



**City of Fairhope
Planning Commission Agenda
5:00 PM
Council Chambers
October 4, 2021**

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Robert A. Brown

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

1. Call to Order
2. Approval of Minutes
 - September 9, 2021

3. Consideration of Agenda Items

A. UR 21.05 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of 4,250 linear foot of buried cable and 2,517 linear foot of overlashed cable. The project will be located in the Gayfer Avenue Extension area, beginning at 21050 County Road 13.

B. UR 21.06 Request of AT&T for 18,372 linear foot of overlashed cable and 12,301 linear foot of directional boring for fiber cable. The project will be located in the North Section Street and Gayfer Avenue area, beginning at 515 North Section Street.

C. UR 21.07 Request of Mediacom for an 11.52.11 Utility Review and approval of the proposed installation of 7,300 linear foot of directional boring for fiber cable in the Quail Creek Subdivision.

D. UR 21.08 Request of Mediacom for an 11.52.11 Utility Review and approval of the proposed installation of 13,288 linear foot of directional boring for fiber cable in the Stone Creek Subdivision

E. SD 21.39 Public hearing to consider the request of 68V Overland 2021 LLC for Plat Approval of Overland Subdivision, a 2-lot minor subdivision. The property is approximately 30.70 acres and is located at the southeast corner of the intersection of County Road 48 and Blueberry Lane. **PPIN #: 43640**

F. SD 21.40 Public hearing to consider the request of 68V Overland 2021 LLC for Preliminary Approval of Overland Townhomes, a 16-unit Multiple Occupancy Project. The property is approximately 30.70 acres and is located at the southeast corner of the intersection of County Road 48 and Blueberry Lane. **PPIN #: 43640**

G. SD 21.41 Public hearing to consider the request of FST Aldi, Inc. of Alabama for Preliminary Approval of Aldi Subdivision, a 5-unit Multiple Occupancy Project. The

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2156

251-928-6776 Fax

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property is approximately 7 acres and is located at the northeast corner of the intersection of County Road 48 and State Highway 181. **PPIN #: 248109, 211347**

4. Old/New Business
 - Comprehensive Plan Discussion
5. Adjourn

The Planning Commission met Thursday, September 9, 2021, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Lee Turner, Chairperson; Clarice Hall; Art Dyas; Hollie MacKellar; Harry Kohler; John Worsham; Hunter Simmons, Planning and Zoning Manager; Mike Jeffries, Development Services Manager; Samara Walley, Planner; Allie Knutson, Secretary; and Chris Williams, City Attorney.

Absent: Rebecca Bryant; Jason Langley, Water and Sewer Director; and Jimmy Conyers.

Chairman Turner called the meeting to order at 5:03 PM.

Minutes from August 2, 2021, meeting:

Art Dyas made a motion to approve the minutes as submitted.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Clarice Hall, Art Dyas, Hollie MacKellar, Harry Kohler, and John Worsham.

NAY: None.

UR 21.03 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of one small cell antenna and equipment to existing AT&T wireline light pole.

Owner/Developer: AT&T

General Location: Volanta Avenue, South of Fairhope Yacht Club

Project: Installation of small cell antenna

Jurisdiction: Fairhope Planning Jurisdiction

Report prepared by: Chris Ambron, City Planner

Recommendation: Approval with Conditions

Summary:

Hunter Simmons, Planning and Zoning Manager, presented the case summary.

This project would be a co-location on an existing AT&T utility pole on the south side of Volanta Avenue, across the street from the Fairhope Yacht Club. The equipment/antenna will be colored to blend with the surroundings. Planning Commission is the final authority for this project as it is not requiring a new pole. If a new pole were required, it would also be heard at City Council.

The proposed utility construction is consistent with a previously approved AT&T Small Cell Approved Project (October 7, 2019). Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the Baldwin County Highway Department or ALDOT. No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

If land disturbance is required, the work must be approved by Erik Cortinas, the City Building Official, the applicant shall contact Alabama One Call to locate all existing utilities and ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better, and any other conditions deemed necessary by the Cities Building Official. This site shall comply with all State, Federal and local requirements.

The applicant shall provide as-built profiles of the installed lines and signs and/or door hangers must be used to help notify the citizens of the work being done.

Recommendation:

Staff recommends **APPROVAL** of UR 21.03, **subject to the following conditions:**

1. The applicant shall follow the general comments related to utility work, as stated above.
2. Applicant and applicant's contractor shall follow the *Right of Way Installation Permitting and Work Procedures* document provided by the Building Official.
3. The applicant shall follow the design/color for each site as dictated by staff per the "Site description and locations" section of staff report.
4. The applicant is responsible for any Aid to Construction costs for new utility poles or work needed to accommodate a co-locate.
5. The City of Fairhope reserves the right to modify or add requirements such as but not limited to cut sheets of proposed poles/fixtures, additional drawings, site locations, design/colors, etc.

No AT&T Representative was present. No further questions or comments from Commissioners.

Motion:

Art Dyas made a motion to **approve** Case UR 21.03, subject to staff recommendations.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Clarice Hall, Art Dyas, Hollie MacKellar, Harry Kohler, and John Worsham.

NAY: None.

UR 21.04 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 37,705 linear feet of directional boring for metro fiber cable and approximately 149,636 linear feet of residential fiber.

Owner/Developer: C-Spire

General Location: North of Volanta Ave., North of Echo Lane, and East of Highway 98/Greeno Rd.

Project: Fiber Communication Installation

Zoning District: Baldwin County RA

Report prepared by: Chris Ambron, City Planner

Recommendation: Approval with Conditions

Summary:

Hunter Simmons, Planning and Zoning Manager, presented the case summary.

This project is to be broken up into phases with a maximum of 750-feet per phase with no pneumatic boring under road surfaces. The 37,705 linear feet of metro line will serve commercial clients while the 149,636 linear feet will serve residential clients.

The Applicant shall contact Alabama One Call to locate all existing utilities with line locates called in no less than 72 hours prior to commencing work. The Applicant must also provide draft door hangers for approval at time of pre-construction. All sewer crossings are to be videoed/potholed for review by Water Dept and no new road cuts. Any road cuts allowed could require additional permit costs and shall be coordinated with Public Works.

No work shall begin until a ROW permit is issued by the City of Fairhope Building Department or other applicable jurisdiction (permit not valid until paid for and obtained by contractor). The ROW permit shall be always kept with the contractor or subcontractor during site work. The ROW permit shall be posted on the job site or in the window of contractor(s) vehicle. All contractors/subcontractors are subject to City of Fairhope Business License procedures. The site shall also comply with all State, Federal, and local requirements.

Recommendation:

Staff recommends **APPROVAL** of UR 21.04, **subject to the following conditions:**

1. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
2. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
 - a. An additional right-of-way permit may be required for the potholing procedures.
3. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps.
4. Provide draft door hanger for approval at time of pre-construction meeting.
5. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.

Mr. Simmons stated that he would also like to add a 6th condition: C-Spire will be responsible for clarifying access on private property that is not the City of Fairhope's and is not covered under the franchise agreement.

Clay Brand, Director of C-Spire, stated that they are asking for more permits than they are going to start because they don't want to overwhelm the city, residents, or any utilities.

Harry Kohler asked about the draft door hangers.

Mr. Branch stated that it is something that they put on citizen's doors to let them know about the work that is being done in their area.

John Worsham asked what the timeline was for this project.

Mr. Branch stated that the project could take about a year to complete with each phase taking around 90 days.

Mr. Simmons stated that John Thomas is the City's Right of Way Inspector and that he helped put some of the conditions together. He also mentioned that the Fruit and Nut section is a congested area with well-established trees and 40-foot right of ways. New utilities have not gone in ground there in a long time. C-Spire will be working with Mr. Thomas to come up with a solution for navigating the Fruit and Nut section. There is also going to be a utility facility on Nichols to provide connection throughout the project that will go to Board of Adjustment.

Motion:

John Worsham made a motion to **approve** Case UR 21.04, subject to staff recommendations plus the added 6th condition.

1. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
2. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
 - a. An additional right-of-way permit may be required for the potholing procedures.
3. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps.
4. Provide draft door hanger for approval at time of pre-construction meeting.
5. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
6. C-Spire will be responsible for clarifying access on private property that is not the City of Fairhope's and is not covered under the franchise agreement.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Clarice Hall, Art Dyas, Hollie MacKellar, Harry Kohler, and John Worsham.

NAY: None.

ZC 21.11 Public hearing to consider the request of Anthony Tkac and Kristin Kalmbacher to rezone property from R-4 to R-3 TH.

Property Owner/Applicant: Anthony Tkac and Kristin Kalmbacher

General Location: East terminus of Gaston Ave. and on the east side of S. Section Street

Project Type: Rezoning

Project Acreage: 0.40 acres

Zoning District: R-4 Low Density Multi-Family Residential District

PPIN Number: 41038

Engineer/Surveyor of record: N/A

School District: Fairhope Elementary School, Fairhope Middle and High Schools

Report prepared by: Samara Walley, City Planner

Recommendation: Approval

Summary:

Art Dyas stated that he would be abstaining from this case as the Applicant is a family member.

Samara Walley, City Planner presented the case summary.

The Owners, Anthony Tkac and Kristin Kalmbacher, are being represented by Craig Dyas. The Applicant desires to rezone the subject property similar to the adjacent property to the east to allow townhomes. R-3 TH is defined as a High Density Single-Family Townhouse Residential District intended to provide areas exclusively for the development of town houses on a high-density basis where no side yards are required. The benefit of the R-3 TH district is a reduced front setback of 20-feet compared to 30-feet in an R-4 district.

It should be noted that this is not a site plan review, and a potential approval of the rezoning case does not constitute the approval of the site plan submitted with this application. However, staff has reviewed the site plan and has determined that the plan does not meet R-3 TH standards and would therefore require revisions prior to the issuance of a building permit. An administrative replat will be required to create one lot. Additionally, a Multiple Occupancy Project (MOP) approval will be required for 3 units on one lot. The MOP process takes in consideration greenspace requirements and design standards.

Recommendation:

Staff recommends **APPROVAL** of ZC 21.11, rezoning from R-4 Low Density Multi-Family Residential District to R-3 TH High Density Single-Family Townhouse Residential District.

Craig Dyas presented some additional images of the proposed site plan and elevations as well as some photos of the property and surrounding area. He would like to put the 400 square feet minimum of greenspace in between the buildings to create courtyards rather than at the rear of the buildings. His goal is to keep the existing historic house and restore it.

Chairman Turner opened the Public Hearing.

Levi Reinhart, 251 S. Section Street: Mr. Reinhart stated that he is an adjacent property owner and that he was concerned that the plans for the property were not finalized and wanted to make sure that the property would not allow a small school. He was also concerned with the proposed driveway being beside his home in regard to privacy and noise.

Hunter Simmons, Planning and Zoning Manager, explained the uses in the R-3 TH Zoning District compared to the R-3 and R-4 Zoning District.

Mike Reinhart, 251 S. Section Street: Mr. Reinhart stated that he had similar concerns and hoped that the proposed driveway would be moved away from their home.

Mr. Simmons stated that if the proposed driveway was moved, it could affect the historic home.

Chairman Turner closed the Public Hearing.

Motion:

Hollie MacKellar made a motion to **approve** Case ZC 21.11.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Clarice Hall, Hollie MacKellar, Harry Kohler, and John Worsham.

NAY: None.

ABSTAIN: Art Dyas.

SD 21.38 Public hearing to consider the request of Summer Lane Partners, LLC for Final Plat Approval of Summer Lane.

Property Owner/Applicant: Summer Lane Partners, LLC

General Location: East terminus of Summer Lane on west side of S. Section Street

Project Type: 15-Lot Major Subdivision Final

Project Acreage: 5.22 acres

Zoning District: PUD

PPIN Number: 5611

Engineer/Surveyor of Record: Dewberry Engineers

School District: Fairhope Elementary School, Fairhope Middle and High Schools

Report prepared by: Mike Jeffries, Development Services Manager

Recommendation: Approval with Conditions

Summary:

Mike Jeffries, Development Services Manager, presented the case summary.

The Preliminary Plat was approved by Planning Commission at the February 3, 2020, meeting (SD 20.08). Since then, the stormwater system has been built and is functioning as designed per letter from the Engineer of Record. The water and sewer system has been inspected and only remaining deficiencies are the installation of rain guards in the manholes and final cleaning of sewer inverts. These items are listed as a condition of approval. Brick pavers in ROW'S will be responsibility of HOA to maintain and will be reflected in the Resolution of acceptance. The 16-foot alley is private and for the use of landowners to access property. Trash collection will be from the public ROW'S. Final plat must be recorded within 60 days after the date of final approval.

