



**City of Fairhope
Board of Adjustments Agenda
5:00 PM
Council Chambers
April 18, 2022**

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Robert A. Brown

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

1. Call to Order
2. Approval of Minutes
 - March 21, 2022
3. Consideration of Agenda Items

A. BOA 22.04 Public hearing to consider the request of the Applicant, Rob Littleton, acting on behalf of the Owner, Patricia Niemeyer, for a 14' front setback variance as well as a 30' rear setback variance. The property is approximately 0.28 acres and is located at 863 Creek Drive.

PPIN #: 63531

4. Old/New Business
5. Adjourn

161 North Section Street

PO. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

www.fairhopeal.gov

Printed on recycled paper

The Board of Adjustments met Monday, March 21, 2022, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Anil Vira, Chairman; Cathy Slagle; Frank Lamia; Donna Cook; Hunter Simmons, Planning and Zoning Manager; Casey Potts, City Planner; and Allie Knutson, Secretary.

Absent: Mike Baugh.

Chairman Vira called the meeting to order at 5:01 PM.

Approval of Minutes

Frank Lamia made a motion to approve the minutes from the January 20, 2022, meeting.

Cathy Slagle seconded the motion and the motion carried unanimously with the following vote:

Aye: Anil Vira, Cathy Slagle, Frank Lamia, and Donna Cook.

Nay: None.

**BOA 22.03 Public hearing to consider the request of the Applicant, Cowles, Murphy, Glover & Associates, acting on behalf of the Owner, Robert M. Green, Jr., for a Special Exception to allow for a Medical Clinic Use for property zoned B-2, General Business District. The property is approximately 1.66 acres and is located on the west side of US Highway 98, south of Hoyle Avenue.
PPIN#: 17231**

Hunter Simmons, Planning and Zoning Manager, presented the case summary.

The applicant desires to develop the subject property of Fairhope Urology as a Clinic, which is allowed only on appeal and subject to special conditions. A Site Plan review and a Minor Subdivision review was considered at the March 2022 Planning Commission for the Fairhope Urology project. The Planning Commission approved the Minor Subdivision to create four lots and made a recommendation to the City Council to approve the Site Plan. The Site Plan is tentatively scheduled to be reviewed by the City Council on April 11, 2022.

The Planning Department did receive a few comments from neighbors regarding drainage, but drainage is not something that would be reviewed during a Special Exception case and was reviewed during the minor subdivision case at Planning Commission.

Frank Lamia asked where the water travels and where the line of the B-2 and R-1 zoning was.

Mr. Simmons stated that the water drains to the southwest and there is an existing ALDOT drainage easement on the southern portion of the property. Mr. Simmons showed what was zoned B-2 and R-1 and where the buffer would be to protect the residential zoning from the B-2 zoning. The drainage easement is located on the R-1 zoned property that prevents it from being built on in the future.

Recommendation:

Staff recommends approval of BOA 22.03 for the Special Exception for clinic use for Fairhope Urology.

Donna Cook stated that she was concerned about the parking.

Mr. Simmons stated that they meet the parking requirements per the Zoning Ordinance.

Chairman Vira opened the Public Hearing. Having no one present to speak, the Public Hearing was closed.

Motion:

Frank Lamia made a motion to approve Case BOA 22.03.

Cathy Slagle seconded the motion and the motion carried unanimously with the following vote:

Aye: Anil Vira, Cathy Slagle, Frank Lamia, and Donna Cook.

Nay: None.

Old/New Business

Mr. Simmons stated that there would be one case on the agenda for next month.

Adjournment

Cathy Slagle made a motion to adjourn, and the motion carried unanimously with the following vote:

Aye: Anil Vira, Cathy Slagle, Frank Lamia, and Donna Cook.

Nay: None.

Adjourned at 5:18 p.m.

Anil Vira, Chairman

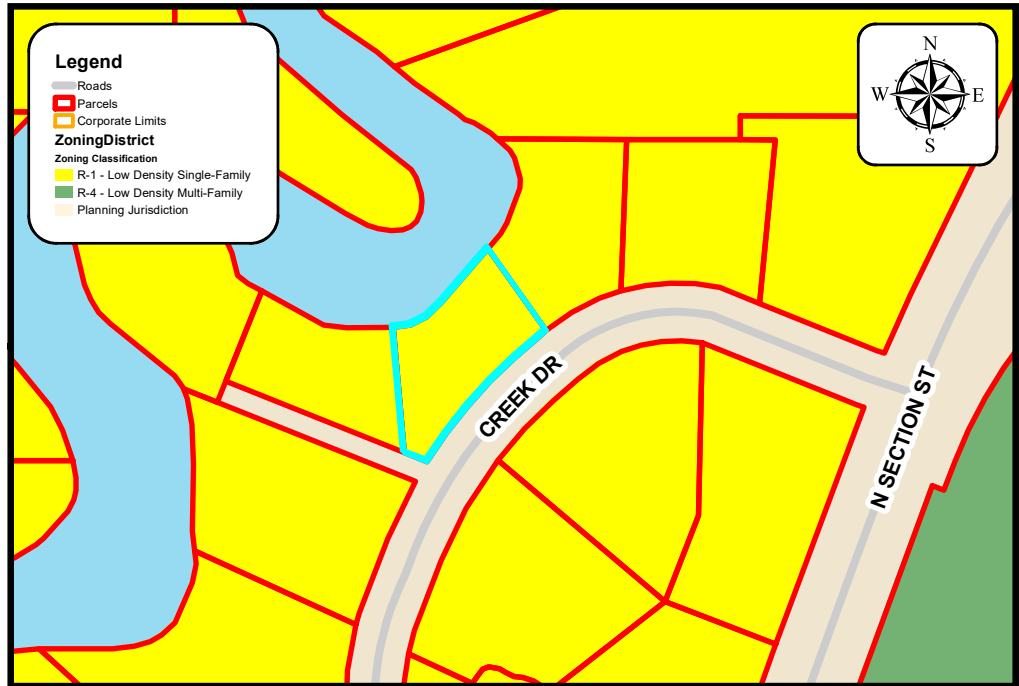
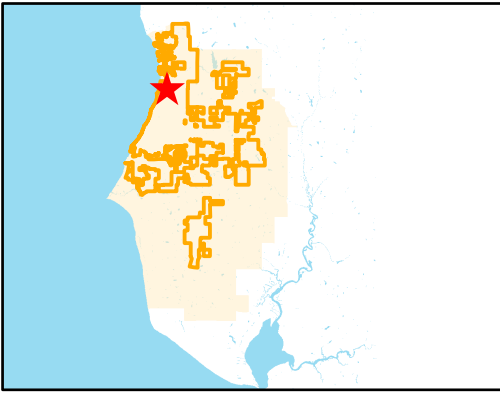
Allie Knutson, Secretary

City of Fairhope Board of Adjustments

April 18, 2022



BOA 22.04 - 863 Creek Drive



Project Name:

863 Creek Drive

Site Data:

Appx. 0.28 Acres

Project Type:

14' Front Setback and 30' Rear Setback
Variance

Jurisdiction:

City of Fairhope

Zoning District:

R-1

PPIN Number:

63531

General Location:

North Side of Creek Drive West of N
Section Street

Surveyor of Record:

Rowe Engineering and Surveying, Inc.

Engineer of Record:

Rowe Engineering and Surveying, Inc.

Owner / Developer:

Patricia Niemeyer

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Denial

Prepared by:

Casey Potts





APPLICATION FOR BOARD OF ADJUSTMENTS

Application Type: Administrative Appeal Special Exception Variance

Property Owner / Leaseholder Information

Name: PATRICIA NIEMEYER Phone Number: 251-209-8738
 Street Address: 302 POPLAR PL.
 City: FAIRHOPE State: AL Zip: 36532

Applicant / Agent Information

If different from above.
Notarized letter from property owner is required if an agent is used for representation.

Name: ROBLITTLETON Phone Number: 229-8058
 Street Address: 302 POPLAR PL
 City: FAIRHOPE State: AL Zip: 36532

Site Plan with Existing Conditions Attached: YES NO
 Site Plan with Proposed Conditions Attached: YES NO
 Variance Request Information Complete: YES NO
 Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached: YES NO

Applications for Administrative Appeal or Special Exception:

Please attach as a separate sheet(s) information regarding the administrative decision made or information regarding the use seeking approval. Please feel free to be as specific or as general as you wish in your description. This information will be provided to the Board before the actual meeting date. It is to your benefit to explain as much as possible your position or proposal.

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

PATRICIA NIEMEYER
 Property Owner/Leaseholder Printed Name

3/14/2022
 Date

[Signature]
 Signature

Fairhope Single Tax Corp. (If Applicable)

RECEIVED

MAR 14 2022

BY: au



RECEIVED

MAR 14 2022

BY: Ally

VARIANCE REQUEST INFORMATION

What characteristics of the property prevent / preclude its development?:

- Too Narrow
- Too Small
- Too Shallow
- Elevation
- Slope
- Shape
- Soil
- Subsurface
- Other (specify)

Describe the indicated conditions: THE LOT HAS AN UNUSUAL PIE SHAPE WHERE # 40' FRONT & REAR SET BACK MEET EACH OTHER OVER MOST OF THE LOT.

How do the above indicated characteristics preclude reasonable use of your land?
A FRONT & REAR SET BACK OF 40' DOES NOT LEAVE ENOUGH BUILDABLE AREA. THE LOT HAS ALSO LOST A LOT OF SQUARE FOOTAGE DUE TO ERRISON.

What type of variance are you requesting (be as specific as possible)?
REDUCING THE FRONT SET BACK FROM 40' TO 30'
ALLOW ROOF OVERHANG & CANTILEVER PAST SET BACK 4'.
AND REDUCING THE REAR SET BACK FROM 40' TO 5'

14' FRONT
30' REAR
MIS//.

Hardship (taken from Code of Alabama 1975 Section 11-52-80):

"To authorize upon appeal in specific cases such variance from the terms of the (zoning) ordinance as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provision of the (zoning) ordinance will result in unnecessary hardship and so that the spirit of the (zoning) ordinance shall be observed and substantial justice done."

BOA Fee Calculation:		
	Residential	Commercial
Filing Fee:	\$100	\$500
Publication:	\$20	\$20
TOTAL:	\$	

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

PETRICHA NIEMEYER
 Property Owner/Leaseholder Printed Name

13/14/2022
 Date

[Signature]
 Signature

Fairhope Single Tax Corp. (If Applicable)

The applicant, Rob Littleton, on behalf of the Owner, Patricia Niemeyer, is requesting a 30' variance to the rear setback and a 14' variance to the front setback on Lot K of the Volanta View Number 2 Subdivision. The property is zoned R-1 Low Density Single-Family Residential District. If approved, the rear setback for Lot K would be 5' in lieu of the required 35' and the front setback would be 26' in lieu of the required 40'.

