St.
PO Drawer 429
Fairhope, AL 36533

CC file, Jeremy Little, Clint Steadham

251-928-2136 (p)
251-928-6776 (f)
www.fairhopeal.gov

STIVERS FORD LINCOLN
4000 EASTERN BLVD
MONTGOMERY, AL 36116

2023 FORD F250 SUPER CREW 4x4 PICKUP - MODEL W2B

CONTRACT NUMBER: 220000003128-22

STATE CONTRACT: T191

CONTRACT AMOUNT: \$42,238

INCLUDES: XL 600A, Crew Cab 4x4, 6.8L V8 PFI Gas Engine, 10 Spd AutoTransmission, 6.75' Box, Power Windows & Door Locks, Keyless Entry, Cruise Control, Vinyl Flooring, Vinyl 40/20/40 Seat, AM/FM Radio, Bluetooth, Rear View Camera, Trailer Tow Package 4/7 Pin, Trailer Brake Controller

STATE CONTRACT PRICE (T191) \$ 42,238

FACTORY OPTIONS

66S	Upfitter Switches (Requires 67E Alternator)	\$	165	<input checked="" type="checkbox"/>
67E	250 Amp. Alternator (w/ Upfitter Switches 66S)	\$	85	<input checked="" type="checkbox"/>
18B	Platform Running Boards	\$	445	<input checked="" type="checkbox"/>
592	Roof Clearance Lights	\$	95	<input type="checkbox"/>
43K	Pro Power Onboard 2KW - Includes Dual Alternator, Requires 86M Dual Battery	\$	985	<input type="checkbox"/>
86M	Dual Batteries - Included w/ Diesel Engines, Requires 67B 410 Amp Dual Alternator or Pro Power 43K on Gas	\$	210	<input type="checkbox"/>
66L	LED Box Lighting	\$	60	<input checked="" type="checkbox"/>
53W	5th Wheel / Gooseneck Hitch Prep Package	\$	550	<input type="checkbox"/>
85G	Tailgate Step (Includes Step & Handle)	\$	375	<input type="checkbox"/>
43C	120V / 400W Outlet	\$	175	<input checked="" type="checkbox"/>
52S	Interior Work Surface (Requires 40/20/40 Seat)	\$	140	<input type="checkbox"/>
96V	XL Chrome Package - Includes Boxlink, Chrome Hub Covers, Chrome Front & Rear Step Bumper, Fog Lamps	\$	225	<input type="checkbox"/>

WHEEL BASE OPTIONS:

160	6 3/4' Box		Standard	<input checked="" type="checkbox"/>
176	8.0' Box	\$	680	<input type="checkbox"/>

DRIVE TRAIN OPTIONS:

99A	6.8L V8 PFI Gas Engine (N/A with XLT)		XL Standard	<input checked="" type="checkbox"/>
X37	3.73 Regular Axle (Standard w/ 6.8L Gas Engine)		Standard	<input type="checkbox"/>
X3E	3.73 Electronic Locking Axle (Optional w/ 6.8L Gas Engine)	\$	430	<input checked="" type="checkbox"/>
99N	7.3 L V8 430 Horsepower Gas Engine (Standard with XLT)	\$	1,705	<input type="checkbox"/>
X37	3.73 Regular Axle (Standard w/ 7.3L Gas Engine)		NC	<input type="checkbox"/>
X3E	3.73 Electronic Locking Axle (Optional w/ 7.3L Gas Engine)	\$	430	<input type="checkbox"/>
99T	6.7L V8 Diesel Engine (State Contract Diesel Option - 220000003128-23)	\$	9,301	<input type="checkbox"/>
X31	3.31 Regular Axle (Standard w/ 6.7L Diesel Engine)		NC	<input type="checkbox"/>
X3H	3.31 Electronic Locking Axle (Optional w/ 6.7L Diesel Engine)	\$	430	<input type="checkbox"/>
99M	6.7L High Output V8 Diesel Engine	\$	12,495	<input type="checkbox"/>
X31	3.31 Regular Axle (Standard w/ 6.7L High Output Diesel Engine)		NC	<input type="checkbox"/>
X3H	3.31 Electronic Locking Axle (Optional w/ 6.7L High Output Diesel Engine)	\$	430	<input type="checkbox"/>
41H	Heater, Engine Block	\$	100	<input type="checkbox"/>
TD8	LT245/75Rx17E BSW A/S		XL Standard	<input type="checkbox"/>
TBM	LT245/75Rx17E BSW A/T (XL Option)	\$	165	<input checked="" type="checkbox"/>
TCH	LT275/65Rx18E BSW A/S		XL Standard	<input type="checkbox"/>
TDX	LT275/70Rx18E BSW A/T (XLT Option)	\$	265	<input checked="" type="checkbox"/>