Follow-Up Activities Required by Staff and the Applicant:

- Copy of the recorded plat
- Copy of the recorded O&M Agreement
- Maintenance and Guaranty (M&G) Agreement executed by the developer - the mayor signs this agreement to fully execute it
 - Remember to include the instrument # from the recorded plat
 - Please include 30 days in paragraph 3

Recommendation:

Staff recommends **APPROVAL** SD 21.38, Summer Lane, **subject to the following conditions:**

1. Rain guards shall be installed on all manholes.
2. Sewer inverts shall be cleaned.

3. Revise note 2 on plat to include utility easements.
4. Add PUD Ordinance # 1661 to site data table,
5. Add a general note that The City of Fairhope is not responsible for the maintenance of the decorative pavers located in the ROW's and shall be the responsibility of the POA.
6. Add signature block for Gas Certificate of approval.
7. Approve subdivision name change to "The Cottages at Summer Lane".
8. Complete above-mentioned Follow-Up Activities.

The Developer was present, but no further comments were made.

Chairman Turner opened the Public Hearing, no one spoke. Chairman Turner closed the Public Hearing.

Motion:

Art Dyas made a motion to **approve** Case SD 21.38, Summer Lane Final Plat, subject to staff recommendations.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Clarice Hall, Art Dyas, Hollie MacKellar, Harry Kohler, and John Worsham.

NAY: None.

Old/New Business

SD 21.29 Windmill Professional Park – Request of a 30-day extension to record final plat:

Hunter Simmons, Planning and Zoning Manager, stated that the Applicant was requesting a 30-day extension to record final plat for SD 21.29 due to material delays and covid-related circumstances. Mr. Simmons also brought up the idea of extending time to record final plats to 90 or 120 days.

Motion:

John Worsham made a motion to **approve** a 30-day extension to record the final plat for SD 21.29.

Clarice Hall seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Clarice Hall, Art Dyas, Hollie MacKellar, Harry Kohler, and John Worsham.

NAY: None.

Art Dyas is concerned with a potential increase in requested extensions to record final plats.

Attorney, Chris Williams, stated that the Subdivision Regulations are vague in terms of what "good cause" is to receive an extension. The Subdivision Regulations would need to be changed in order to extend the time to record a final plat as it is currently 60 days.

Hollie MacKellar asked how long it typically takes to record a final plat.

Mr. Simmons stated that it depends on the applicants and their engineers, but also depends on outside sources. The signature blocks on the plat must be cycled through Baldwin County Engineers and Baldwin County 911.

Chairman Turner was concerned with applicants submitting for final approval without having their infrastructure completely installed.

Mr. Simmons asked the Commissioners if they disagreed with extending the amount of time to 90 days. None of the Commissioners objected, however, a Subdivision Regulation Amendment would have to be advertised.

CAPZO Training Update:

Mr. Simmons gave an update on CAPZO Training and stated that the Planning Department was finalizing dates.

Comp Plan Update:

Mr. Simmons reminded everyone about the Comp Plan Meeting on September 22, 2021, from 6:00-8:00 p.m. at the Nix Center and mentioned other small focus group meetings that the Commissioners would be receiving an email invite for.

Signature Block Discussion:

Baldwin County E-911 has asked the cities to include a signature block on plats. The Commissioners had no objection.

Adjournment

Having no further business, Chairman Turner made a motion to adjourn, and the motion carried unanimously with the following vote:

AYE: Lee Turner, Clarice Hall, Art Dyas, Hollie MacKellar, Harry Kohler, and John Worsham.

NAY: None.

Adjourned at 6:14 p.m.

Lee Turner, Chairman

Allie Knutson, Secretary



Planning Commission

October 4, 2021

Utility Review

Case: UR 21.05 AT&T

Project Name:

AT&T Fiber Optic Installation throughout Fairhope's ROW

Project Type:

Utility Review

Project Scope:

Install 6,767' of Fiber Optic Cable

Jurisdiction:

City of Fairhope

Zoning District:

ROW

General Location:

S. Rolling Oaks Dr., Meadowbrook, and CR 13 area

Applicant:

AT&T

Owner:

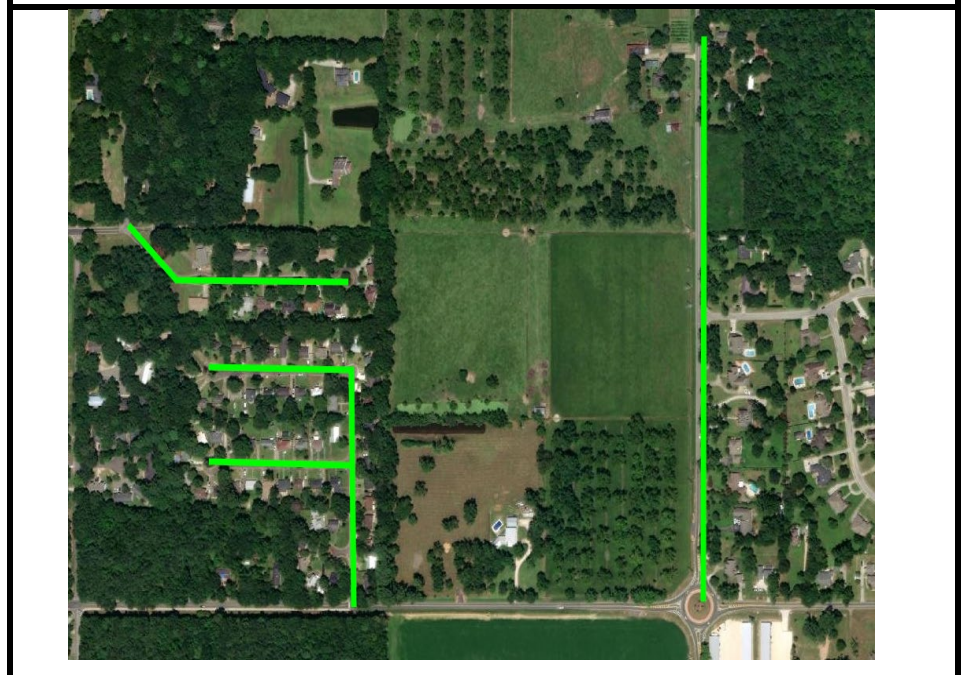
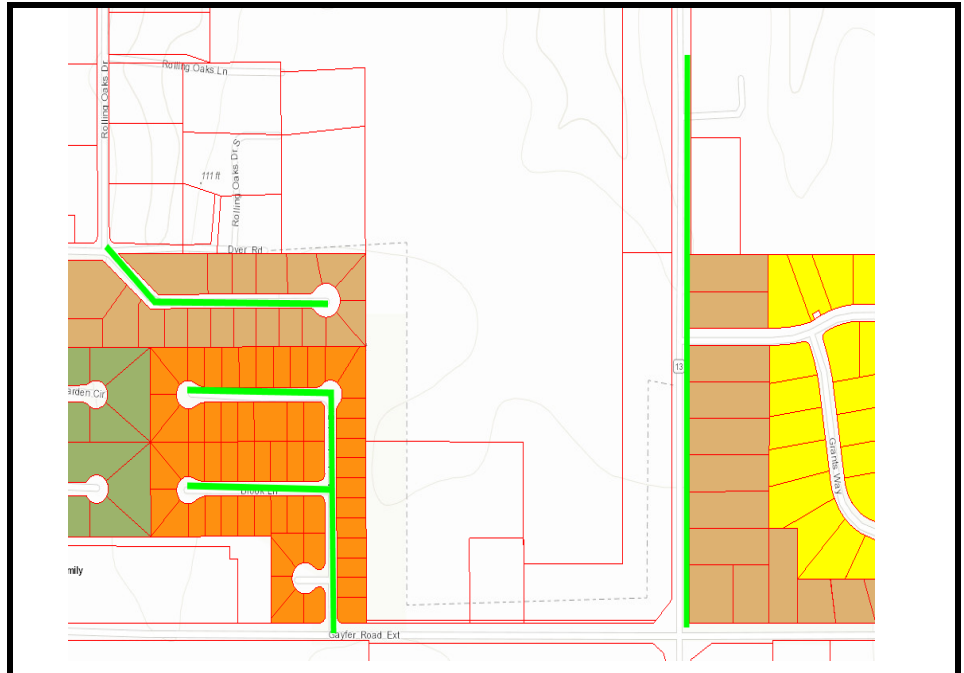
City of Fairhope Right-of-Ways

Prepared by:

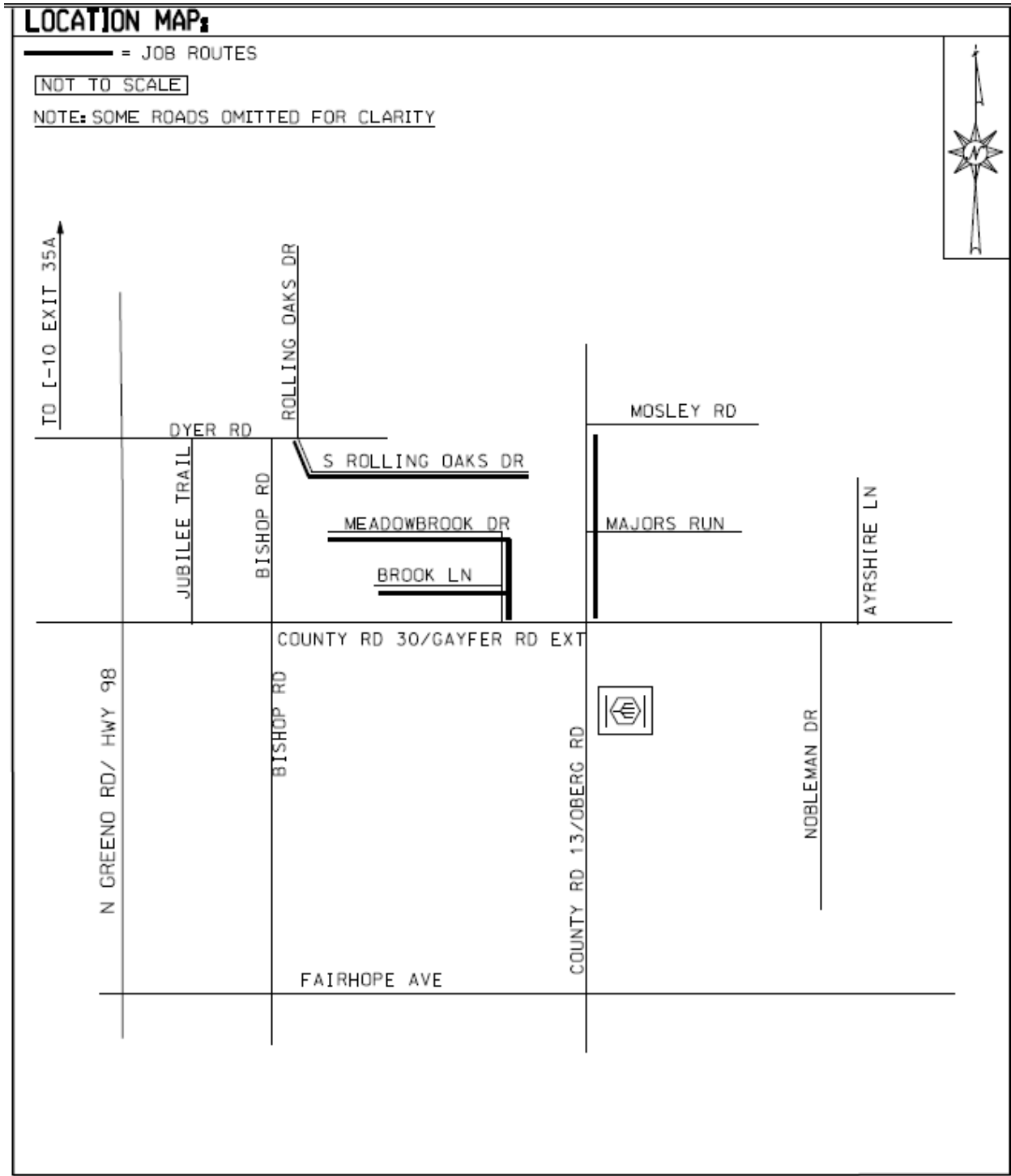
Mike Jeffries, QCI

Recommendation:

Approve with conditions



Summary of Request: Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 2,517 linear foot of overlashed aerial and approximately 4,250 linear foot of buried cable in the S. Rolling Oaks Dr., Meadowbrook, and CR 13 area.