This property was considered by the Board of Adjustments in BOA Case 14.01. In 2014, the applicant requested a 30' variance to the rear setback and a 10' variance to the front setback on Lot K of the Volanta View Number 2 Subdivision. Due to the shape of the subject property, staff recommended the Board of Adjustments approve the thirty-foot rear setback and the ten-foot front setback variance request. The Board of Adjustments approved the variance request, per staff recommendation.

Current BOA Case 22.04 makes a similar request. The difference is the front setback variance request. Figure 1 details the proposed dwelling layout on the site in relation to the variances granted in BOA Case 14.01. The proposed site plan indicates that the dwelling is 26' from the front property line. As such, the applicant requests a 14' variance of the front setback, which is more than the 2014 BOA variance requested.

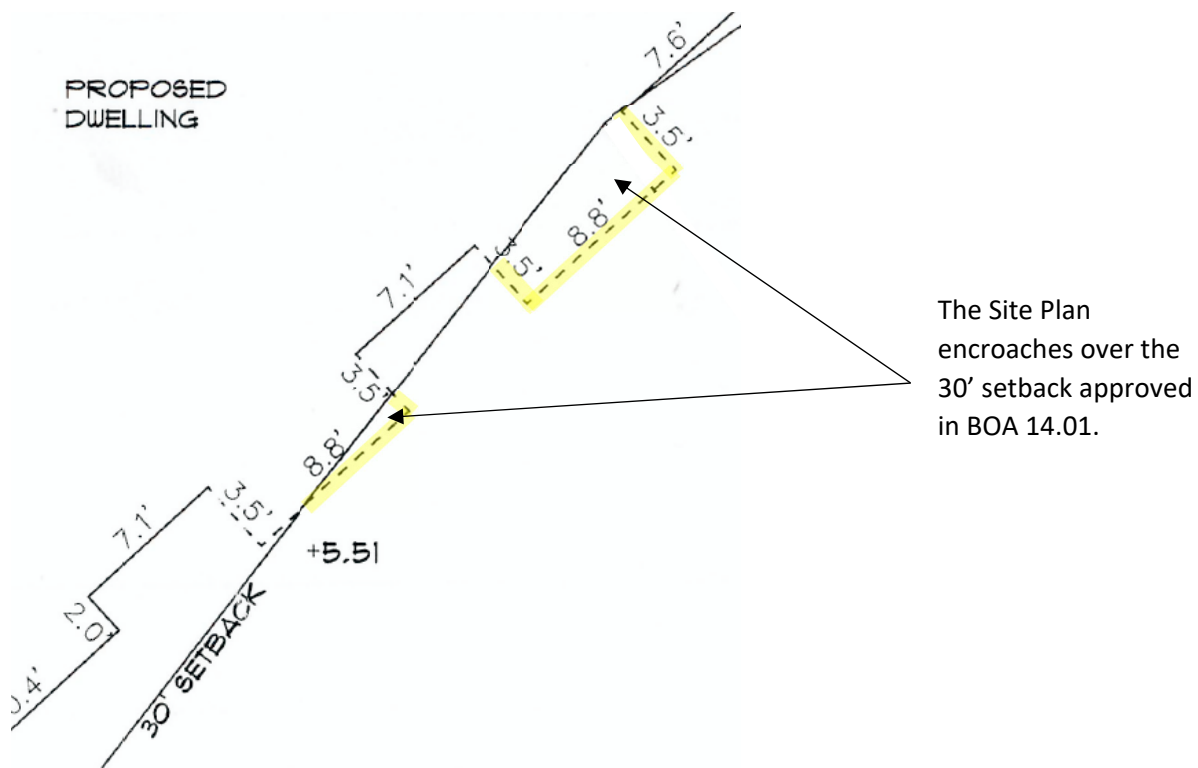


Figure 1: Encroachment of the Site Plan on the 2014 30' Front Setback

The Zoning Ordinance states that, “prior to granting a variance, the Board shall find that...there are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography” (Article II, Section A, 4.d.(3)(a)). As cited in

BOA 14.01, the subject property is oddly shaped, creating a hardship due to the dimensions the property. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its shape.

When discussing topography, however, there is no hardship. As shown in Figure 2, the site experiences three feet in total topography change over the entire site.

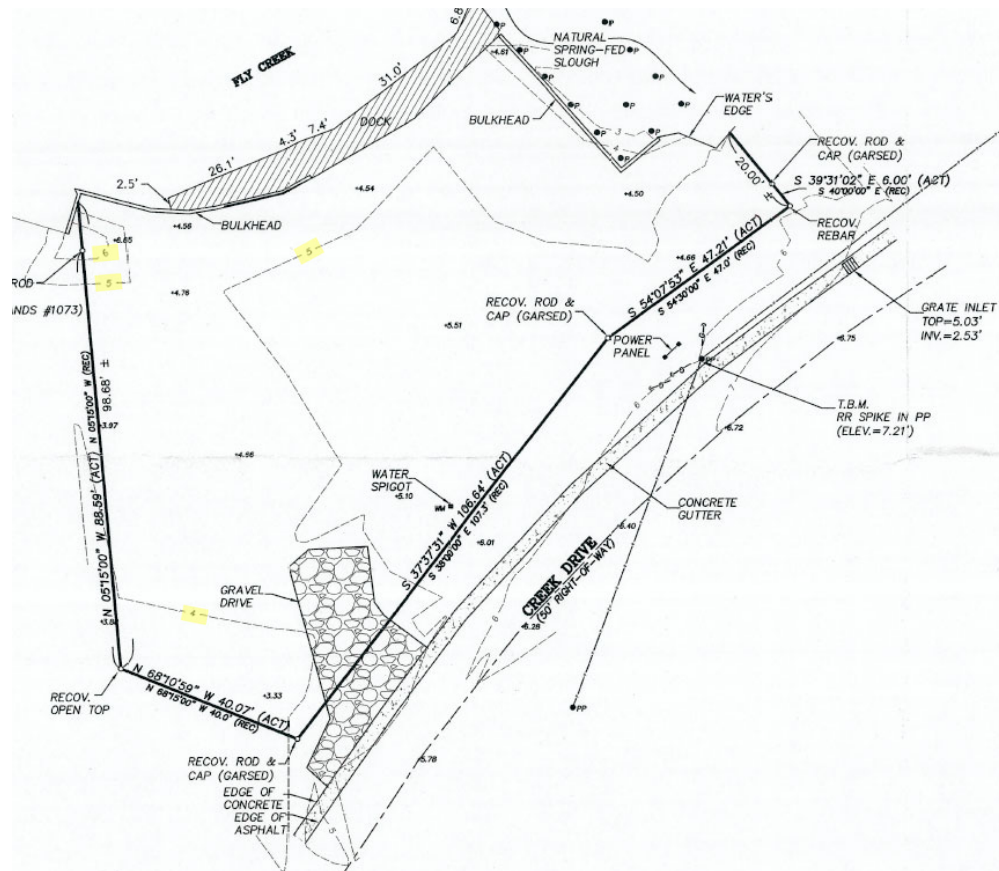


Figure 2: Site Topography

Since topography is not an issue, translation of any structure on site is possible. Figure 3 shows an adjusted site plan that translates the proposed dwelling within the setbacks as they were approved in 2014. The 20' wetland buffer is scaled in as well.

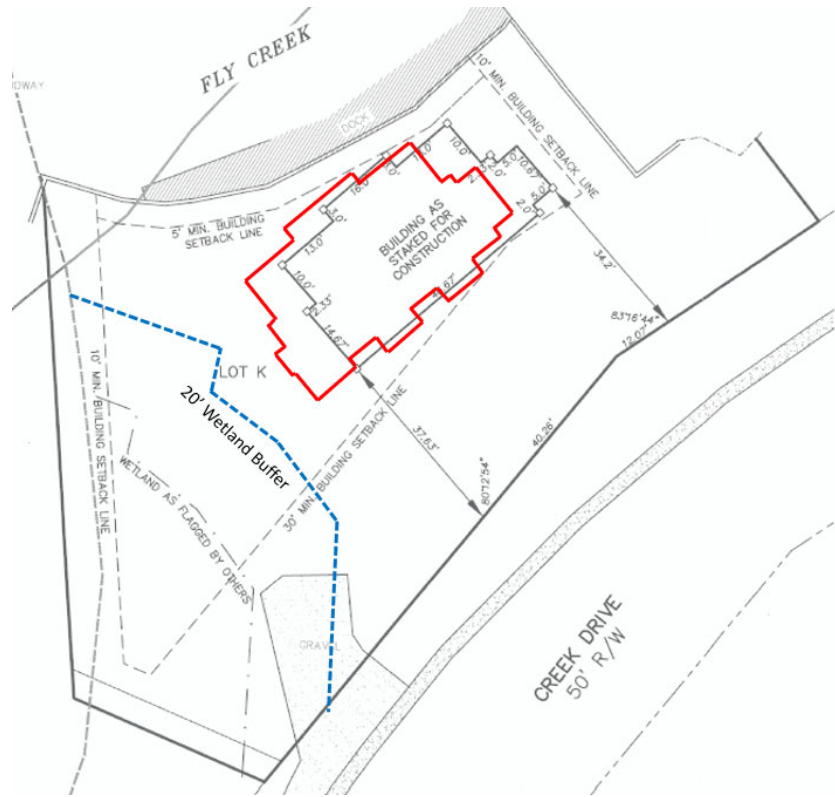


Figure 3: Adjusted Site Plan

For reference, building elevations are included below in Figure 4.

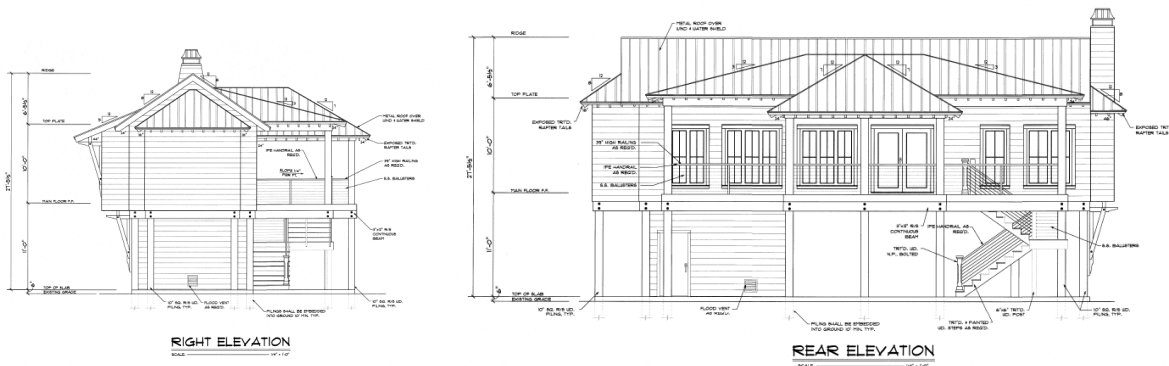


Figure 4: Building Elevations

Due to the fact that topography would allow for translation of a structure within the building setbacks, staff recommends DENIAL of BOA 22.04. Staff does not support the variance to the front setback of 14 feet. However, staff supports a variance to the front setback of 10 feet and a variance to the rear setback of 30 feet, as originally approved in BOA 14.01.