PACKAGE OPTIONS

17S	STX Appearance Package - Includes: 18" Ebony Black Painted Aluminum Wheels, LT275/70Rx18E BSW A/T, Body-Color Front & Rear Bumpers, Painted Grill, Upgraded Interior Door Panels, 360-Degree Camera Pkg, Automatic High Beam, BLIS, Pre-Collision w/ Automatic Emergency Braking, Reverse Brake Assist, Boxlink Color Coordinated Full Carpet w/ Floor Mats, Cloth 40/20/40 Split Bench w/ Center Armrest Cupholder/Storage LED Box Lighting, LED High-Mount Stop Lamp, LED Fog Lamps, LED Reflector Lamps, 10,000 GVWR Pkg	\$	5,115	<input type="checkbox"/>
603A	XLT 603A Package - All XL Content Plus: Front & Rear Chrome Bumpers, Chrome Grill, Halogen Fog Lamps, 18" Sparkle Silver Painted Cast Aluminum Wheels w/ Bright Hub Covers & Ornaments, BoxLink, Co-Pilot 360, 12V/400W Outlets - Dashmount & Rear Console, Color Coordinated Full Carpet w/ Floor Mats, Front Seats - High Series Cloth 40/20/40 Split Bench w/ 20% Under Seat Storage, Center Armrest w/ Cupholder & Storage, 8 Way Power Driver Front Seat, Rear Fixed Privacy Glass, & SecuriCode Keyless Entry Keypad	\$	6,564	<input type="checkbox"/>
17X	FX4 Off-Road Pkg - Requires A/T Tire Option & E-Lock Axle. Includes: Hill Descent Control, Skid Plates for Transfer Case & Fuel Tank, Off-Road Specifically Tuned Front/Rear Shock Absorbers, & FX4 Box Decal	\$	495	<input type="checkbox"/>

STIVERS FORD LINCOLN
4000 EASTERN BLVD
MONTGOMERY, AL 36116

COLOR OPTIONS:

Z1	Oxford White	NC	<input checked="" type="checkbox"/>
HX	Antimatter Blue	NC	<input type="checkbox"/>
M7	Carbonized Gray	NC	<input type="checkbox"/>
JS	Iconic Silver	NC	<input type="checkbox"/>
UM	Agate Black	NC	<input type="checkbox"/>
PQ	Race Red	NC	<input type="checkbox"/>
D1	Stone Gray	NC	<input type="checkbox"/>

INTERIOR OPTIONS:

AS	40/20/40 Vinyl Seats - Medium Dark Slate (XL)	XL Standard	<input checked="" type="checkbox"/>
1S	40/20/40 Cloth Seats - Medium Dark Slate (XL)	\$ 100	<input type="checkbox"/>
1S	40/20/40 Cloth Seats - Medium Dark Slate (XL-STX)	\$ 315	<input type="checkbox"/>
LS	40/Console/40 Vinyl Seat - Medium Dark Slate (XL)	\$ 355	<input type="checkbox"/>
4S	40/Console/40 Cloth Seat - Medium Dark Slate (XL)	\$ 515	<input type="checkbox"/>
3S	40/20/40 Cloth Seats - Medium Dark Slate (XLT)	XLT Standard	<input type="checkbox"/>
2S	40/Console/40 Cloth Seat - Medium Dark Slate (XLT)	\$ 300	<input type="checkbox"/>

STIVERS FORD PACKAGES:

LED	4 Corner LED Strobe Lights	\$ 665	<input type="checkbox"/>
FM1	Heavy Duty Rubber Floor Mats	\$ 199	<input type="checkbox"/>
TB1	Tool Box - Deep Well (18")	\$ 595	<input type="checkbox"/>
TB2	Tool Box - Standard (15")	\$ 525	<input type="checkbox"/>
BL1	Bed Liner - Drop In - (6-3/4 Bed)	\$ 315	<input type="checkbox"/>
BL4	Bed Liner - Drop In - (8' Bed)	\$ 335	<input type="checkbox"/>
BL2	Spray-in Bed Liner - (6-3/4" Bed)	\$ 695	<input type="checkbox"/>
BL3	Spray-in Bed Liner - (8' Bed)	\$ 695	<input type="checkbox"/>
TN1	Tonneau Cover - Non Folding Hardshell	\$ 1,895	<input type="checkbox"/>
TN2	Tonneau Cover - Retractable	\$ 1,685	<input type="checkbox"/>
TN3	Tonneau Cover - Tri Fold	\$ 1,389	<input type="checkbox"/>
BSL	Bed Slide	\$ 1,595	<input type="checkbox"/>
TG1	Liftgate - Maxon	Request	<input type="checkbox"/>
CAM	Camper Shell w/ Sliding Windows	\$ 2,930	<input type="checkbox"/>
BGW	Brush Guard Bumper w/ Winch	\$ 2,839	<input type="checkbox"/>

DELIVERY: State Contract Provisions for \$2.00 / mile one-way

180 Miles

360

Delivery Address: _____

TOTAL VEHICLE (Required)

\$44,388.00

Customer: _____

Contact: _____

Phone: _____

Email: _____

STATE CONTRACT TERMS: PAYMENT DUE AT TIME OF DELIVERY

SIGNATURE: (Required) _____

DATE (Required): _____

PURCHASE ORDER NUMBER: (Required)

QUANTITY (Required)



**CITY OF FAIRHOPE
PURCHASING DEPARTMENT
REQUEST FORM**

Name: Jeremy Little

Date: 11/17/2022

Department: Gas

Expenditure Threshold	Distinctions	Quotes Required	Approval	Green Sheet	Resolution
Under \$5,000	No restrictions	Not Required	N/A	N/A	N/A
\$5,001 and greater	Operational NON -Budgeted	Three	Council	Required	Required
\$5,001 – 7,500	Operational Budgeted	Three	Treasurer	N/A	N/A
\$7,501 - \$15,000	Operational Budgeted	Three	Finance/Treasurer/ Mayor	N/A	N/A

QUOTES

	Vendor Name	Vendor Quote
1.	Stivers Ford Lincoln	\$ 44,388.00
2.		\$
3.		\$

Check any applicable boxes: State Contract ALDOT Purchasing Group
 Sole Source (Attach Sole Source Justification)

ITEM OR SERVICE INFORMATION

- What item or service do you need to purchase? 2023 Ford F250 Super Crew
- What is the total cost of the item or service? \$44,388.00
- How many do you need? 1
- Item or Service Is: New Used Replacement Annual Request
- Vendor Name (Lowest Quote): Stivers For Lincoln
- Vendor Number: 28732

If you do not have a Vendor Number, please go to the City of Fairhope page: www.FairhopeAL.gov, Departments, Purchasing, Vendor Registration, and complete the required information.

BUDGET INFORMATION

- Is it budgeted? Yes No Emergency Request
- If budgeted, what is the budgeted amount? \$33,241.00 \$11,147.00 Over Budget. The Original truck was ordered in Dec 2021. Stivers confirmed in October that the original truck will not be delivered and must order a 2023 model.
- Budget code: 50470 Line 110

Email completed form with quotes and other supporting documentation to Cory.Pierce@FairhopeAL.gov and Rhonda.Cunningham@FairhopeAL.gov.

11/28/2022
ZAH



FRIENDS OF THE
FAIRHOPE PUBLIC
LIBRARY
501 Fairhope Ave.
Fairhope, AL
36532

November 28, 2022

Dear Fairhope City Council Members,

The Friends of the Fairhope Library are planning their major fund-raiser, Chocolate and Champagne Gala 2023 to be held in the Fairhope library. The date for this gala event is Saturday, February 4, 2023 from 6:30 to 9:00. We will be serving champagne and wine at the event.

We are excited to plan for this wonderful evening that generates significant funding for our library. We believe it is important to celebrate this evening in the facility that we are working to support, our fabulous library. We look forward to receiving approval from the city council to continue using the building for the Chocolate and Champagne Gala and to serve alcoholic beverages during the event at 501 Fairhope Avenue, Fairhope, Alabama, 36532.

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Respectfully,

Randal H. Wright