Comments:

The proposed utility construction falls within the corporate limits of the City of Fairhope. The comments below are typical general comments for City of Fairhope right-of-way projects. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the Baldwin County Highway Department or ALDOT.

GENERAL COMMENTS

No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

SUPERINTENDENT AND DEPARTMENT HEAD COMMENTS

The applicant shall contact Alabama One Call to locate all existing utilities.

Public Works Standard Comments:

- Handholes shall not be located within driplines of Heritage Trees (as defined by the Tree Ordinance).
- Any proposed trenching shall not be within the dripline of trees.
- If within a tree dripline, consult with the City of Fairhope Horticulturist before proceeding with earth work.
- Trees shall not be negatively impacted.

The applicant shall provide profile drawings with existing utilities, and proposed utilities. Hand holes/boxes shall not be allowed to be installed in sidewalks. Any boxes/handholes cannot be placed in the sidewalk. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate work with John Thomas ROW Inspector to resolve any potential conflicts. All conduit/cable shall be placed at depth from existing grade per industry and/or County Standards. A minimum horizontal and/or vertical clearance (separation) of 36" must be maintained from stormwater and utility infrastructures. No handholes, boxes, or other above ground infrastructure shall be installed within drainage easements. Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency. No grade change shall result from the utility installation. The applicant is to avoid any tree drip lines with handholes and equipment. If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

Code Enforcement Officer's Standard Comments:

- The applicant, or subcontractor, shall obtain a ROW permit from the City of Fairhope Building Department prior to beginning work.
- Subcontractors shall have a current business license with the City of Fairhope and shall always have a copy of the ROW permit available for review onsite. The permit shall be always posted on site or in the window of contractor's vehicles.
- Any ROW cuts shall be stabilized (covered) at the end of each day and disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project.
- Mulch / seed shall only be acceptable as temporary cover.
- Sod shall be watered as needed to ensure survival.
- Inlets shall be protected. (BMP's shall be placed at all affected storm inlets.)
- If site is within 100' of a critical area (wetland, etc.), red soils/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.

Building Official's Standard Comments:

- BMP's shall be installed at boring sites and trench locations.

- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- All plans and permits shall be available for review at all times along with the City of Fairhope permit application.
- If required, appropriate ALDOT or Baldwin County Highway Department permits shall be obtained prior to the issuance of a right-of-way (ROW) permit.
- Contractor is advised to review and comply with the Building Official's best practices flyer.

Water and Sewer Standard Comments:

- All existing utilities must be located, and proper separation shall be maintained between utilities.
- All mechanical equipment shall be screened by painting the equipment Munsell Green.
- No blue lined conduit is to be used for communication lines to prevent possible confusion with water service lines. Materials colors shall match APWA uniform color code.
- Water and sewer mains/services must be potholed prior to bore crossings. If street cuts are necessary for potholes, please contact Right of Way inspector for restoration.

Natural Gas Standard Comments:

- Contractor shall provide proper separation from the gas main and all other utilities.

The applicant is advised of the following:

- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department or other applicable jurisdiction. Permit not valid until approved and paid for on Citizen Serve online portal.
- The ROW permit shall be kept with the contractor or subcontractor at all times during site work. The ROW permit shall be posted on the job site or in the window of contractor(s) vehicle.
- All contractors/subcontractors are subject to City of Fairhope Business License procedures.

This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:

1. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
2. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
3. City of Fairhope Erosion and Sediment Control Ordinance (#1398).

State and Federal permits shall be on file with the City of Fairhope Building Department, prior to the issuance of City of Fairhope permits.

The applicant shall provide as-built drawings of all installed lines depicting exact depths.

Recommendation:

Staff recommends **approval of UR 21.05 subject to the following conditions:**

1. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
2. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.

- a. An additional right-of-way permit may be required for the potholing procedures.
3. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps as needed.
4. Provide draft door hanger for approval at time of pre-construction.
5. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.



Planning Commission

October 4, 2021

Utility Review

Case: UR 21.06 AT&T

Project Name:

AT&T Fiber Optic Installation throughout Fairhope's ROW

Project Type:

Utility Review

Project Scope:

Install 30,673' of Fiber Optic Cable

Jurisdiction:

City of Fairhope

Zoning District:

ROW

General Location:

Various ROW's around Gayfer Avenue and Section Street

Applicant:

AT&T

Owner:

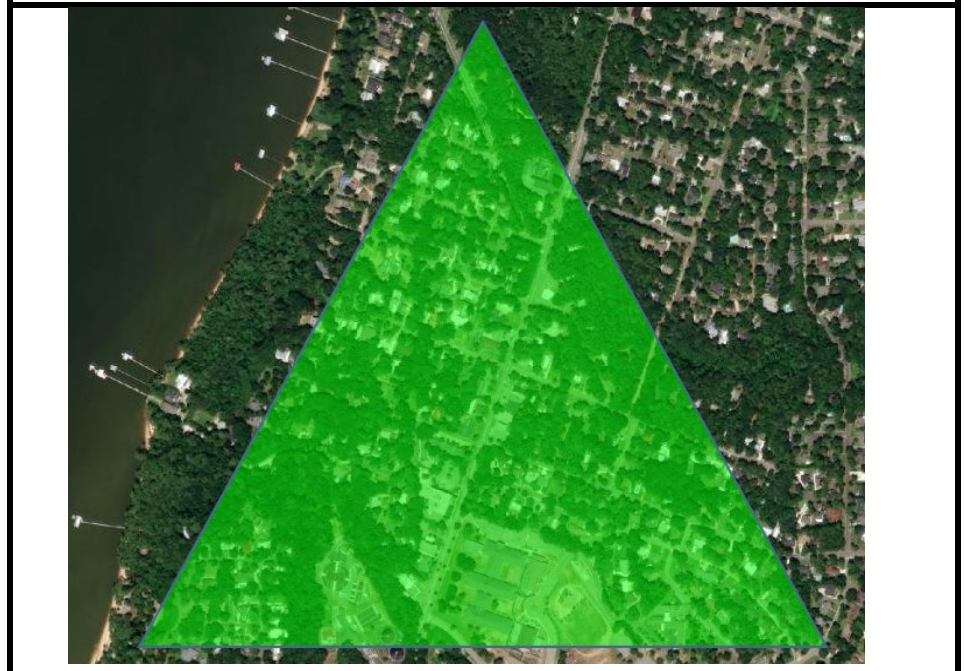
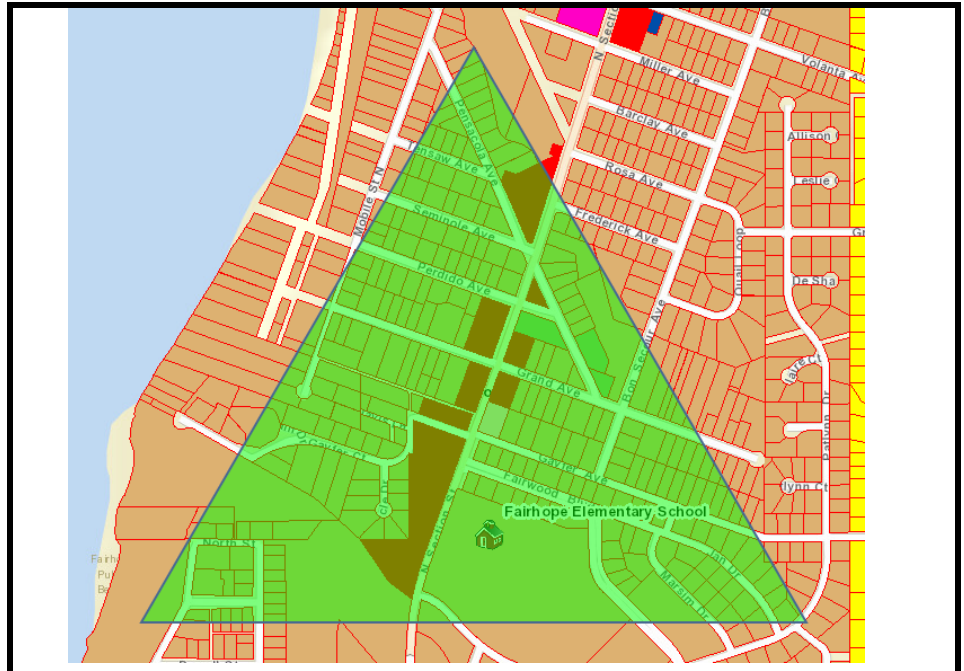
City of Fairhope Right-of-Ways

Prepared by:

Mike Jeffries, QCI

Recommendation:

Approve with conditions



Comments:

The proposed utility construction falls within the corporate limits of the City of Fairhope. The comments below are typical general comments for City of Fairhope right-of-way projects. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the Baldwin County Highway Department or ALDOT.

GENERAL COMMENTS

No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

SUPERINTENDENT AND DEPARTMENT HEAD COMMENTS

The applicant shall contact Alabama One Call to locate all existing utilities.

Public Works Standard Comments:

- Handholes shall not be located within driplines of Heritage Trees (as defined by the Tree Ordinance).
- Any proposed trenching shall not be within the dripline of trees.
- If within a tree dripline, consult with the City of Fairhope Horticulturist before proceeding with earth work.
- Trees shall not be negatively impacted.

The applicant shall provide profile drawings with existing utilities, and proposed utilities. Hand holes/boxes shall not be allowed to be installed in sidewalks. Any boxes/handholes cannot be placed in the sidewalk. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate work with John Thomas ROW Inspector to resolve any potential conflicts. All conduit/cable shall be placed at depth from existing grade per industry and/or County Standards. A minimum horizontal and/or vertical clearance (separation) of 36" must be maintained from stormwater and utility infrastructures. No handholes, boxes, or other above ground infrastructure shall be installed within drainage easements. Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency. No grade change shall result from the utility installation. The applicant is to avoid any tree drip lines with handholes and equipment. If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

Code Enforcement Officer's Standard Comments:

- The applicant, or subcontractor, shall obtain a ROW permit from the City of Fairhope Building Department prior to beginning work.
- Subcontractors shall have a current business license with the City of Fairhope and shall always have a copy of the ROW permit available for review onsite. The permit shall be always posted on site or in the window of contractor's vehicles.
- Any ROW cuts shall be stabilized (covered) at the end of each day and disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project.
- Mulch / seed shall only be acceptable as temporary cover.

- Sod shall be watered as needed to ensure survival.
- Inlets shall be protected. (BMP's shall be placed at all affected storm inlets.)
- If site is within 100' of a critical area (wetland, etc.), red soils/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.

Building Official's Standard Comments:

- BMP's shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- All plans and permits shall be available for review at all times along with the City of Fairhope permit application.
- If required, appropriate ALDOT or Baldwin County Highway Department permits shall be obtained prior to the issuance of a right-of-way (ROW) permit.
- Contractor is advised to review and comply with the Building Official's best practices flyer.

Water and Sewer Standard Comments:

- All existing utilities must be located, and proper separation shall be maintained between utilities.
- All mechanical equipment shall be screened by painting the equipment Munsell Green.
- No blue lined conduit is to be used for communication lines to prevent possible confusion with water service lines. Materials colors shall match APWA uniform color code.
- Water and sewer mains/services must be potholed prior to bore crossings. If street cuts are necessary for potholes, please contact Right of Way inspector for restoration.

Natural Gas Standard Comments:

- Contractor shall provide proper separation from the gas main and all other utilities.

The applicant is advised of the following:

- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department or other applicable jurisdiction. Permit not valid until approved and paid for on Citizen Serve online portal.
- The ROW permit shall be kept with the contractor or subcontractor at all times during site work. The ROW permit shall be posted on the job site or in the window of contractor(s) vehicle.
- All contractors/subcontractors are subject to City of Fairhope Business License procedures.

This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:

1. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
2. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
3. City of Fairhope Erosion and Sediment Control Ordinance (#1398).

State and Federal permits shall be on file with the City of Fairhope Building Department, prior to the issuance of City of Fairhope permits.

The applicant shall provide as-built drawings of all installed lines depicting exact depths.

Recommendation:

Staff recommends **approval of UR 21.06 subject to the following conditions:**

1. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
2. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
 - a. An additional right-of-way permit may be required for the potholing procedures.
3. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps as needed.
4. Provide draft door hanger for approval at time of pre-construction.
5. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.