Analysis and Recommendation: Variance Criteria

(a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography.

Response: The lot shape is not typical. The lot has an unusual pie shape where a 40' front and rear set back meet each other over most of the lot. A portion of the area that does not have overlapping front and rear setbacks contains wetlands.

(b) The application of the ordinance to this particular piece of property would create an unnecessary hardship. Personal financial hardship is not a justification for a variance.

Response: Staff maintains agreement with the recommendation made in BOA 14.01.

(c) Such conditions are peculiar to the particular piece of property involved; and

Response: The triangular shape of the subject property, combined with the wetlands, is unique.

(d) Relief, if granted, would not cause substantial detriment to the public good and impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

Response: Staff does not believe that granting the variance would cause substantial detriment to the public good or impair the purpose and intent of the ordinance.

Recommendation:

Staff recommends DENIAL of BOA 22.04. Staff does not support the variance to the front setback of 14 feet. However, staff supports a variance to the front setback of 10 feet and a variance to the rear setback of 30 feet, as originally approved in BOA 14.01.

Zoning Ordinance Requirements:

The City of Fairhope Zoning Ordinance defines a variance as follows:

Variations: A modification of the strict terms of the relevant regulations in a district with regard to placement of structures, developmental criteria or provision facilities. Examples would be: allowing smaller yard dimensions because an existing lot of record is of substandard size; waiving a portion of required parking and/or loading space due to some unusual circumstances; allowing fencing and/or plant material buffering different from that required due to some unusual circumstances. Variations are available only on appeal to the Board of Adjustment and subject to satisfaction of the standards specified in this ordinance.

The Board of Adjustments is authorized to grant variances through Article II.A.d(3) which says the following:

d. Duties and Powers: The Board shall have the following duties and powers:

(3) Variations - To authorize upon appeal in specific cases variance from the terms of this ordinance not contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this ordinance will, in an individual case, result in unnecessary hardship, so that the spirit of this ordinance shall be observed, public safety and welfare secured, and substantial justice done.

Prior to granting a variance, the Board shall find that:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- (b) The application of this ordinance to the particular piece of property would create an unnecessary hardship;
- (c) Such conditions are peculiar to the particular piece of property involved; and,
- (d) Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

The Ordinance provides guidance for variance requests through the following criteria:
Article II.C.3.e.

Criteria – (1) An application for a variance shall be granted only on the concurring vote of four Board members finding that:

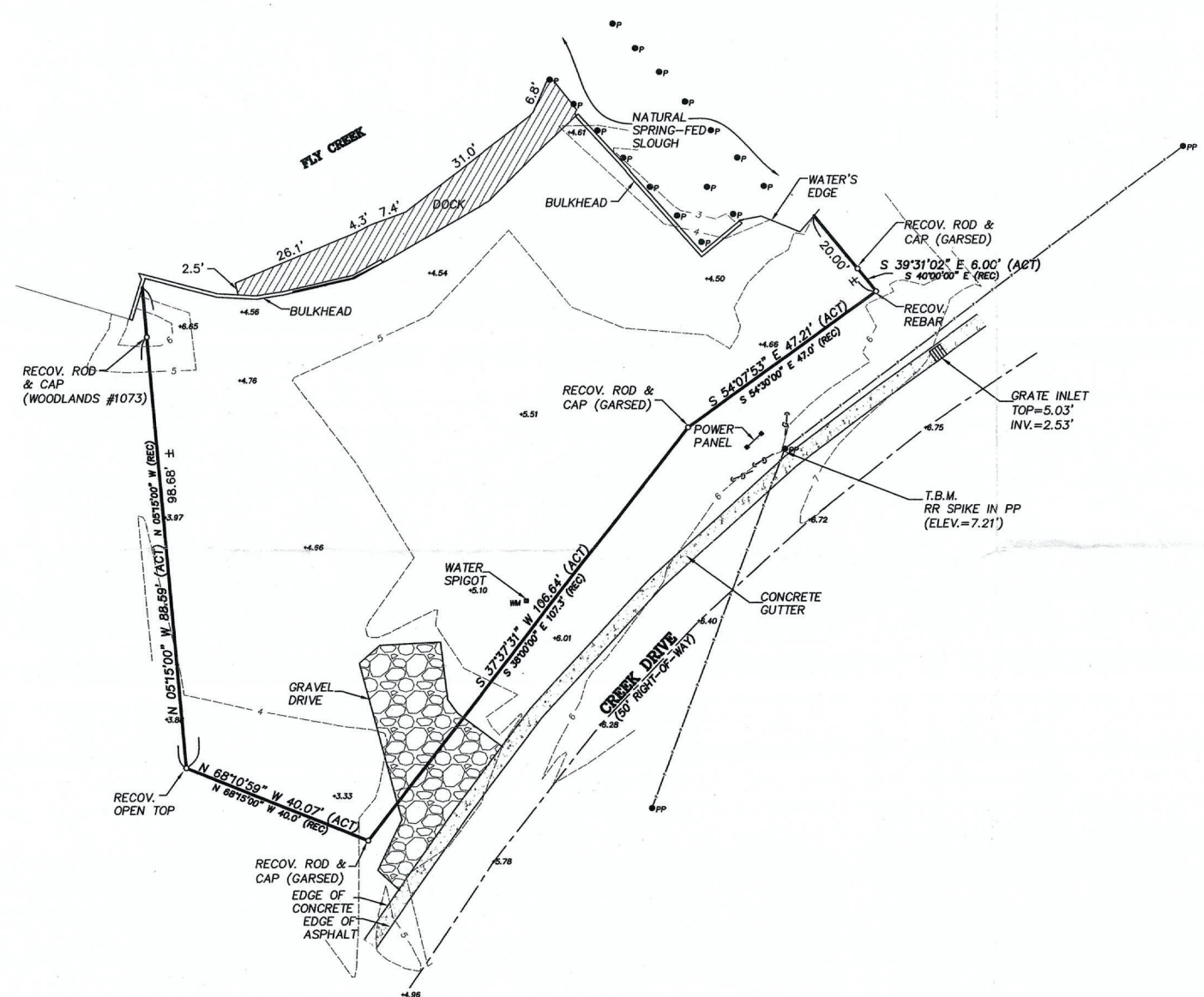
- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- (b) The application of the ordinance to this particular piece of property would create an unnecessary hardship. Personal financial hardship is not a justification for a variance.
- (c) Such conditions are peculiar to the particular piece of property involved; and
- (d) Relief, if granted, would not cause substantial detriment to the public good and impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

When a variance is granted by the Zoning Board of Adjustment it has the following effect:

Article II.C.3.g.

Effect of Variance - Any variance granted according to this section and which is not challenged on appeal shall run with the land provided that:

- (1) The variance is acted upon according to the application and subject to any conditions of approval within 365 days of the granting of the variance or final decision of appeal, whichever is later; and
- (2) The variance is recorded with the Judge of Probate.



LEGEND

- PP POWER POLE
- P PILING
- G-> GUY WIRE
- METER PANEL
- GRATE INLET
- WM WATER METER
- - - CONTOUR
- P- OVERHEAD POWER LINE
- SET ROD & CAP SET 5/8" REBAR & CAP CA-1064-LS
- RECOV. ROD & CAP (ROWE) 5/8" REBAR & PLASTIC CAP #CA-1064-LS
- +5.51 SPOT GRADE

0 20 40

- NOTES:
- 1.) Basis of Bearing: West line of Lot K, Volanta View No. 2
 - 2.) Type of Survey: Boundary & Topographic
 - 3.) Field Date: June 14, 2018
 - 4.) All corners are noted.
 - 5.) This drawing does not reflect an easement or title search by the surveyor. Easements or Claims of easements may exist.
 - 6.) Line labeled water's edge on this plat does not represent a rigorous determination of the Mean high water line. The mean high water line is the delineation between privately held property and the waters of the United States of America and or the State of Alabama.

LEGAL DESCRIPTION

STATE OF ALABAMA)
COUNTY OF BALDWIN)

Lot K, Volanta View No. 2 Subdivision as recorded in Map Book 5, Page 162, Probate Records, Baldwin County, Alabama.

I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

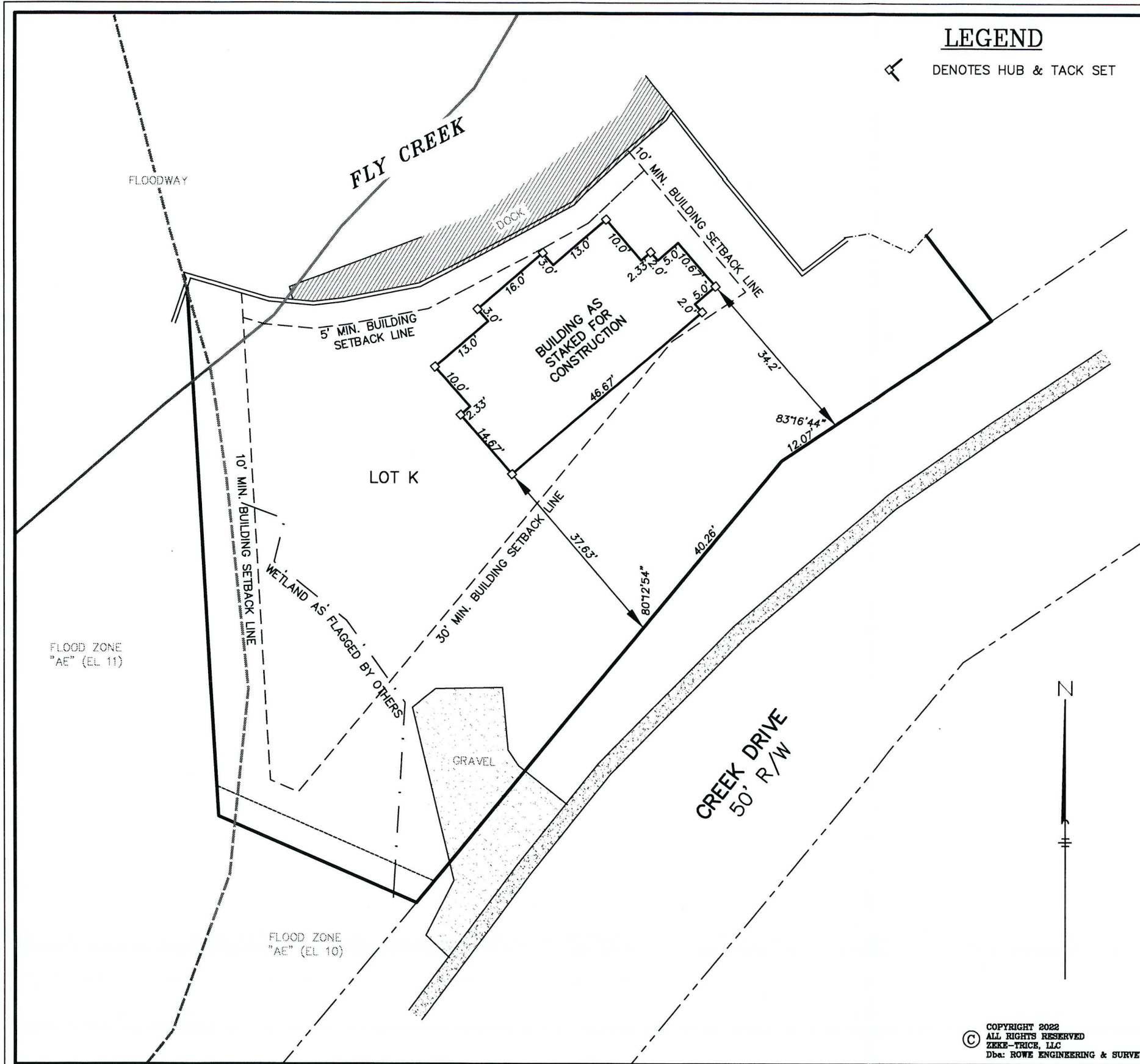
This is to state that I have consulted the Fema Flood Insurance Rate Map No. 01003C0642L, dated July 17, 2007, and found that the above described property now is located in Flood Hazard Area "AE" (EL. 11) as determined by graphic scaling.