Planning Commission

October 4, 2021

Utility Review

Case: UR 21.07 MediaCom

Project Name:

MediaCom Fiber Optic Installation throughout Fairhope's ROW and Utility Easements

Project Type:

Utility Review

Project Scope:

Install 7,300' of Fiber Optic Cable

Jurisdiction:

City of Fairhope

Zoning District:

ROW

General Location:

Quail Creek Drive

Applicant:

AT&T

Owner:

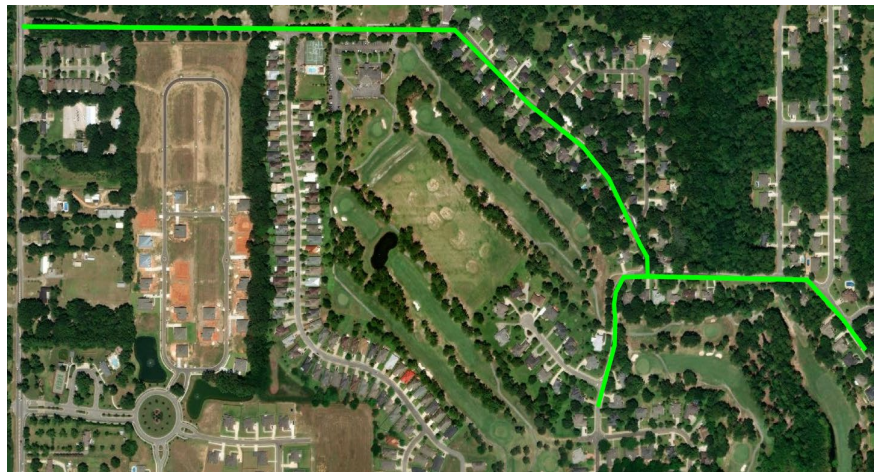
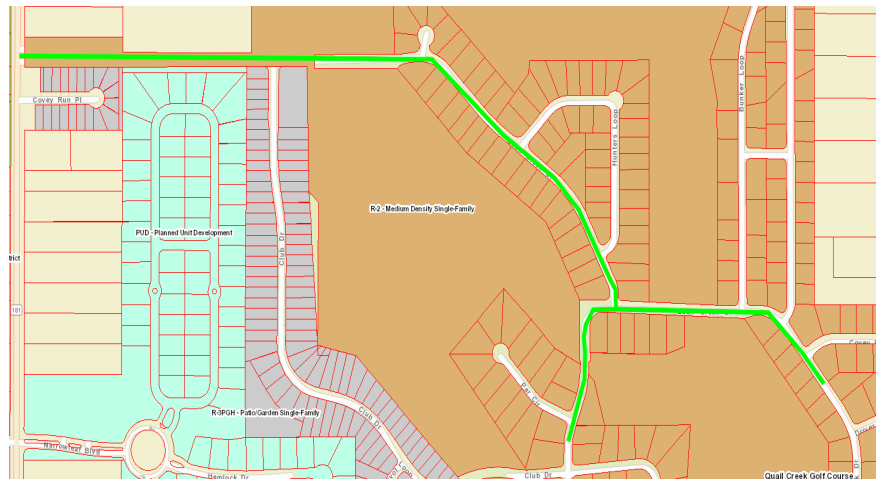
City of Fairhope Right-of-Ways

Prepared by:

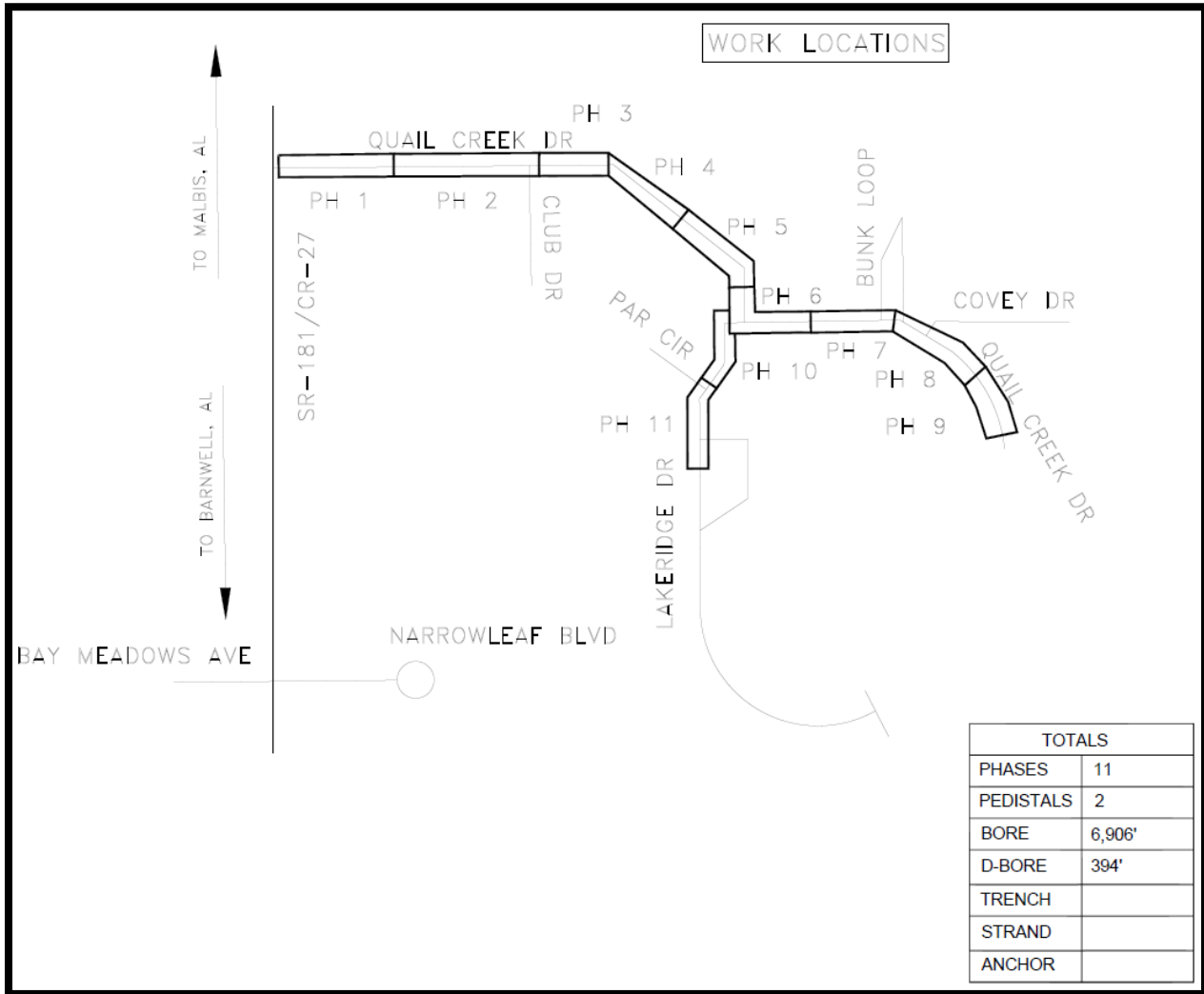
Mike Jeffries, QCI

Recommendation:

Approve with conditions



Summary of Request: Request of MediaCom for an 11.52.11 Utility Review and approval of the proposed installation of approximately 7,000 linear foot of buried cable along routes outlined on the below location map.



Comments:

The proposed utility construction falls within the corporate limits of the City of Fairhope. The comments below are typical general comments for City of Fairhope right-of-way projects. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the Baldwin County Highway Department or ALDOT.

GENERAL COMMENTS

No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

SUPERINTENDENT AND DEPARTMENT HEAD COMMENTS

The applicant shall contact Alabama One Call to locate all existing utilities.

Public Works Standard Comments:

- Handholes shall not be located within driplines of Heritage Trees (as defined by the Tree Ordinance).
- Any proposed trenching shall not be within the dripline of trees.
- If within a tree dripline, consult with the City of Fairhope Horticulturist before proceeding with earth work.
- Trees shall not be negatively impacted.

The applicant shall provide profile drawings with existing utilities, and proposed utilities. Hand holes/boxes shall not be allowed to be installed in sidewalks. Any boxes/handholes cannot be placed in the sidewalk. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate work with John Thomas ROW Inspector to resolve any potential conflicts. All conduit/cable shall be placed at depth from existing grade per industry and/or County Standards. A minimum horizontal and/or vertical clearance (separation) of 36" must be maintained from stormwater and utility infrastructures. No handholes, boxes, or other above ground infrastructure shall be installed within drainage easements. Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency. No grade change shall result from the utility installation. The applicant is to avoid any tree drip lines with handholes and equipment. If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

Code Enforcement Officer's Standard Comments:

- The applicant, or subcontractor, shall obtain a ROW permit from the City of Fairhope Building Department prior to beginning work.
- Subcontractors shall have a current business license with the City of Fairhope and shall always have a copy of the ROW permit available for review onsite. The permit shall be always posted on site or in the window of contractor's vehicles.
- Any ROW cuts shall be stabilized (covered) at the end of each day and disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project.
- Mulch / seed shall only be acceptable as temporary cover.
- Sod shall be watered as needed to ensure survival.
- Inlets shall be protected. (BMP's shall be placed at all affected storm inlets.)
- If site is within 100' of a critical area (wetland, etc.), red soils/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.

Building Official's Standard Comments:

- BMP's shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- All plans and permits shall be available for review at all times along with the City of Fairhope permit application.
- If required, appropriate ALDOT or Baldwin County Highway Department permits shall be obtained prior to the issuance of a right-of-way (ROW) permit.
- Contractor is advised to review and comply with the Building Official's best practices flyer.

Water and Sewer Standard Comments:

- All existing utilities must be located, and proper separation shall be maintained between utilities.
- All mechanical equipment shall be screened by painting the equipment Munsell Green.
- No blue lined conduit is to be used for communication lines to prevent possible confusion with water service lines. Materials colors shall match APWA uniform color code.
- Water and sewer mains/services must be potholed prior to bore crossings. If street cuts are necessary for potholes, please contact Right of Way inspector for restoration.

Natural Gas Standard Comments:

- Contractor shall provide proper separation from the gas main and all other utilities.

The applicant is advised of the following:

- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department or other applicable jurisdiction. Permit not valid until approved and paid for on Citizen Serve online portal.
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- All contractors/subcontractors are subject to City of Fairhope Business License procedures.

This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:

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2. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
3. City of Fairhope Erosion and Sediment Control Ordinance (#1398).

State and Federal permits shall be on file with the City of Fairhope Building Department, prior to the issuance of City of Fairhope permits.

The applicant shall provide as-built drawings of all installed lines depicting exact depths.

Recommendation:

Staff recommends **approval of UR 21.07 subject to the following conditions:**

1. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
2. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
 - a. An additional right-of-way permit may be required for the potholing procedures.
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Planning Commission

October 4, 2021

Utility Review

Case: UR 21.08 MediaCom

Project Name:

MediaCom Fiber Optic Installation throughout Fairhope's ROW and Utility Easements

Project Type:

Utility Review

Project Scope:

Install 13,288' of Fiber Optic Cable

Jurisdiction:

City of Fairhope

Zoning District:

ROW

General Location:

Stone Creek Subdivision

Applicant:

AT&T

Owner:

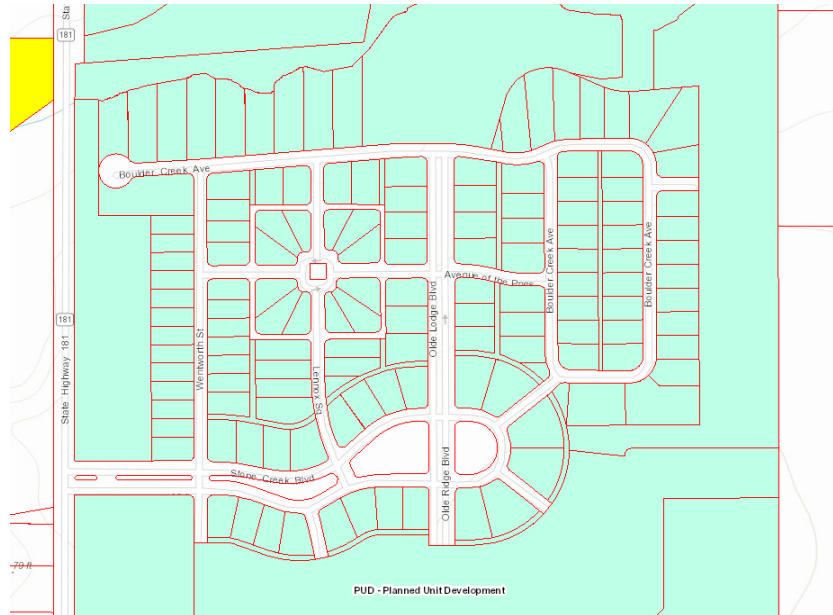
City of Fairhope Right-of-Ways

Prepared by:

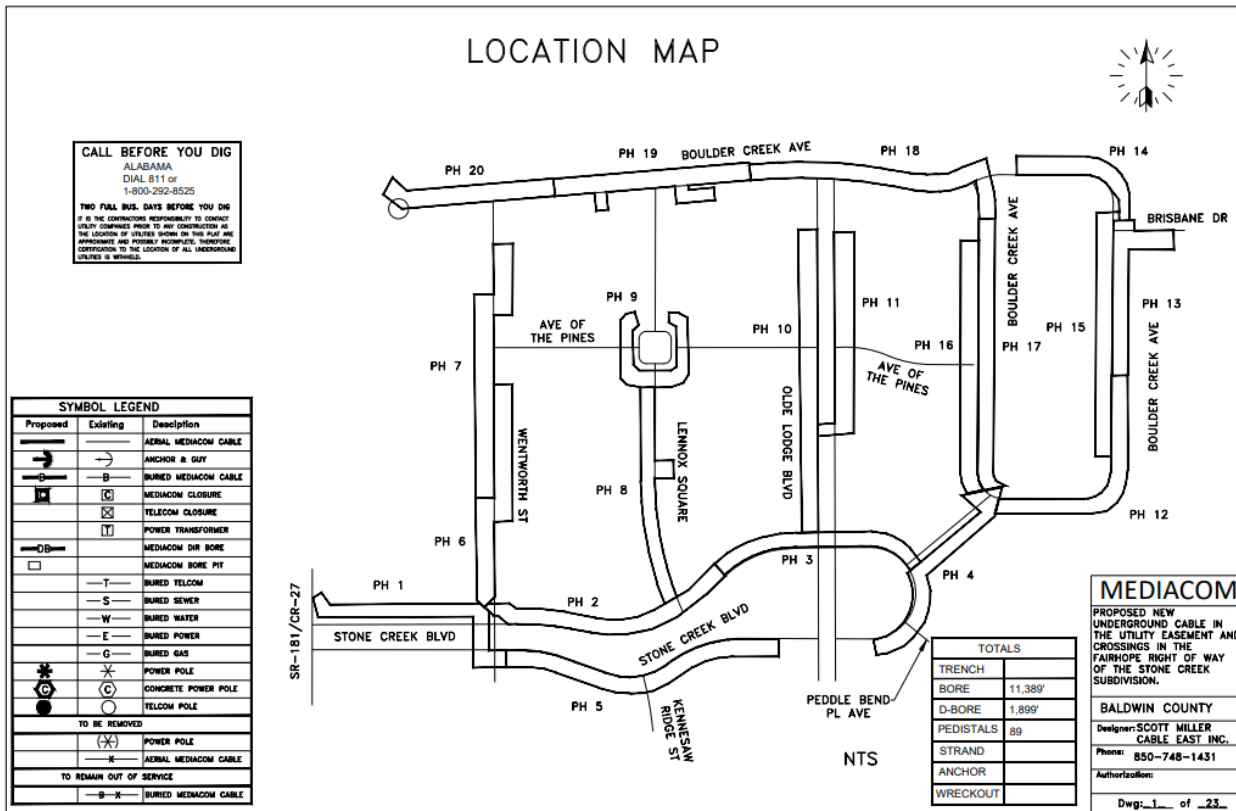
Mike Jeffries, QCI

Recommendation:

Approve with conditions



Summary of Request: Request of MediaCom for an 11.52.11 Utility Review and approval of the proposed installation of approximately 13,288 linear feet of buried cable along routes outlined on the below location map.



Comments:

The proposed utility construction falls within the corporate limits of the City of Fairhope. The comments below are typical general comments for City of Fairhope right-of-way projects. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the Baldwin County Highway Department or ALDOT.

GENERAL COMMENTS

No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

SUPERINTENDENT AND DEPARTMENT HEAD COMMENTS

The applicant shall contact Alabama One Call to locate all existing utilities.

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- Handholes shall not be located within driplines of Heritage Trees (as defined by the Tree Ordinance).
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- Trees shall not be negatively impacted.

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State and Federal permits shall be on file with the City of Fairhope Building Department, prior to the issuance of City of Fairhope permits.

The applicant shall provide as-built drawings of all installed lines depicting exact depths.

Recommendation:

Staff recommends **approval of UR 21.08 subject to the following conditions:**

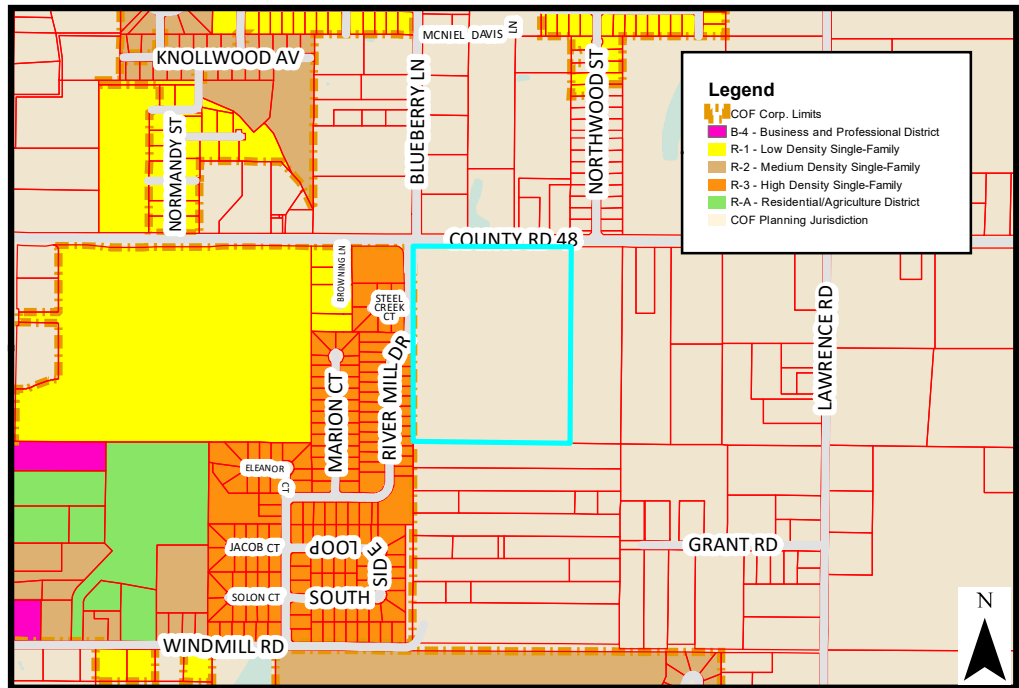
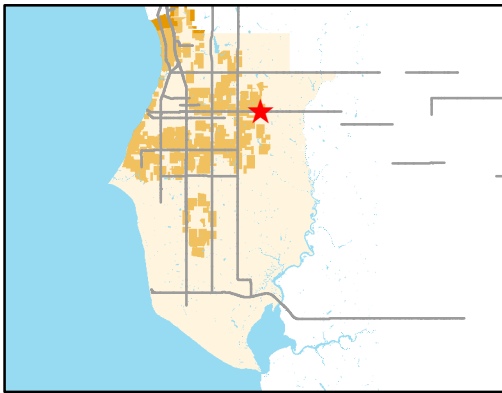
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 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps as needed.
4. Provide draft door hanger for approval at time of pre-construction.
5. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.

City of Fairhope Planning Commission

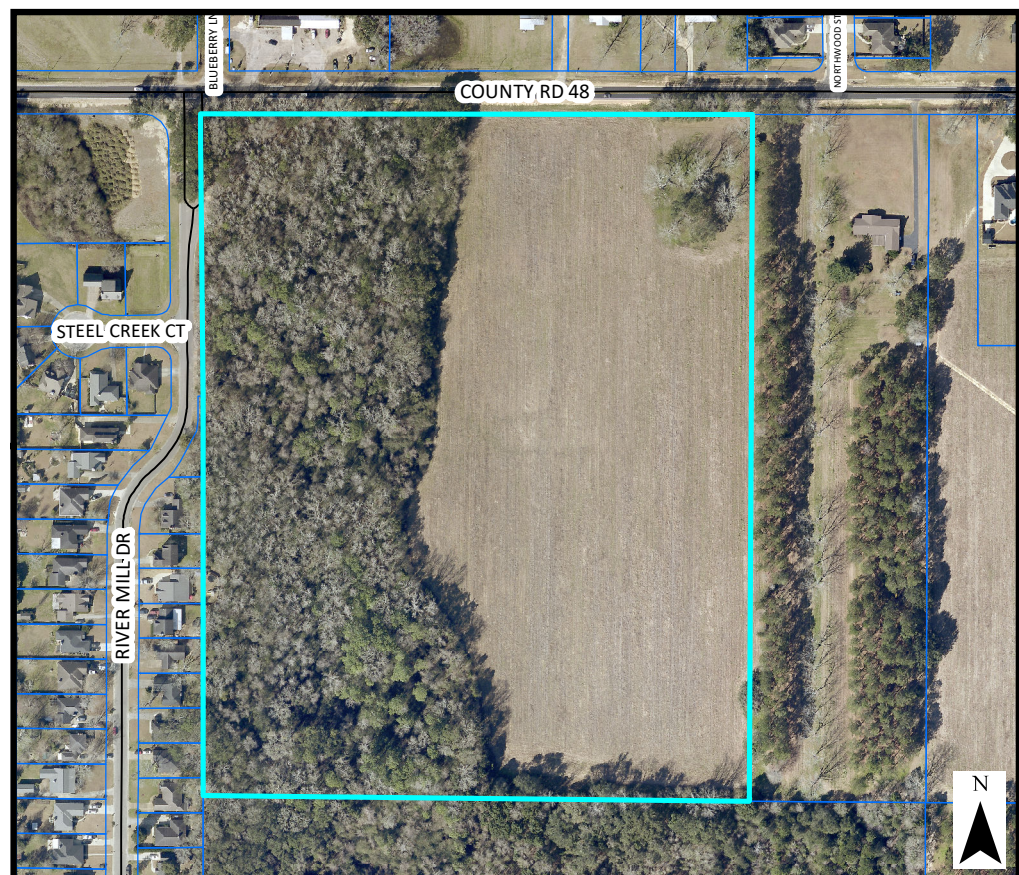
October 4, 2021



SD 21.39 - Overland Subdivision



Project Name:	Overland- Minor
Site Data:	30.70 acres
Project Type:	2-Lot Minor Subdivision
Jurisdiction:	Fairhope Planning Jurisdiction
Zoning District:	PUD
PPIN Number:	43640
General Location:	Southeast corner of the intersection of County Road 48 and Blueberry Lane
Surveyor of Record:	
Engineer of Record:	SE Civil, LLC
Owner / Developer:	68V Overland 2021, LLC
School District:	Fairhope Elementary School Fairhope Middle and High Schools
Recommendation:	Approved w/ Conditions
Prepared by:	Samara Walley





APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: Village Subdivision Minor Subdivision Informal (No Fee)
 Preliminary Plat Final Plat Multiple Occupancy Project

Attachments: Articles of Incorporation or List all associated investors
Date of Application: 8/24/21

Property Owner / Leaseholder Information
Name of Property Owner: 68V Overland 2021, LLC Phone Number: 251-625-1198
Address of Property Owner: 29891 Woodrow Lane Suite 300
City: Spanish Fort State: AL Zip: 36527

Proposed Subdivision Name: Overland Division
No. Acres in Plat: 30.70 No. Lots/Units: 2
Parcel No: 05-46-06-14-0-000-002.000 Current Zoning: PUD

Authorized Agent Information
Plat must be signed by the property owner before acceptance by the City of Fairhope
Name of Authorized Agent: SE Civil, LLC Phone Number: (251)990-6566
Address: 880 Holcomb Blvd, Suite 2F
City: Fairhope State: AL Zip: 36532
Contact Person: Larry Smith

Surveyor/Engineer Information
Name of Firm: SE Civil, LLC Phone Number: (251)990-6566
Address: 880 Holcomb Blvd, Suite 2F
City: Fairhope State: AL Zip: 36532
Contact Person: Larry Smith