[Signature] Survey Date: 06/14/18
Cecil T. Hudson, PLS
Alabama Licensed Professional
Land Surveyor No. 29983-S
Prints not valid unless they bear an original seal

RECEIVED
MAR 14 2022
BY: *[Signature]*

Part 22.04 only copy

REVISIONS:	BOUNDARY AND TOPOGRAPHIC SURVEY OF LOT K, VOLANTA VIEW NO. 2		
	PREPARED FOR ROB LITTLETON		
	ROWE ENGINEERING & SURVEYING, INC. A HIGHLAND TECHNICAL SERVICES COMPANY CONSULTING ENGINEERS ALABAMA CA-1064-LS FLORIDA LB-8101-PS MISSISSIPPI CA-26105-LS 3502 LAUGHLIN DRIVE SUITE B MOBILE, ALABAMA 36689 PHONE 251-666-2786 FAX 251-666-1040		
ACAD: 50840	JOB: 50840	PLAT DATE:	SCALE:
INCAD:	FB: 1971/41-42	JUNE, 14, 2018	1" = 20'
		CHECKED BY:	
		CTH	



LEGEND

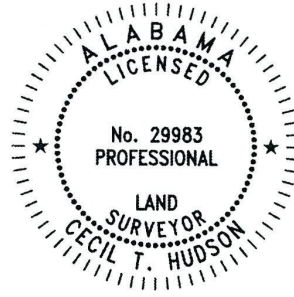
⚓ DENOTES HUB & TACK SET

NOTES:

- 1.) Type of Survey: Construction Stakeout.
- 2.) Field Date(s): January 19, 2022.
- 3.) Bearing Basis: Referenced to Alabama State Plane Coordinate System West Zone (102) NAD 83(2011) established by RTK GPS utilizing ALDOT Net as a continuously operating reference station.
- 4.) All corners are as noted.
- 5.) Setback lines shown on this plat are taken from Fairhope Board of Adjustment Letter dated 1/21/2014 as provided by client.
- 6.) This drawing does not reflect an easement or title search by the surveyor. Easements or Claims of easements may exist.
- 7.) Line labeled waters edge on this plat do not represent a rigorous determination of the mean high water line. The mean high water line is the delineation between privately held property and the waters of the United States of America and or State of Alabama.
- 8.) The Alabama Department of Conservation and Natural Resources Administrative Code Chapter 220-4-.09, Paragraph 12, states that a setback 10 feet from the Riparian Line of adjacent property owners shall be required.

LEGAL DESCRIPTION

STATE OF ALABAMA)
 COUNTY OF BALDWIN)
 Lot "K", Volanta View, No. 2, as recorded on Slide 407-B,
 Probate Court Records, Baldwin County, Alabama.

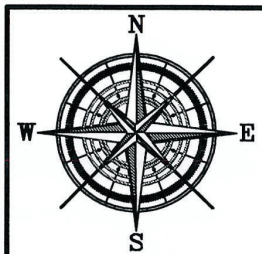


This is to state that I have consulted the Federal Insurance Administration Flood Hazard Boundary Map No. D1003C0642 M, and dated April 19, 2019, and found that the above described property now is located in Flood Hazard Areas "AE" (EL 10) & "AE" (EL 11) as determined by graphic scaling.

Cecil T. Hudson
 Cecil T. Hudson, PLS
 Alabama Licensed Professional
 Land Surveyor No. 29983-S
 Prints not valid unless
 they bear an original seal

Date: **JANUARY 19, 2022**

AS STAKED BUILDING



ROWE
 ENGINEERING & SURVEYING
 CONSULTING ENGINEERS

3502 LAUGHLIN DR • SUITE B • MOBILE, AL 36693
 PHONE 251-666-2766 • FAX 251-660-1040

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 ALL RIGHTS RESERVED
 ZEKI-PRICE, LLC
 Dba: ROWE ENGINEERING & SURVEYING

DRAWING: 51888.dwg
 DRAWN BY: WJM
 SCALE: 1" = 20'

JOB: 51888
 FB: 2019/21
 TAX: 46-03-08-0-002-012.000
 PLAT DATE: 1/27/2022

CHECKED
 BY: CTH

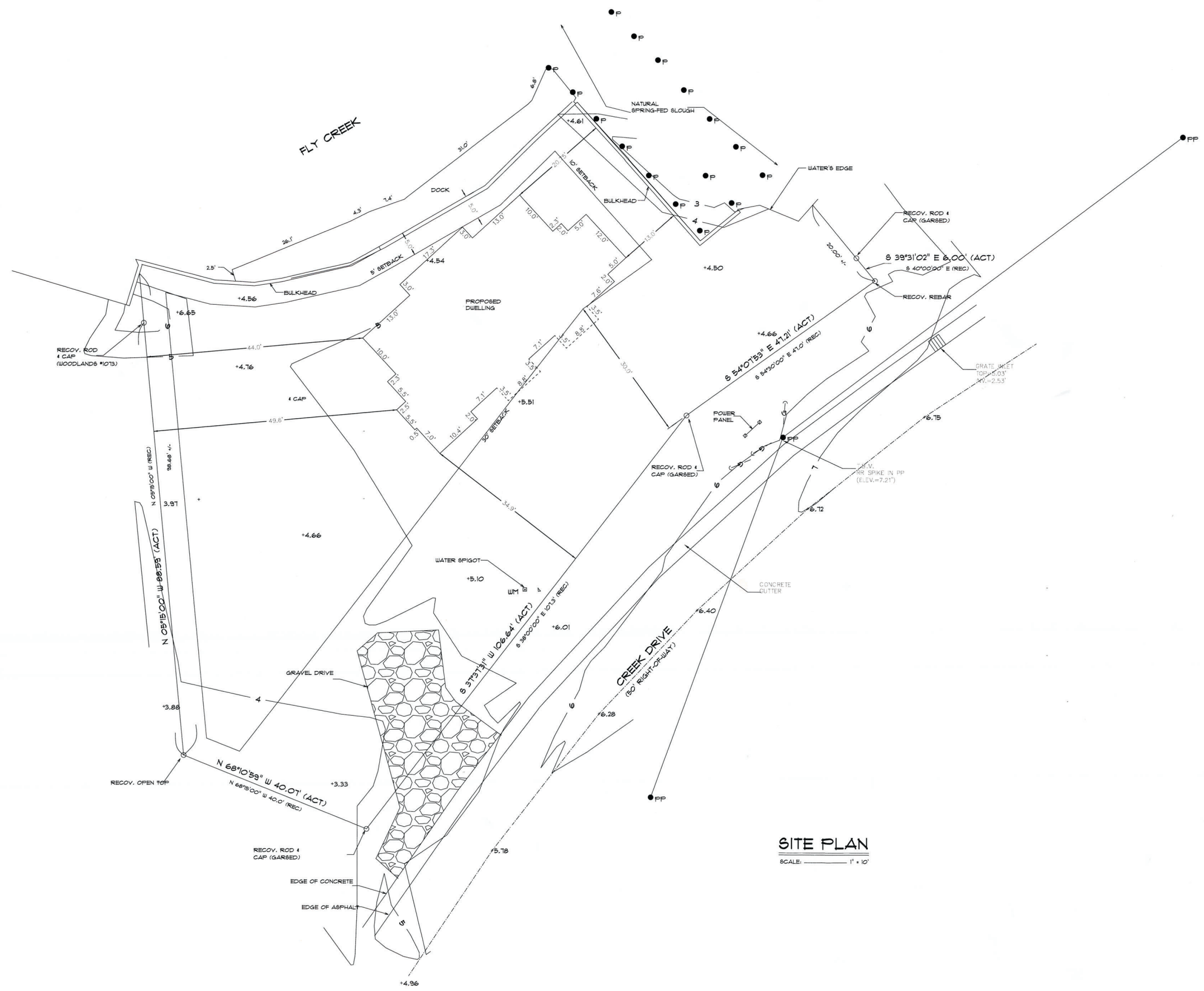
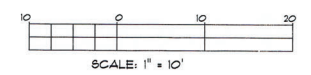
RECEIVED

MAR 14 2022
 BY: *AK*
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LEGEND

- PP POWER POLE
- P PILING
- GUY WIRE
- METER PANEL
- GRATE INLET
- ⊞ WATER METER
- CONTOUR
- OVERHEAD POWER LINE
- SET ROD 1/2" CAP (GARBED)
- RECOV. ROD 1/2" CAP (ROBE)
- 5/8" REBAR 1 PLASTIC CAP (CA-104-L5)
- + 5.51 SPOT GRADE



SITE PLAN
SCALE: 1" = 10'

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PATRICIA NEMEYER AND ROB LITTLETON
LOT K, VOLANTA VIEW NO. 2 SUBDIVISION
BALDWIN, ALABAMA