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

68V Overland 2021, LLC
Property Owner/Leaseholder Printed Name

8/24/21
Date

[Signature]
Signature Agent

Fairhope Single Tax Corp. (If Applicable)



STATE OF ALABAMA

DOMESTIC LIMITED LIABILITY COMPANY (LLC) CERTIFICATE OF FORMATION

1. THE NAME OF THE LIMITED LIABILITY COMPANY

68V Overland 2021, LLC

2. THIS FORM WAS PREPARED BY:

Nathan L. Cox

3. THE NAME AND STREET (NO PO BOXES) ADDRESS OF THE REGISTERED AGENT LOCATED AT THE REGISTERED OFFICE (MUST BE LOCATED IN ALABAMA):

Andrew R Dolan
29891 Woodrow Lane, Suite 300
Spanish Fort, AL 36527
BALDWIN

MAILING ADDRESS IN ALABAMA OF REGISTERED OFFICE (IF DIFFERENT FROM STREET ADDRESS):

4. THE UNDERSIGNED CERTIFY THAT THERE IS AT LEAST ONE MEMBER OF THE LIMITED LIABILITY COMPANY.

5. CHECK ONLY IF THE TYPE APPLIES TO THE LIMITED LIABILITY COMPANY BEING FORMED:

- NON-PROFIT LLC
- NON-PROFIT SERIES LLC
- PROFESSIONAL SERIES LLC
- PROFESSIONAL LLC COMPLYING WITH TITLE 10A, CHAPTER 5A, ARTICLE 8
- SERIES LLC COMPLYING WITH TITLE 10A, CHAPTER 5A, ARTICLE 11

(FOR SOS OFFICE USE ONLY)

Alabama
Sec. Of State
869-725 DLL
Date 06/25/2021
Time 10:07:00
File \$100.00
County \$100.00
Exp \$0.00

Total \$200.00

6. THE UNDERSIGNED SPECIFY 06/25/2021 10:07:09 AS THE EFFECTIVE DATE AND THE TIME OF FILING

ATTACHED ARE ANY OTHER MATTERS THE MEMBERS DETERMINE TO INCLUDE HEREIN

7. ORGANIZER(S) - OPTIONAL

Not Applicable

06/25/2021

DATE

Nathan L. Cox Manager

ELECTRONIC SIGNATURE & TITLE

John H. Merrill
Secretary of State

P.O. Box 5616
Montgomery, AL 36103-5616

STATE OF ALABAMA

I, John H. Merrill, Secretary of State of Alabama, having custody of the Great and Principal Seal of said State, do hereby certify that

pursuant to the provisions of Title 10A, Chapter 1, Article 5, Code of Alabama 1975, and upon an examination of the entity records on file in this office, the following entity name is reserved as available:

68V Overland 2021, LLC

This name reservation is for the exclusive use of Nathan L. Cox, 29891 Woodrow Lane, Suite 300, Spanish Fort, AL 36527 for a period of one year beginning June 25, 2021 and expiring June 25, 2022



RES960638

In Testimony Whereof, I have hereunto set my hand and affixed the Great Seal of the State, at the Capitol, in the city of Montgomery, on this day.

June 25, 2021

Date

John H. Merrill

Secretary of State

Summary of Request:

Public hearing to consider the request of 68V Overland 2021, LLC for plat approval of Overland Subdivision, a 2-lot minor subdivision. The property is approximately 30.70 acres and is located at the southeast corner of the intersection of County Road 48 and Blueberry Lane.

Comments:

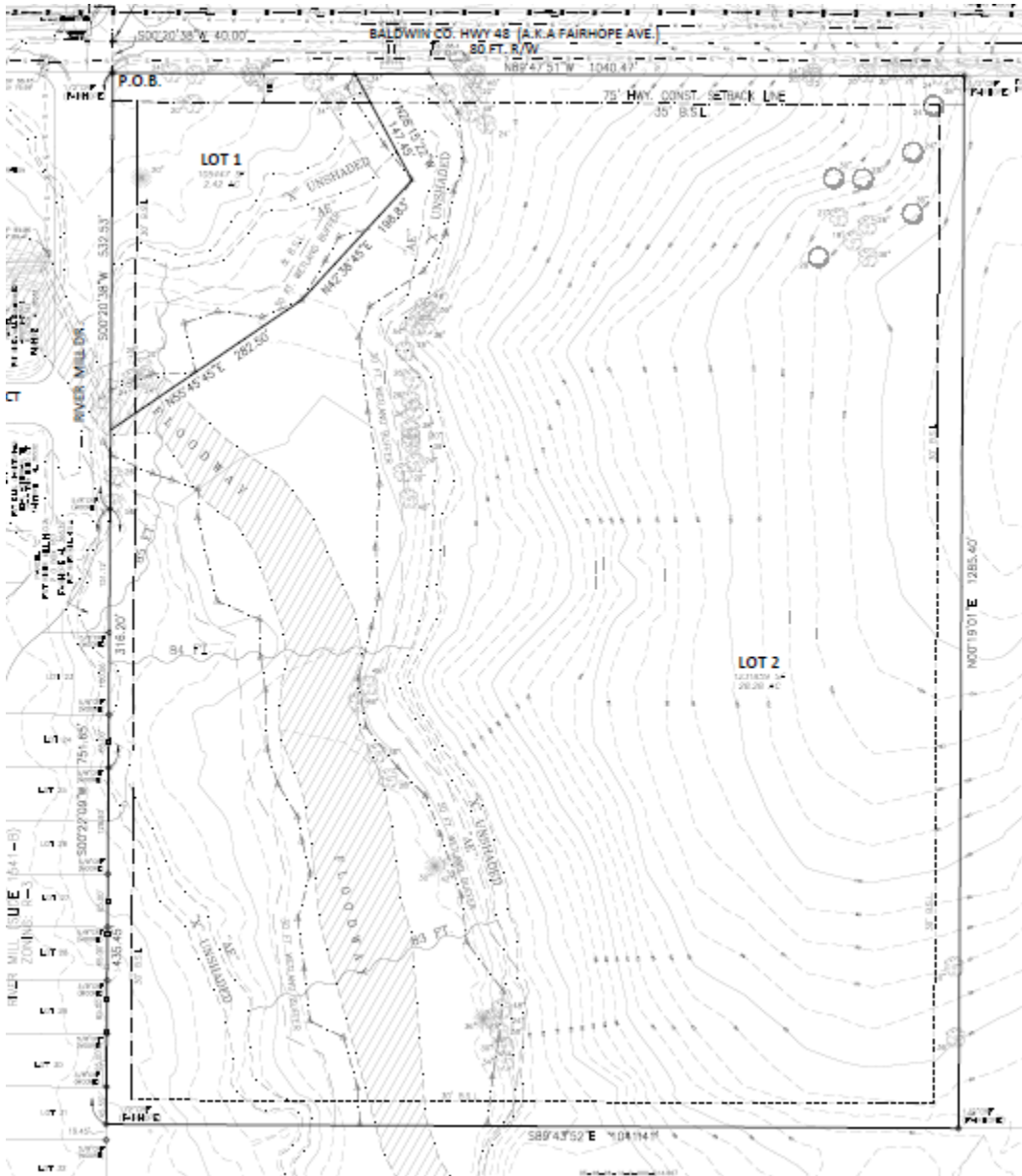
The subject property is in Fairhope’s corporate limits and therefore must follow Fairhope’s Subdivision Regulations. The proposed subdivision according to Fairhope’s Subdivision Regulations is a minor subdivision and has been reviewed accordingly.

It should be noted that the subject property received initial zoning to PUD and annexation by the City Council in June 28, 2021 (ZC 21.01). The overall development includes single family and multi-family components.

The proposed subdivision does not include the building of any additional infrastructure or improvements therefore a tree protection plan, landscape plan, and other criteria required for a major subdivision is not applicable.

The proposed subdivision did not trigger a traffic study. Concerning storm water runoff none of the existing flow patterns will be changed. Water, sewer, and gas is available through the City of Fairhope. Baldwin EMC has electrical service available.

The preliminary plat illustrates a 2-lot subdivision at the intersection of Fairhope Avenue and Blueberry Lane. A 75’ highway construction setback and a 35’ minimum building setback line is illustrated along Fairhope Avenue. A 30’ building setback line is illustrated along River Mill Drive. A wetland buffer is present on the subject site. A 30’ wetland buffer and buffer



signs are illustrated on the site. The preliminary plat does not illustrate sidewalks. As a condition of approval, sidewalks shall be illustrated along Fairhope Avenue as required in the PUD approval (ZC 21.01).

The subdivision regulations contain the following criteria in Article IV.B.2. Approval Standards:

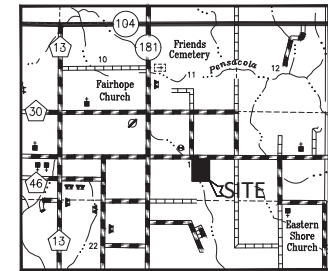
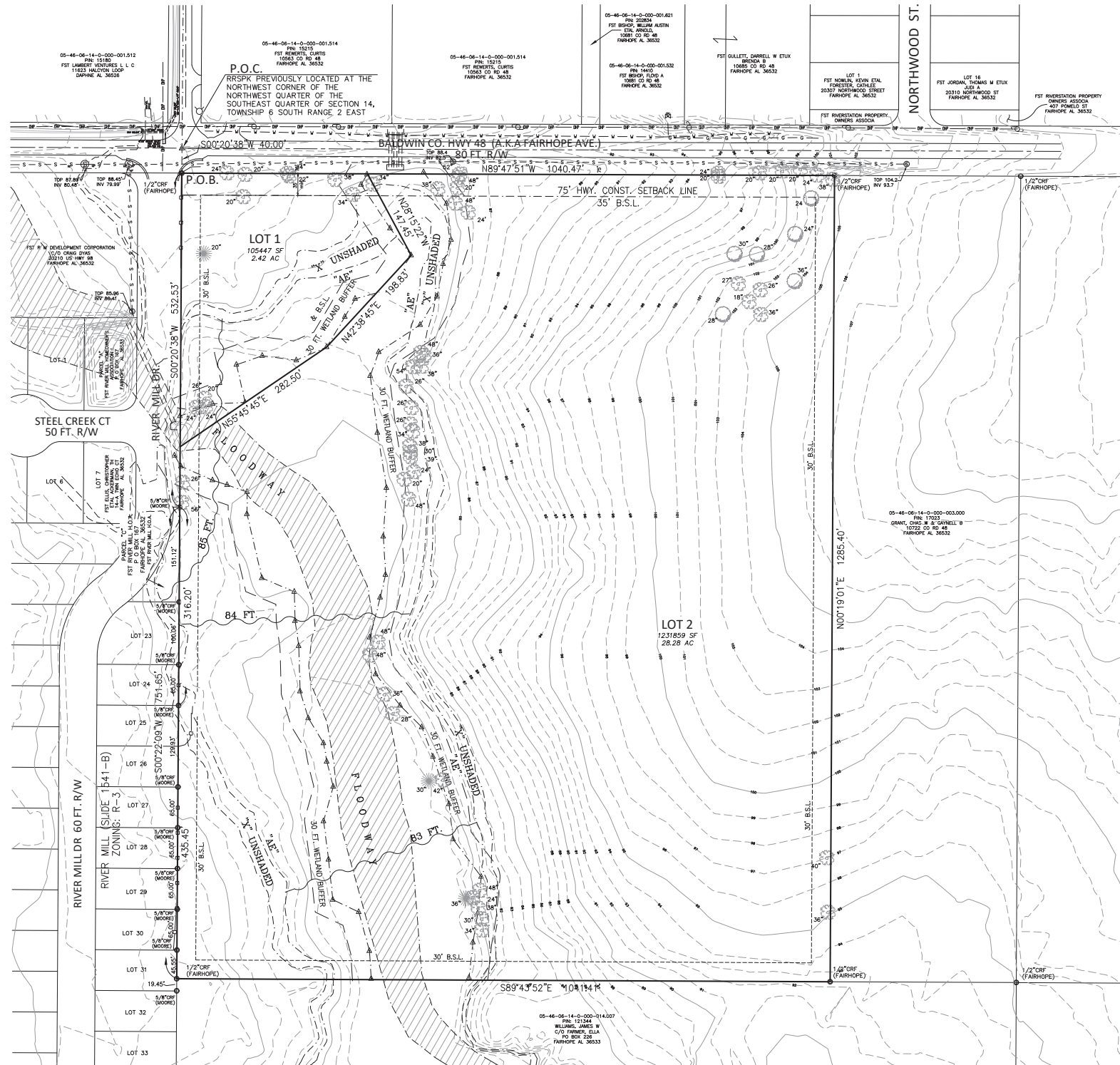
“2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:

- a. The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;***
 - Meets
- b. The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;***
 - Not applicable
- c. The proposed subdivision is not consistent with these Regulations;***
 - Meets
- d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations; or***
 - Meets
- e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”***
 - Meets

Recommendation:

Staff recommends **APPROVAL** of SD 21.39 Overland Minor Subdivision **subject to the following conditions:**

1. Revision of the plat to illustrate a sidewalk along Fairhope Avenue as required in the approved PUD (ZC 21.01).



VICINITY MAP
1" = 1 MILE

OWNER
ROBERTA U. HARRIS, STEPHEN JOHN
URBANKE II, AND MARGARET URBANEK
DUNNAM
10824 U.S. HWY 98
FAIRHOPE AL 36532

DEVELOPER
68V PAYDIRT, LLC
29891 WOODROW LANE, SUITE 300
SPANISH FORT AL 36527

PARCEL NO: 05-46-06-14-0-000-002.000

SITE DATA

CURRENT ZONING: P.U.D.
LIN. FT. STREETS: EXIST.
TOTAL LOTS: 2
DENSITY: 0.07 / AC
SMALLEST LOT: 2.42 AC
LARGEST SF LOT: 28.28 AC
COMMON AREAS: 8.34 AC (53%)
TOTAL AREA: 30.70 AC

REQUIRED SETBACKS:

FRONT: 35 FEET
REAR: 30 FEET
SIDE: 30 FEET
SIDE STREET: N/A

WATER SERVICE: CITY OF FAIRHOPE
SEWER SERVICE: CITY OF FAIRHOPE
ELECTRIC SERVICE: BALDWIN EMC
TELEPHONE SERVICE: AT&T

GENERAL NOTES:

- FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
- STORMWATER DETENTION SHALL BE PROVIDED FOR EACH PHASE OF THE DEVELOPMENT AS PER APPROVED P.U.D.
- THERE IS DEDICATED HERETHWITH A 10 FOOT UTILITY EASEMENT (5 FT. EACH SIDE) ON ALL LOT LINES AND A 10 FT. UTILITY EASEMENT ALONG COMMON AREAS ADJACENT TO THE RIGHT-OF-WAYS AND COMMON AREA LINES, UNLESS OTHERWISE NOTED.
- THERE IS DEDICATED HERETHWITH A 15 FOOT DRAINAGE EASEMENT (7.5' EACH SIDE) ALONG THE REAR LOT LINES OF ALL LOTS (UNLESS SHOWN OTHERWISE) AND A 10 FOOT DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES (5 FOOT OFF EACH SIDE).
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE HIGHEST GROUND ELEVATION 10 FEET OUTSIDE OF BUILDING. SEE THE FAIRHOPE BUILDING DEPARTMENT FOR SPECIFIC REQUIREMENT.
- ALL ACCESS STREETS TO ADJACENT PROPERTIES THAT ARE NOT CONNECTED AT THE TIME OF THE IMPROVEMENTS SHALL BE POSTED WITH A STOP SIGN BLANK READING "FUTURE THROUGH STREET".

LEGEND:

- B.S.L. = BUILDING SETBACK LINE
- (R) = RECORD BEARING/DISTANCE
- CRF = CAPPED REBAR FOUND
- CRS = CAPPED REBAR SET
- = WOOD FENCE
- = OVERHEAD UTILITY LINE
- s — s — = SEWER MAIN
- = UTILITY POLE
- ⊙ = SEWER MANHOLE
- ⊙ = FIRE HYDRANT
- ⊙ = WETLAND FLAG
- ⊙ = GAS VALVE
- ⊙ = FIBER OPTIC MARKER
- ⊙ = OAK
- ⊙ = HICKORY
- ⊙ = PECAN
- ⊙ = SWEETGUM

SURVEYOR'S NOTES:

- THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
- THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
- THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
- SURVEY WAS CONDUCTED ON AUGUST AND SEPTEMBER 2020, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
- BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES, AND ARE BASED ON STATE PLANE GRID, ALABAMA WEST ZONE USING GPS OBSERVATIONS.
- ELEVATIONS SHOWN HEREON ARE RELATED TO MEAN SEA LEVEL, BASED ON N.A.V.D. 1988 DATUM.
- NO TITLE SEARCH OR REPORT WAS PROVIDED FOR THIS SURVEY.
- THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA, EFFECTIVE JANUARY 1, 2017.

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

COMMENCE AT A RAILROAD SPIKE AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 6 SOUTH RANGE 2 EAST, BALDWIN COUNTY, ALABAMA, AND RUN THENCE SOUTH 00 DEGREES 20 MINUTES 38 SECONDS WEST, A DISTANCE OF 40.00 FEET TO A CAPPED REBAR (FAIRHOPE) ON THE SOUTH RIGHT-OF-WAY OF FAIRHOPE AVENUE, SAID POINT ALSO BEING THE NORTHEAST CORNER OF RIVER MILL UNIT 1, AS SHOWN BY MAP OR PLAT THEREOF RECORDED AT SLIDE 1541-B, BALDWIN COUNTY PROBATE RECORDS; EDG. THE POINT OF BEGINNING; CONTINUE THENCE SOUTH 00 DEGREES 20 MINUTES 38 SECONDS WEST, ALONG THE WEST LINE OF SAID RIVER MILL UNIT 1, A DISTANCE OF 532.55 FEET TO A CAPPED REBAR (MOORE); THENCE RUN SOUTH 00 DEGREES 22 MINUTES 09 SECONDS WEST, CONTINUING ALONG SAID WEST LINE OF RIVER MILL, A DISTANCE OF 751.65 FEET TO A CAPPED REBAR (FAIRHOPE); THENCE RUN SOUTH 89 DEGREES 43 MINUTES 52 SECONDS EAST, A DISTANCE OF 1041.41 FEET TO A CAPPED REBAR (FAIRHOPE); THENCE RUN NORTH 00 DEGREES 19 MINUTES 01 SECONDS EAST, A DISTANCE OF 1285.40 FEET TO A CAPPED REBAR (FAIRHOPE) ON THE AFORESAID SOUTH RIGHT-OF-WAY OF FAIRHOPE AVENUE; THENCE RUN NORTH 89 DEGREES 47 MINUTES 51 SECONDS WEST, ALONG SAID SOUTH RIGHT-OF-WAY, A DISTANCE OF 1040.47 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 30.70 ACRES, MORE OR LESS.

DAVID E DIEHL AL. P.L.S. NO. 26014 DATE 08-15-2021



SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

CERTIFICATE OF OWNERSHIP

WE, _____ HEREBY STATE THAT WE ARE THE OWNERS OF THE LANDS DESCRIBED HEREON AND DO HEREBY DEDICATE ALL ROADS, STREETS, ALLEYS AND EASEMENTS SHOWN ON THIS PLAT TO THE PUBLIC.

WE, _____ AND _____ WHOSE NAMES OWNERS, HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND DATED HEREON THIS _____ DAY OF _____

CERTIFICATE OF NOTARY PUBLIC:

STATE OF ALABAMA
COUNTY OF BALDWIN

I, SAID STATE, HEREBY CERTIFY THAT _____ AS OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND IN THEIR CAPACITY AS SUCH OWNER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THE _____ DAY OF _____

NOTARY PUBLIC MY COMMISSION EXPIRES _____

CERTIFICATE OF APPROVAL BY THE FAIRHOPE PLANNING DIRECTOR

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING COMMISSION OF FAIRHOPE, ALABAMA, AND IS APPROVED BY SUCH COMMISSION.

THE CITY OF FAIRHOPE PLANNING COMMISSION
BY: _____ DATE: _____

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE UTILITIES (WATER):

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____ 2021.

AUTHORIZED REPRESENTATIVE _____

FLOOD CERTIFICATE:

PROPERTY LIES IN FLOOD ZONE "X", "X-SHADED", "AE" AND A FLOODWAY AS SCALED FROM FLOOD INSURANCE RATE MAP NUMBER 01003C0664M, COMMUNITY NUMBER 015000, PANEL 0664, SUFFIX "M", DATED APRIL 19, 2019.

CERTIFICATE OF APPROVAL BY BALDWIN E.M.C.

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____ 2021.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY AT&T

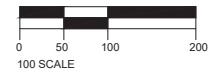
THE UNDERSIGNED, AS AUTHORIZED BY AT&T HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____ 2021.

AUTHORIZED REPRESENTATIVE _____

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AUTHORIZED REPRESENTATIVE _____



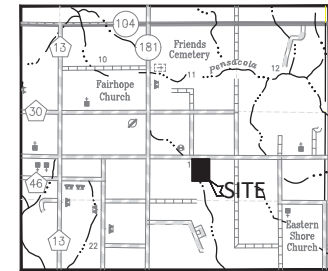
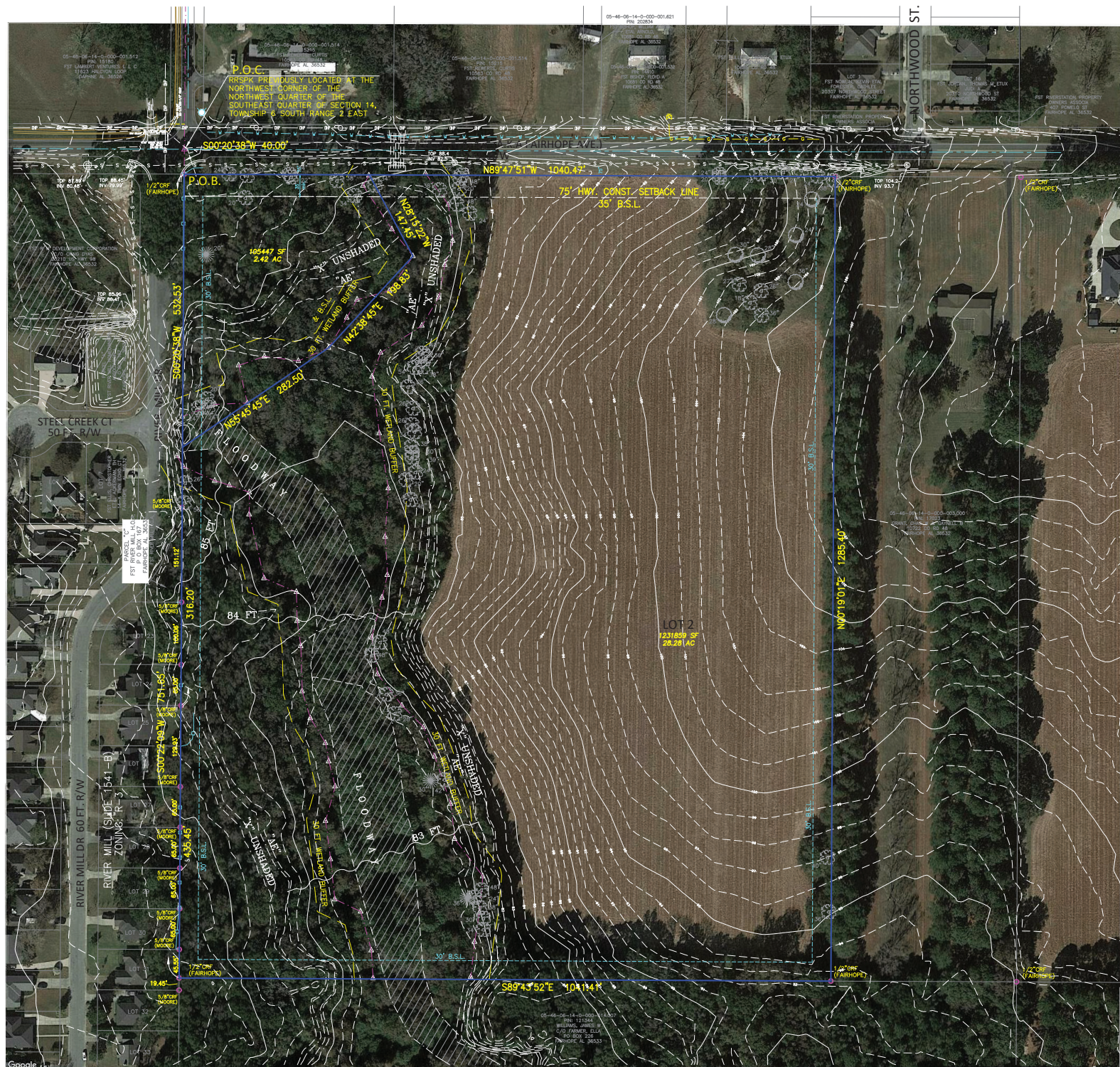
BOUNDARY & PLAT
OF SUBDIVISION