PRELIMINARY PLANS: 05/04/21
PROGRESS SET: 06/11/21
FINAL REVIEW: 6/14/21
FINAL PRINT: 6/28/21

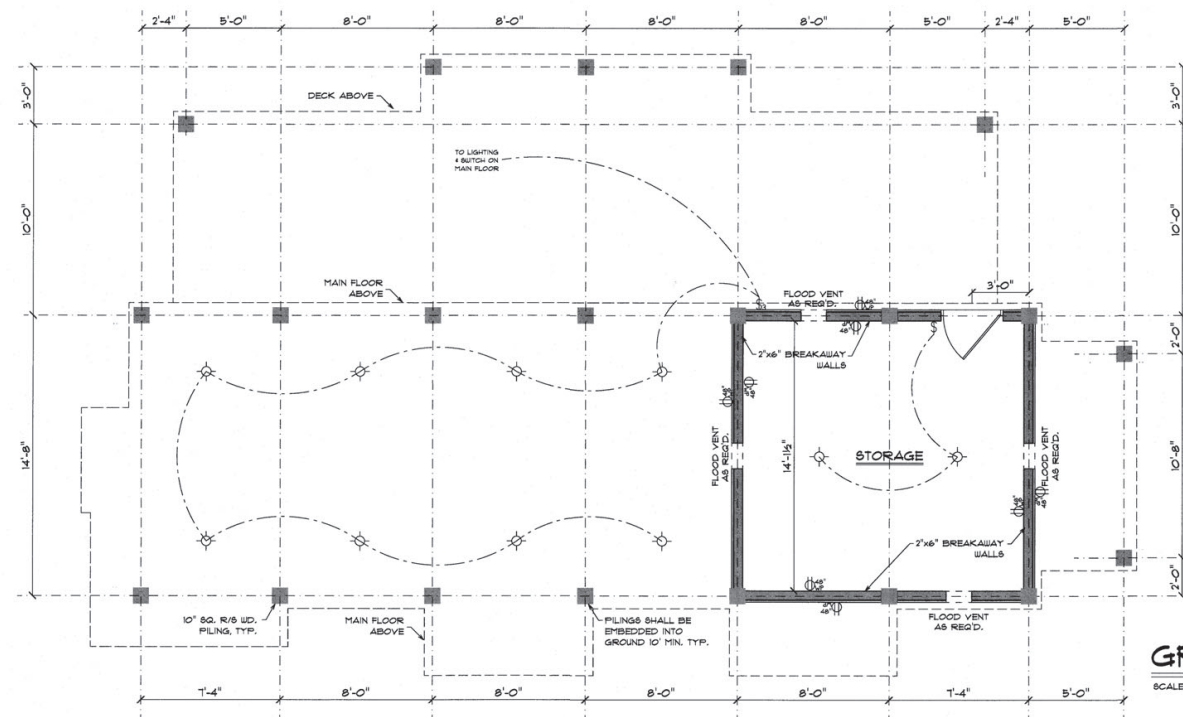
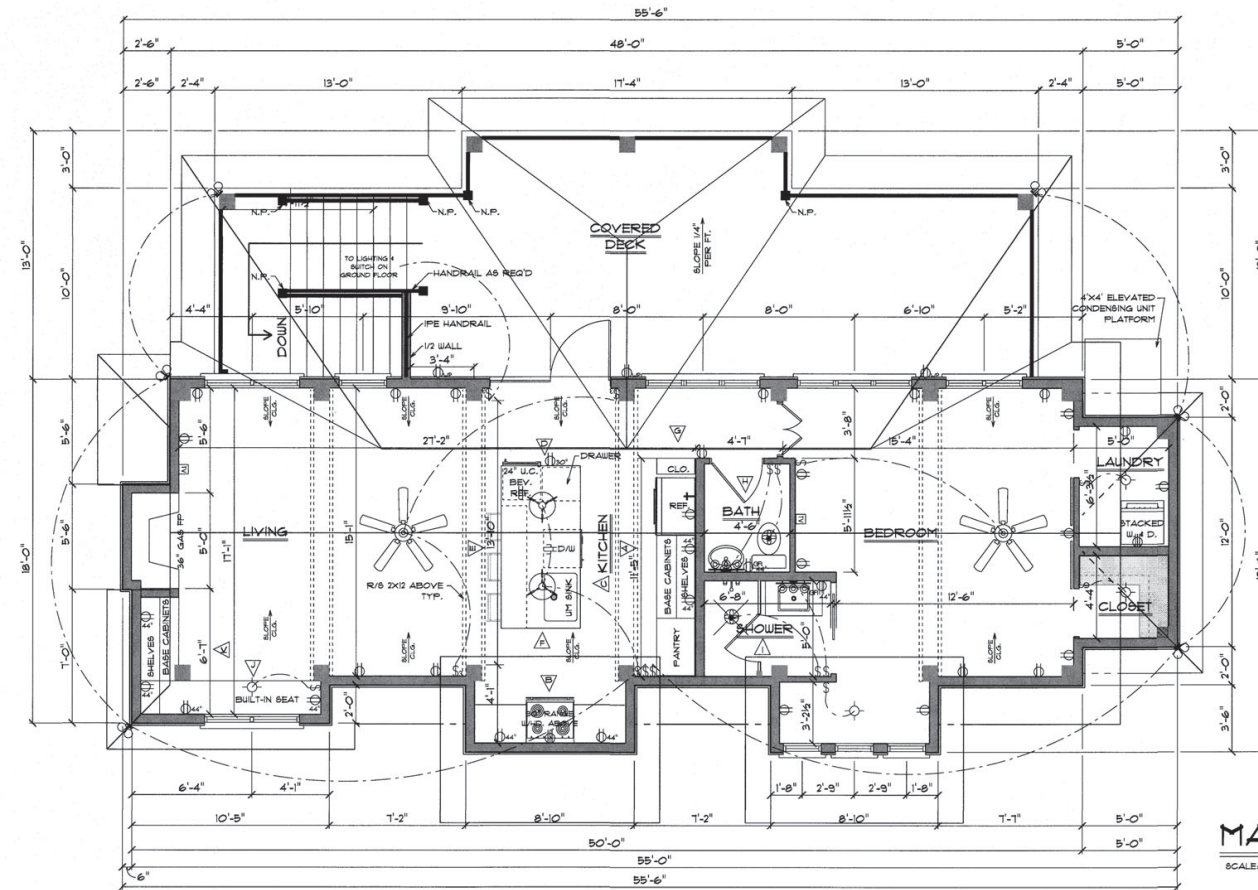
RECEIVED
MAY 14 2022
BY: CLK
BOB 22-04
only copy

CHATHAM HOME PLANNING DAPHNE, ALABAMA	
BOBCHATHAM.COM	
Date: 06/28/21	Drawn By: E. J. DOYLE
Scale: 1" = 10'	Sheet Number: 00
Plan Number: IIII-A-1	

copyright 2020 CHATHAM HOME PLANNING

ELECTRICAL	SYMBOL
OUTLET	
OUTLET GFI	
OUTLET WATERPROOF	
OUTLET 220V	
UNDER CABINET STRIP OUTLETS (GFI AS REQ'D. BY CODE)	
SWITCH	
SWITCH 3 WAY	
SWITCH 4 WAY	
RECESSED LIGHT 4"	
WALL SCONCE	
WALL SCONCE	
WALL SCONCE	
FUSH MOUNT CLG. LT.	
UNDERCOUNTER LIGHT	
CABLE TV OUTLET	
FAN/LIGHT COMBO, RECESSED CAN	
SMOKE & CARBON MONOXIDE DETECTOR	
JUNCTION BOX	
FLOOD LIGHT	
CARRIAGE LIGHT	
PENDANT	
CHANDELIER	
CEILING FAN	

DIMMER SWITCHES TO BE USED, COORD. LOC'S. W/OWNER



NOTE:
Great care and effort have gone into the creation of the design of these plans. However, because of the impossibility of providing any personal and/or "on-site" consultation and supervision over the actual construction, and because of the great variance in local building code requirements, and other local building and weather conditions, designer assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in the design, blueprints, or specifications. For soil and/or weather conditions (i.e. hurricanes, earthquakes, etc.) it is recommended that you consult a local engineer of your choice and check with your local building officials prior to start of actual construction. These drawings are not to be copied or reproduced without written permission from CHATHAM HOME PLANNING.

NOTE:
Contractor shall verify the accuracy of all dimensions, ceiling heights, beam and joist designations, complying with all code requirements, and the provisions for duct layout, heating and air conditioning systems, and proposed electrical & plumbing layouts prior to commencement of construction.

NOTE: ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS AS PER "IRC" SECTION R308.4.

NOTE: WINDOW DESIGNATION 3060 C + 3'-0" x 6'-0" CASEMENT VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.
DOOR DESIGNATION 3080 + 3'-0" x 8'-0". VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE: ALL FLASHING AROUND WINDOWS & DOORS SHALL BE INSTALLED AS PER CODE TO PREVENT MOISTURE PENETRATION.

ALL ROOF FLASHING, SIDING FLASHING, EAVE & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.

NOTE: AREAS ARE TAKEN TO OUTSIDE OF FRAME WALL.

NOTE: ALL EXTERIOR LIGHTING SHALL MEET ALL CODES & ORDINANCES IN ACCORDANCE WITH FISH, WILDLIFE, & MARINE TURTLE CONSERVATION.

BUILDER & OWNER TO DETERMINE LOCATION OF ALL MECHANICAL EQUIPMENT, DISTRIBUTION SYSTEM, & RETURN AIR SYSTEM

AREAS:

MAIN FLOOR LIVING	934 SQ. FT.
GROUND FLOOR STORAGE	216 SQ. FT.
COVERED DECK	485 SQ. FT.
TOTAL UNDER ROOF:	1,635 SQ. FT.

10'-0" TOP FLOOR CLG. HGT.
10'-0" MAIN FLOOR CLG. HGT.
10'-0" GROUND FLOOR CLG. HGT.

PATRICIA NEHEYER AND ROB LITTLETON
LOT 6, VOLANTA VILLI NO. 2 SUBDIVISION
BALDWIN, ALABAMA

PRELIMINARY PLANS: 05/21/21
PROGRESS SET: 06/11/21
FINAL REVIEW: 6/14/21
FINAL PRINT: 6/28/21

CHATHAM HOME PLANNING		BOBCHATHAM.COM	
Date: 06/28/21	Drawn By: E. J. DOYLE	Sheet Number: 02	c h p
Scale: 1/4" = 1'-0"	Plan Number: IIII-A-1		

NOTE: ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS AS PER "IRC" SECTION R308.4.

NOTE: WINDOW DESIGNATION 3040 C x 3'-0" x 6'-0" CASHEMENT VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE: DOOR DESIGNATION 3040 x 3'-0" x 6'-0". VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

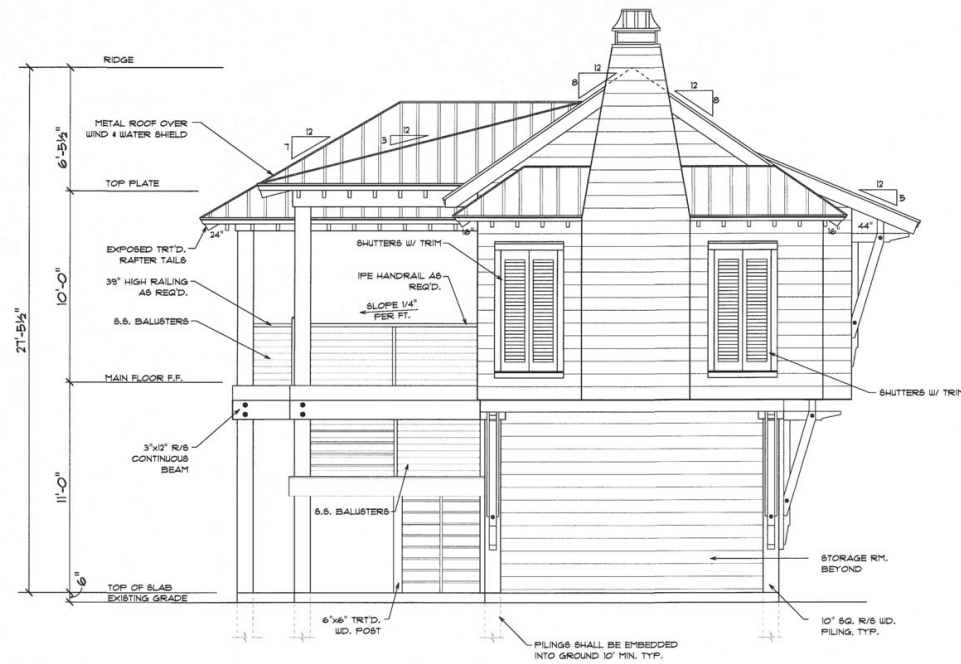
NOTE: ALL FLASHING AROUND WINDOWS & DOORS SHALL BE INSTALLED AS PER CODE TO PREVENT MOISTURE PENETRATION.

NOTE: ALL ROOF FLASHING, SIDEWALL FLASHING, EAVE & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.

NOTE: BUILDER SHALL INSTALL ADEQUATE ATTIC VENTILATION.

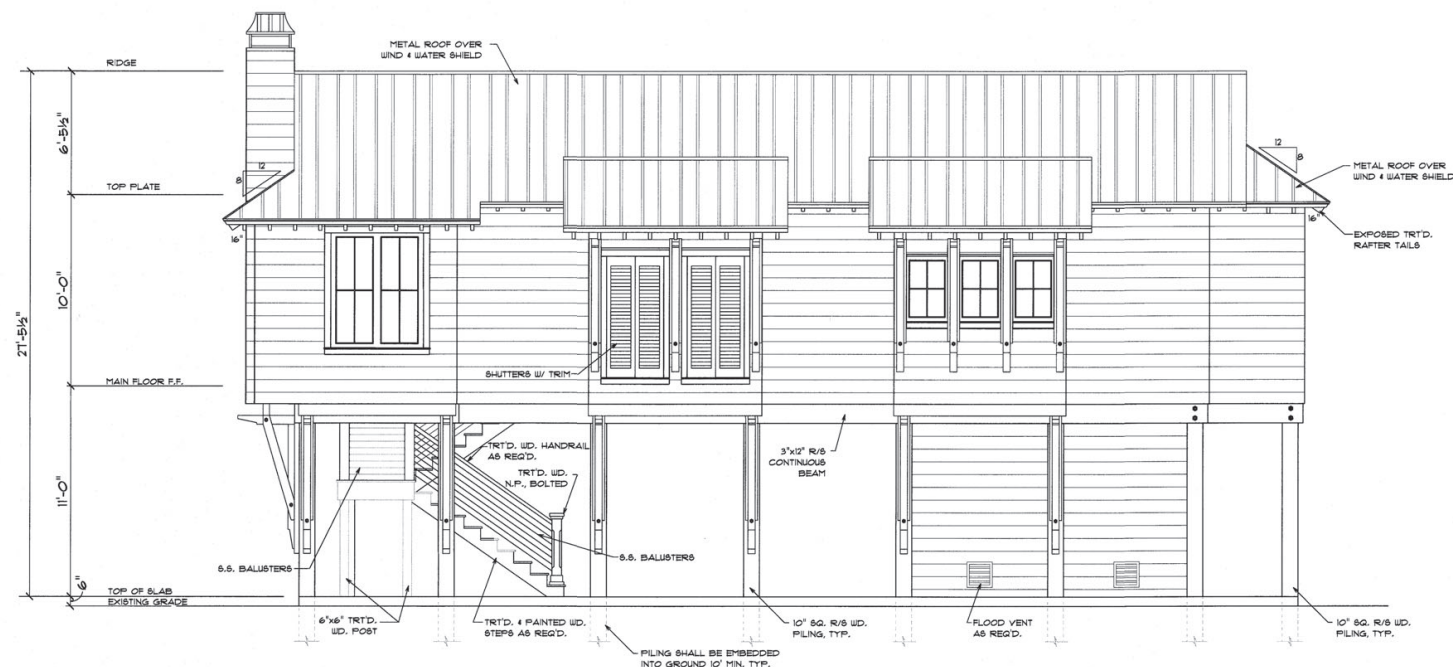
NOTE: IF PERIMETER INSULATION IS USED BELOW ROOF DECKING, I.E. OPEN/CLOSED CELL INSULATION, THEN ATTIC VENTILATION IS NOT REQUIRED.

NOTE: ALL EXTERIOR LIGHTING SHALL MEET ALL CODES & ORDINANCES IN ACCORDANCE WITH FISH, WILDLIFE & MARINE TURTLE CONSERVATION.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: Great care and effort have gone into the creation of the design of these plans. However, because of the responsibility of providing my personal and/or "on-the-site" consultation and supervision over the actual construction, and because of the great variance in local building code requirements, and other local building and weather conditions, designer assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in the design, blueprints, or specifications. For soil and/or weather conditions (i.e. hurricanes, earthquakes, snow, etc.) it is recommended that you consult a local engineer of your choice and check with your local building officials prior to start of actual construction. These drawings are not to be copied or reproduced without written permission from CHATHAM HOME PLANNING.

NOTE: Contractor shall verify the accuracy of all dimensions, ceiling heights, beam and joist designations, complying with all code requirements, and the provisions for duct layout, heating and air conditioning systems, and proposed electrical & plumbing layouts prior to commencement of construction.

PATRICIA NEMEYER AND ROB LITTLETON
LOT K, VOLANTA VIBU NO. 2 SUBDIVISION
BALDWIN, ALABAMA

PRELIMINARY PLANS: 05/17/21
PROGRESS SET: 06/11/21
FINAL REVISION: 6/14/21
FINAL PRINT: 6/28/21

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Scale: 1/4" = 1'-0"	Sheet Number: 03
Plan Number: IIII-A-1	c h p

NOTE: ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS AS PER "RC" SECTION R308.4.

NOTE: WINDOW DESIGNATION 3060 C = 3'-0" x 6'-0" CABINET VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

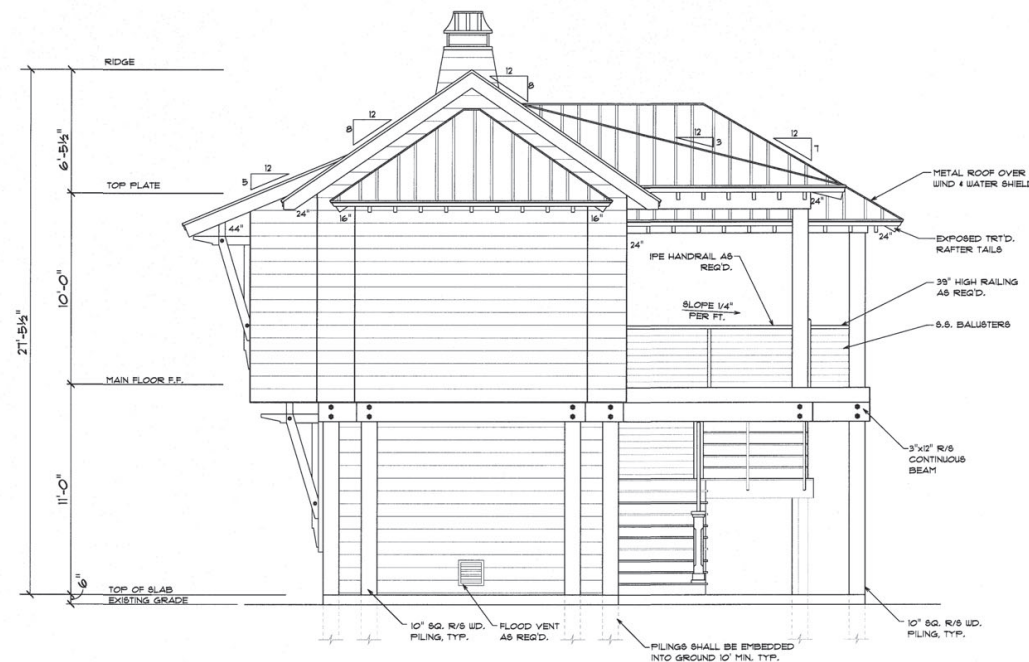
NOTE: DOOR DESIGNATION 3080 = 3'-0" x 6'-0". VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE: ALL FLASHING AROUND WINDOWS & DOORS SHALL BE INSTALLED AS PER CODE TO PREVENT MOISTURE PENETRATION.

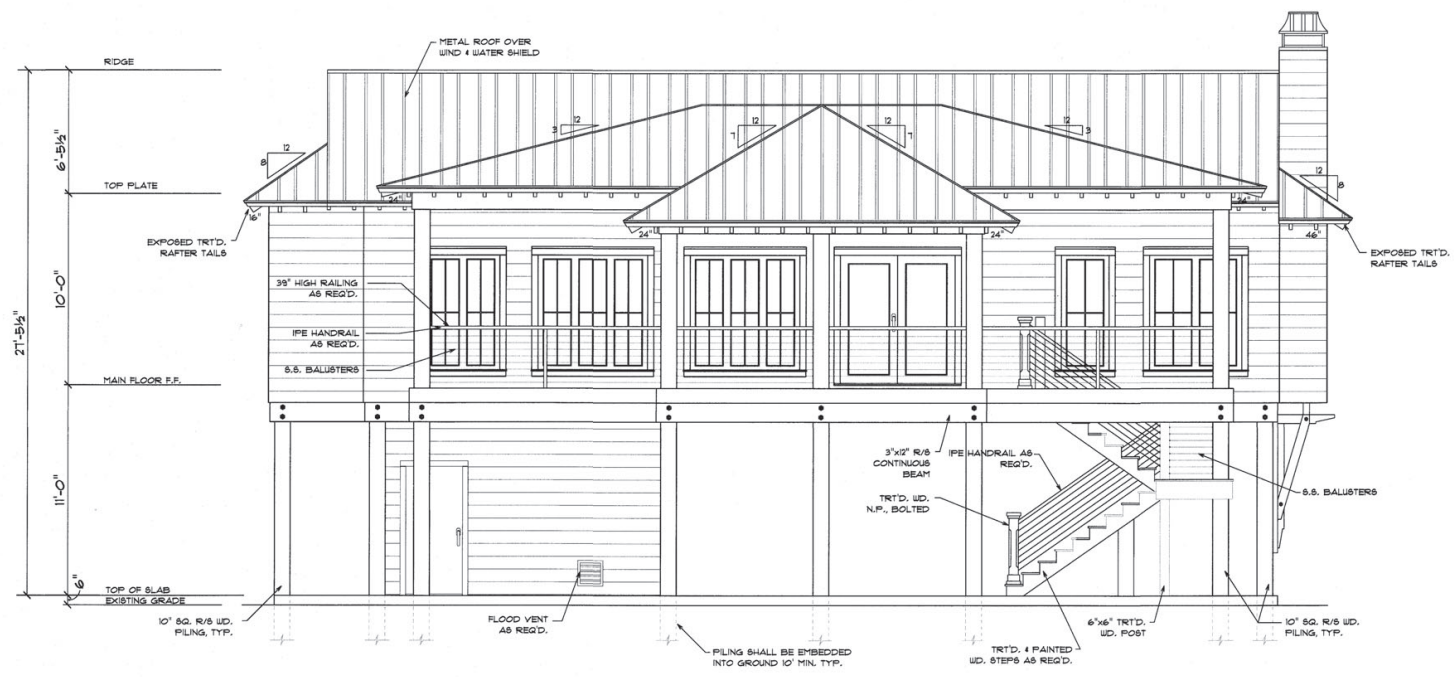
NOTE: ALL ROOF FLASHING, SIDING FLASHING, EAVES & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.

NOTE: BUILDER SHALL INSTALL ADEQUATE ATTIC VENTILATION. IF PERIMETER INSULATION IS USED BELOW ROOF DECKING, I.E. OPEN/CLOSED CELL INSULATION, THEN ATTIC VENTILATION IS NOT REQUIRED.

NOTE: ALL EXTERIOR LIGHTING SHALL MEET ALL CODES & ORDINANCES IN ACCORDANCE WITH FISH, WILDLIFE, & MARINE TURTLE CONSERVATION.



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

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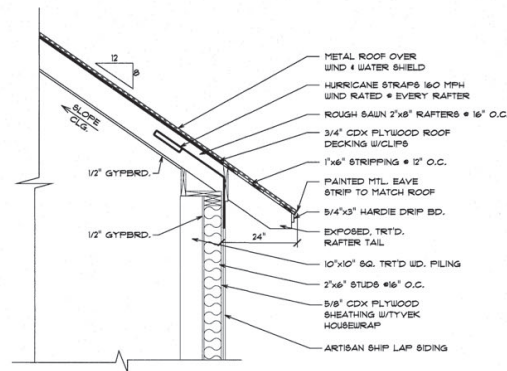
NOTE: Contractor shall verify the accuracy of all dimensions, ceiling heights, beam and joint designations, complying with all code requirements, and the provisions for duct layout, heating and air conditioning systems, and proposed electrical & plumbing layouts prior to commencement of construction.

PATRICIA NIEWEYER AND ROB LITTLETON
LOT K, VOLANTA VIEW NO. 2 SUBDIVISION
BALDWIN, ALABAMA

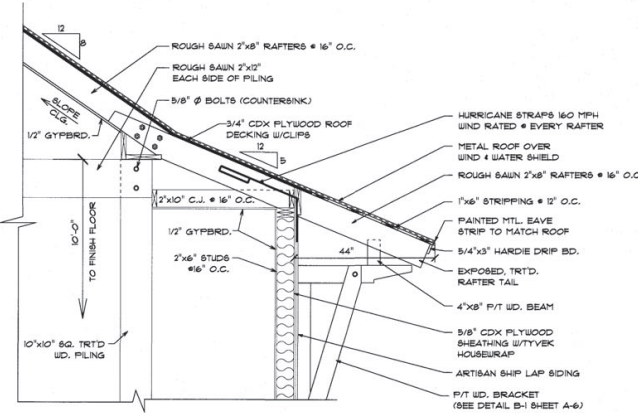
PRELIMINARY PLANS: 05/21/21
PROGRESS SET: 06/15/21
FINAL REVIEW: 6/14/21
FINAL PRINT: 6/28/21

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Plan Number: IIII-A-1	

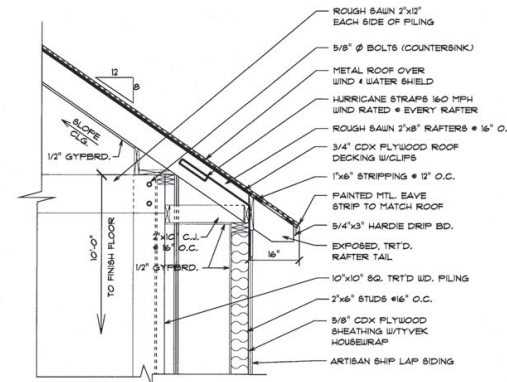
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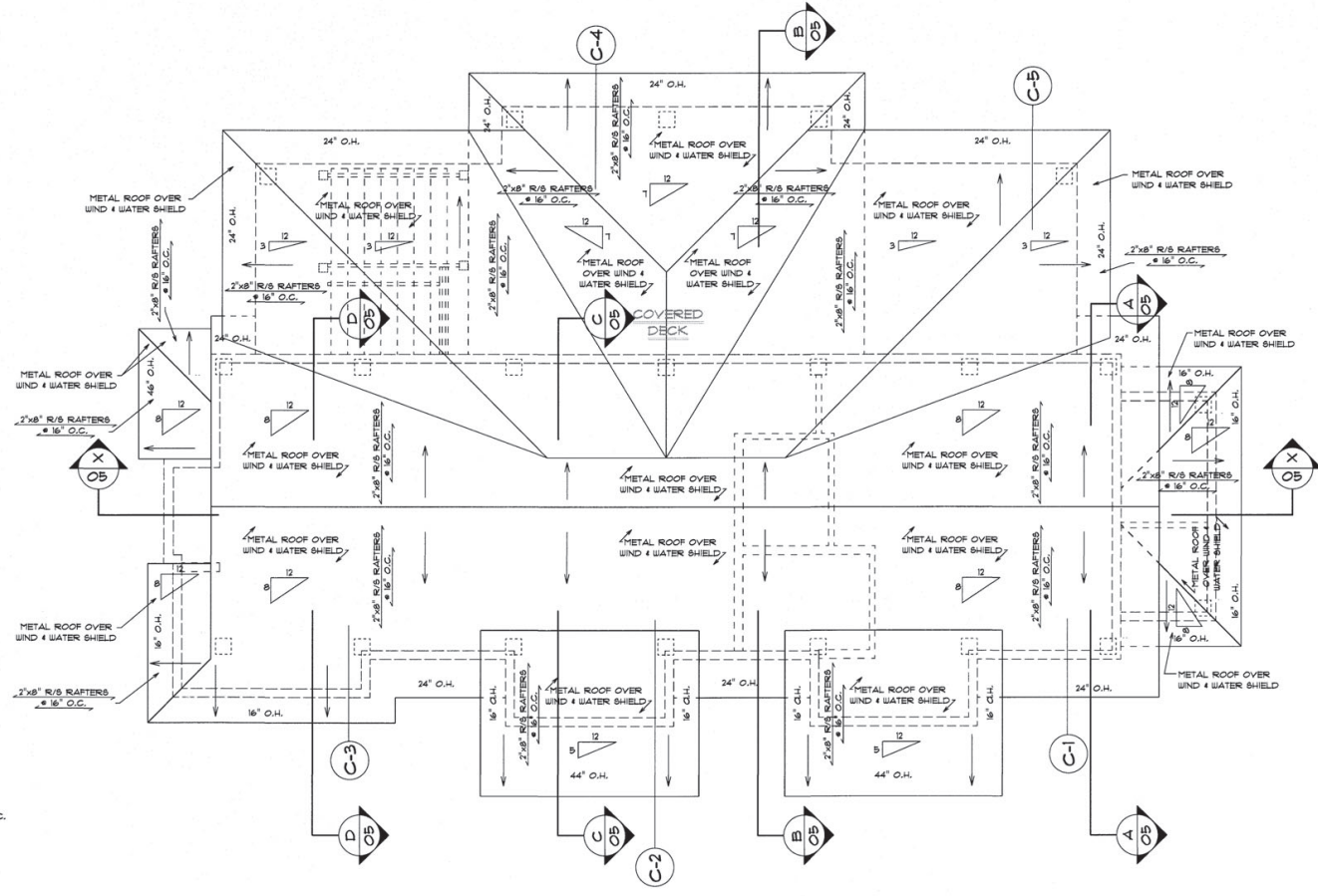
C-1 CORNICE DETAIL
SCALE: 1/2" = 1'-0"



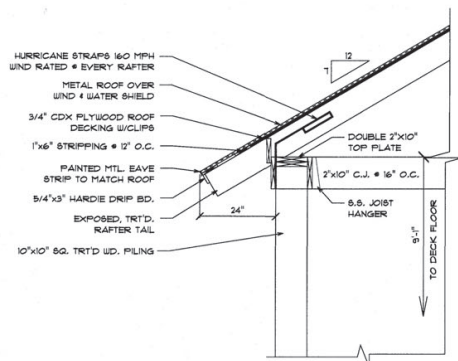
C-2 CORNICE DETAIL
SCALE: 1/2" = 1'-0"



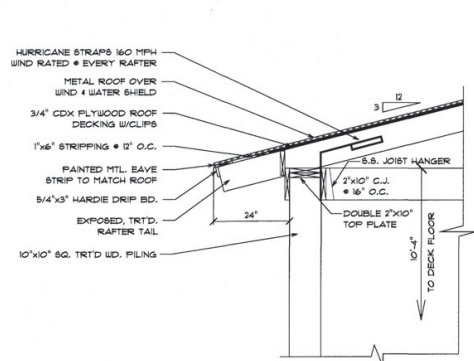
C-3 CORNICE DETAIL
SCALE: 1/2" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



C-4 CORNICE DETAIL
SCALE: 1/2" = 1'-0"



C-5 CORNICE DETAIL
SCALE: 1/2" = 1'-0"

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NOTE:
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NOTE:
ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS AS PER "RC" SECTION R308.4.

NOTE:
WINDOW DESIGNATION 3060 C + 3'-0" x 6'-0" CASEMENT VERIFY MANUFACTURER FOR SIZE & ROUGH OPENINGS.
DOOR DESIGNATION 3080 + 3'-0" x 8'-0". VERIFY MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
ALL FLASHING AROUND WINDOWS & DOORS SHALL BE INSTALLED AS PER CODE TO PREVENT MOISTURE PENETRATION.
ALL ROOF FLASHING, SOBELL FLASHING, EAVE & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.

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IF PERIMETER INSULATION IS USED BELOW ROOF DECKING, I.E. OPEN/CLOSED CELL INSULATION, THEN ATTIC VENTILATION IS NOT REQUIRED.

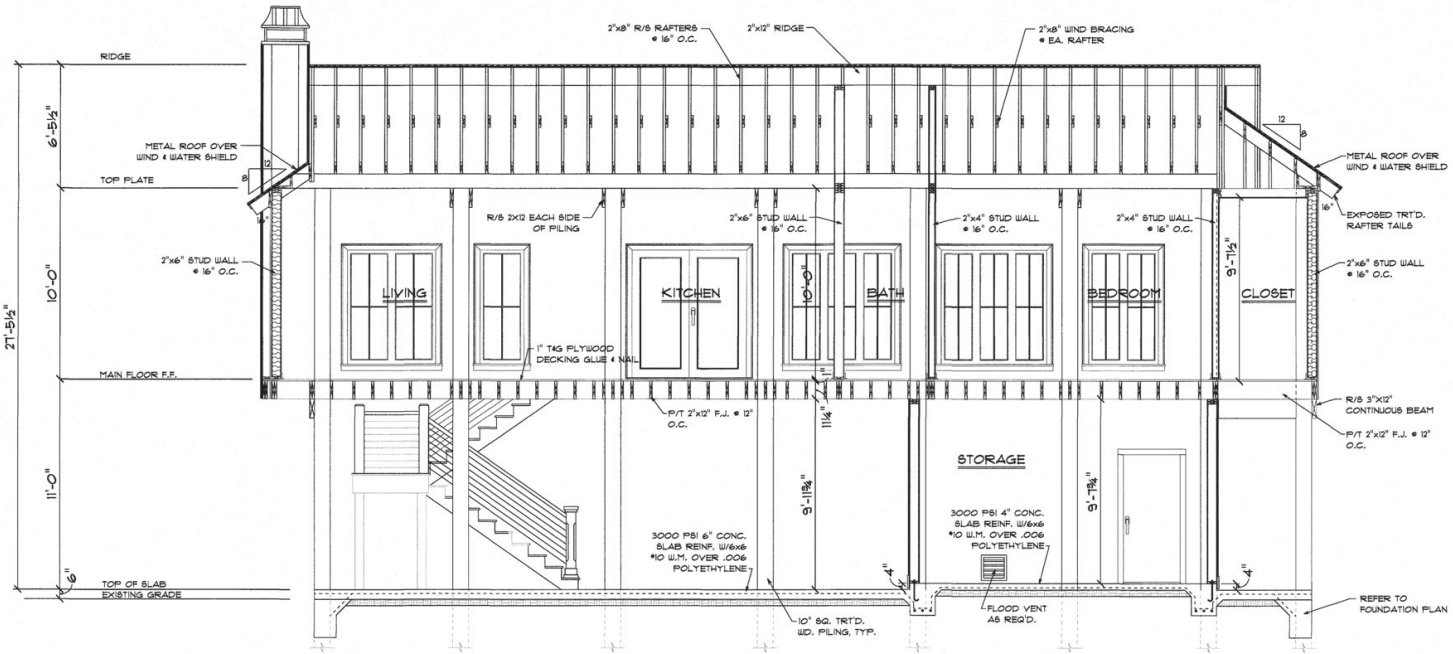
NOTE:
ALL EXTERIOR LIGHTING SHALL MEET ALL CODES & ORDINANCES IN ACCORDANCE WITH FISH, BILDLIFE & MARINE TURTLE CONSERVATION.

PATRICIA NEMEYER AND ROB LITTLETON
LOT K, VOLANTA VIEW NO. 2 SUBDIVISION
BALDWIN, ALABAMA

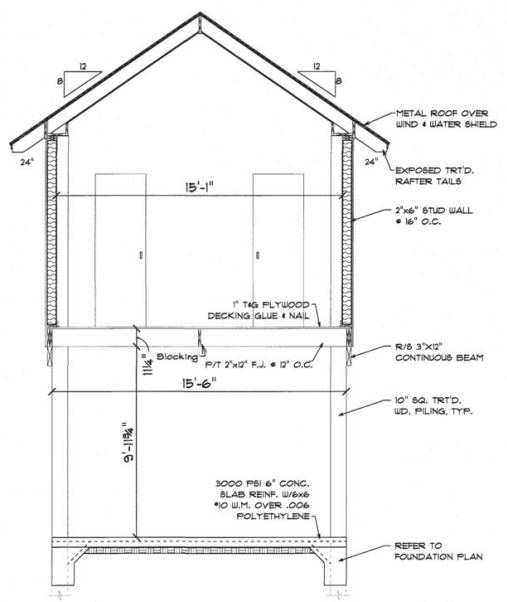
PRELIMINARY PLANS: 09/21/21
PROGRESS SET: 06/11/21
FINAL REVIEW: 6/14/21
FINAL PRINT: 6/29/21

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Scale: VARIES	Sheet Number: 05
Plan Number: IIII-A-1	c h p

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SECTION "X-X"
SCALE: 1/4" = 1'-0"



SECTION "A-A"
SCALE: 1/4" = 1'-0"

DBL. JOISTS UNDER ALL PARALLEL WALLS

NOTE:
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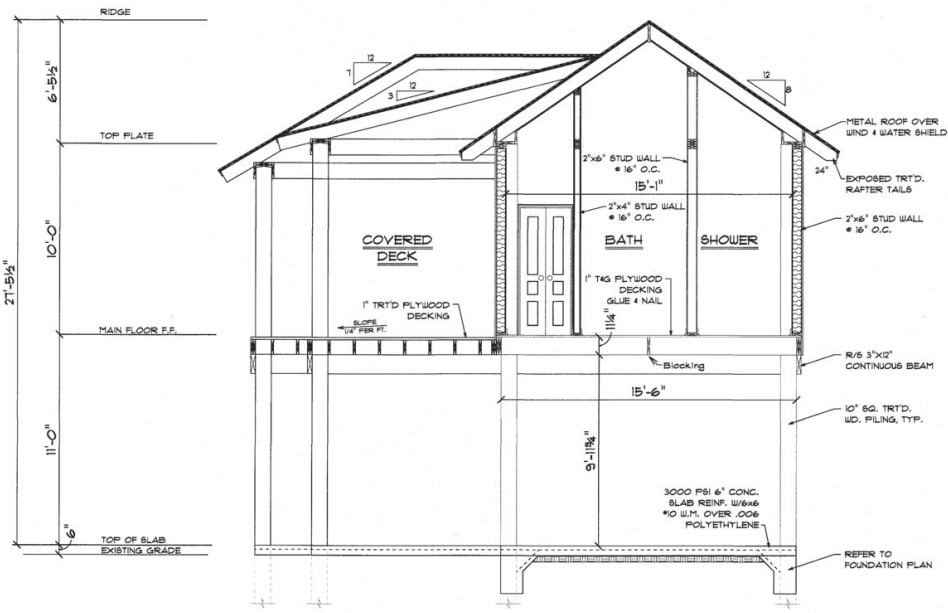
NOTE: DOOR DESIGNATION 3080 x 3'-0" x 8'-0", VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

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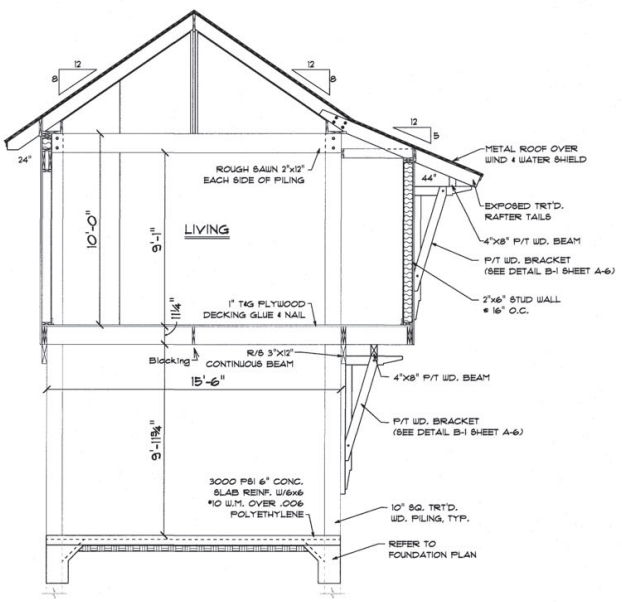
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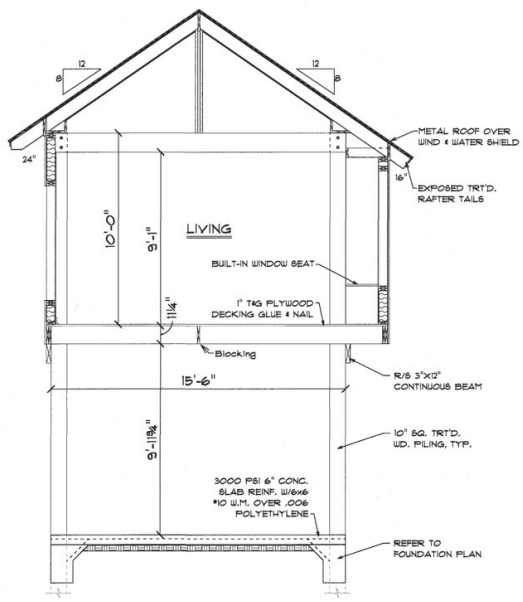
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SECTION "B-B"
SCALE: 1/4" = 1'-0"



SECTION "C-C"
SCALE: 1/4" = 1'-0"



SECTION "D-D"
SCALE: 1/4" = 1'-0"

PATRICIA NIEMEYER AND ROB LITTLETON
LOT K, VOLANTA VILLI NO. 7 SUBDIVISION
BALDWIN, ALABAMA

PRELIMINARY PLANS: 05/21/21
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FINAL REVISED: 6/14/21
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Date: 06/28/21	Drawn By: E. J. DOYLE
Scale: 1/4" = 1'-0"	Sheet Number: 06
Plan Number: IIII-A-1	c h p