68V PAYDIRT, LLC

OVERLAND DIVISION



DRAWN	RDC
CHKD.	DED
PROJ MGR	DED
SCALE	1"=100'
PROJECT	20200781
FILE	2 LOT
SHEET	1 OF 1



VICINITY MAP
1" = 1 MILE

OWNER
ROBERTA U. HARRIS, STEPHEN JOHN
URBANKE II, AND MARGARET URBANEK
DUNNAM
10824 U.S. HWY 98
FAIRHOPE AL 36532

DEVELOPER
68V PAYDIRT, LLC
29891 WOODROW LANE, SUITE 300
SPANISH FORT AL 36527

PARCEL NO: 05-46-06-14-0-000-002.000

- GENERAL NOTES:**
- FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
 - STORMWATER DETENTION SHALL BE PROVIDED FOR EACH PHASE OF THE DEVELOPMENT AS PER APPROVED P.U.D.
 - THERE IS DEDICATED HERewith A 10 FOOT UTILITY EASEMENT (5 FT. EACH SIDE) ON ALL LOT LINES AND A 10 FT. UTILITY EASEMENT ALONG COMMON AREAS ADJACENT TO THE RIGHT-OF-WAYS AND COMMON AREA LINES, UNLESS OTHERWISE NOTED.
 - THERE IS DEDICATED HERewith A 15 FOOT DRAINAGE EASEMENT (7.5' EACH SIDE) ALONG THE REAR LOT LINES OF ALL LOTS (UNLESS SHOWN OTHERWISE) AND A 10 FOOT DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES (5 FOOT OFF EACH SIDE).
 - MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE HIGHEST GROUND ELEVATION 10 FEET OUTSIDE OF BUILDING. SEE THE FAIRHOPE BUILDING DEPARTMENT FOR SPECIFIC REQUIREMENT.
 - ALL ACCESS STREETS TO ADJACENT PROPERTIES THAT ARE NOT CONNECTED AT THE TIME OF THE IMPROVEMENTS SHALL BE POSTED WITH A STOP SIGN BLANK READING "FUTURE THROUGH STREET".

SITE DATA

CURRENT ZONING: P.U.D.
LIN. FT. STREETS: EXIST.
TOTAL LOTS: 2
DENSITY: 0.07 / AC
SMALLEST LOT: 2.42 AC
LARGEST SF LOT: 28.28 AC
COMMON AREAS: 8.34 AC (53%)
TOTAL AREA: 30.70 AC

REQUIRED SETBACKS:

FRONT: 35 FEET
REAR: 30 FEET
SIDE: 30 FEET
SIDE STREET: N/A

WATER SERVICE: CITY OF FAIRHOPE
SEWER SERVICE: CITY OF FAIRHOPE
ELECTRIC SERVICE: BALDWIN EMC
TELEPHONE SERVICE: AT&T

SURVEYOR'S NOTES:

- THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
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LEGEND:

- B.S.L. = BUILDING SETBACK LINE
- (R) = RECORD BEARING/DISTANCE
- CRF = CAPPED REBAR FOUND
- CRS = CAPPED REBAR SET
- = WOOD FENCE
- = OVERHEAD UTILITY LINE
- = SEWER MAIN
- = UTILITY POLE
- = SEWER MANHOLE
- = FIRE HYDRANT
- = WETLAND FLAG
- = GAS VALVE
- = FIBER OPTIC MARKER
- = OAK
- = HICKORY
- = PECAN
- = SWEETGUM

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

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DAVID E DIEHL AL P.L.S. NO. 26014 DATE 08-15-2021



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WE, _____ AND _____ WHOSE NAMES OWNERS, HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED.

DATED THIS _____ DAY OF _____

BY: _____ OWNER

CERTIFICATE OF NOTARY PUBLIC:

I, _____ NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY THAT _____ AS OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND IN THEIR CAPACITY AS SUCH OWNER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THE _____ DAY OF _____

NOTARY PUBLIC MY COMMISSION EXPIRES _____

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BY: _____ DATE: _____

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AUTHORIZED REPRESENTATIVE _____

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AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY AT&T

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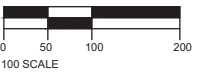
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AUTHORIZED REPRESENTATIVE _____

- RIVER MILL ADJ. OWNERS**
- LOT 23**
05-46-06-14-0-000-001.614
P.N.C. 202747
FST POULT, DANIEL
20342 RIVER MILL DRIVE
FAIRHOPE AL 36532
- LOT 24**
05-46-06-14-0-000-001.613
P.N.C. 202746
FST HILBERT, JEANNE CLARE MILLER
12024 LAZZARI LANE
DAVINE AL 36526
- LOT 25**
05-46-06-14-0-000-001.612
P.N.C. 202745
FST FELTUS, HANNAH M
20318 RIVER MILL DR
FAIRHOPE AL 36532
- LOT 26**
05-46-06-14-0-000-001.611
P.N.C. 202744
FST SCHMIDT, MICHAEL PATRICK ETAL SCHL
20306 RIVER MILL DR
FAIRHOPE AL 36532
- LOT 27**
05-46-06-14-0-000-001.610
P.N.C. 202743
FST BARNHART, SHANNON
20294 RIVER MILL RD
FAIRHOPE AL 36532
- LOT 28**
05-46-06-14-0-000-001.609
P.N.C. 202742
FST SCOWL, PAMELA ETAL, SCOWL, BROOKE
20282 RIVER MILL DR
FAIRHOPE AL 36532
- LOT 29**
05-46-06-14-0-000-001.608
P.N.C. 202741
FST SLOAN, STEVEN D
372 PECAN AVE
FAIRHOPE AL 36532
- LOT 30**
05-46-06-14-0-000-001.607
P.N.C. 202740
FST COX, NATHAN W ETAL COX, CLARA
20268 RIVER MILL DR
FAIRHOPE AL 36532
- LOT 31**
05-46-06-14-0-000-001.606
P.N.C. 202739
FST DORRIS, ROSS AND WOODS L L C
181 CLUBHOUSE CIR
FAIRHOPE AL 36532



BOUNDARY & PLAT OF SUBDIVISION

68V PAYDIRT, LLC

OVERLAND DIVISION



DRAWN	RDC
CHKD.	DED
PROJ MGR	DED
SCALE	1"=100'
PROJECT	20200781
FILE	2 LOT
SHEET	1 OF 1



September 2, 2020

Joe Everson
c/o Terra Core Development
29891 Woodrow Lane, Suite 300
Spanish Fort, AL 36527
john@terracoredev.com
joe@terracoredev.com

**Re: Wetland Delineation – County Rd 48, +/- 29.99 acres
Baldwin County Parcel: 46-06-14-0-000-002.000**

Dear Mr. Everson:

Biome Consulting Group, LLC (Biome) has completed a jurisdictional wetlands and waters assessment of the above referenced property. Our wetland assessment included an analysis of vegetative cover and makeup, wetland hydrology indicators and hydric soil indicators in accordance with federal, Army Corps of Engineers (COE), procedural guidelines.

The site was found to contain approximately 5.11-acres of wetlands within the jurisdiction of federal agencies. The jurisdictional boundaries were alphanumerically flagged with pink surveyor's tape, located via Trimble Geo7x GPS, and is depicted on the enclosed map using ArcMap 10.5 software. The following is a brief, technical summary of our findings relative to the regulatory agencies' potential involvement with this property:

U.S. ARMY CORPS OF ENGINEERS

Technical guidelines outlined in the US Army Corps of Engineers Wetlands Delineation Manual (1987) were applied in the field for determining the presence and location of jurisdictional wetlands on the above referenced lot. The on-site reconnaissance was conducted by walking multiple transects throughout the lot. The following technical details support our location of the jurisdictional boundary:

1. **General Observations:** The site is a parcel adjacent to a residential subdivision and undeveloped areas;
2. **Vegetation:** The upland area is dominated longleaf pine, live oak, water oak, tung tree, bracken fern, and ebony spleenwort, and the wetland area is dominated by sweetbay magnolias, swamp gum, sweetgum, tung tree, netted chain fern, and cinnamon fern;
3. **Soils:** According to the NRCS soil map, the peri-jurisdictional area is underlain by Bibb (hydric), Magnolia (non-hydric), Norfolk (non-hydric), Grady (hydric), Faceville (non-hydric), and Dorovan

(hydric), which was confirmed by on-site soil pit excavation. The **A5 Stratified Layers** indicator was present below the jurisdictional boundary and absent above;

4. **Hydrology:** Indicators of wetland hydrology observed on site include buttressing and rack debris.

All of the parameters necessary for the COE to exert jurisdiction were present in that portion of the property identified as wetland. Section 404 of the Clean Water Act (33 USC 1344) requires authorization from the Secretary of the Army, acting through the COE, for the discharge of dredged or fill material into all waters of the United States, including wetlands. Discharges of fill material generally include, without limitation: placement of fill that is necessary for the construction of any structure, or impoundment requiring rock, sand, dirt, or other material for its construction; site-development fills for recreational, industrial, commercial, residential, and other uses; causeways or road fills; dams and dikes; artificial islands; property protection or reclamation devices such as riprap, groins, seawalls, breakwaters, and revetments; beach nourishment; levees; fill for intake and outfall pipes and sub-aqueous utility lines; fill associated with the creation of ponds; and any other work involving the discharge of fill or dredged material. A COE permit is required whether the work is permanent or temporary.

The basic premise of the dredge and fill program is that no discharge of dredged or fill material may be permitted if: (1) a practicable alternative exists that is less damaging to the aquatic environment or (2) the nation's waters would be significantly degraded. What this means is when you apply for a permit, you must show that you have, to the extent practicable:

- Reasonably avoided all wetland impacts;
- Minimized potential impacts on wetlands; and
- Provide compensation for any remaining unavoidable impacts.

CONCLUSION

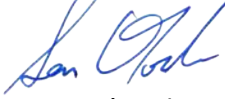
Based on our thorough assessment, we have concluded that 24.88-acres of the target property is upland with 5.11-acres of wetlands and other waters within the jurisdiction of the COE. Any proposal to develop the wetland portion of the property will require permits from the agency. We note that these calculations are based on an inspection boundary approximated from the county property appraiser depiction of the property boundary. An actual boundary survey may result in slightly different calculations.

A wetland delineation performed by an ecological consultant represents the professional opinion of the scientist that performed the work. Only the regulatory agencies can establish a legal and binding jurisdictional boundary. Such can be obtained by submitting a permit application and waiting several months for processing. For the purposes of local government permitting (e.g. building permit) this letter should suffice.

This report is intended for the sole use by the above listed addressee. Its contents may not be relied upon by other parties without the written consent of Biome Consulting Group.

This concludes our assessment of the target property. If you require additional information, assistance, or clarification, please give us a call at 850.435.9367. We look forward to being of assistance to you in the future.

Sincerely,
Biome Consulting Group



Sean O'Toole
Ecological Consultant
Partner

2238.013 Co Rd 48

Attachment: Wetland Jurisdiction Map

COUNTY RD 48

STEEL CREEK CT




RIVER MILL DR



APPROXIMATE ACREAGES
 UPLANDS : 24.88-ACRES
 WETLANDS : 5.11-ACRES

WETLAND JURISDICTION MAP
 BALDWIN COUNTY
 COUNTY RD 48
 46-06-14-0-000-002.000
 K - - † - k o \ V

LEGEND

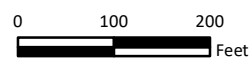
-  INSPECTION BOUNDARY
-  UPLANDS
-  WETLANDS

2235.013
CBO

9/1/2020



biome
 Consulting Group
 1300 West Government St. Pensacola, FL 32502
 850.435.9367 www.biome.co



THIS IS NOT A SURVEY



FIRE FLOW TEST REPORT

Project: Overland
Engineer: Larry Smith
Date: 3/4/2021 Time: 9:30 AM

FLOW HYDRANT

Hydrant Location: Intersection of CR48 and Blueberry Lane
Size of Watermain, In.: 8 Material: PVC
Pitot, PSI: 45 Observed Flow, GPM: 1,125
 Q_R , Calculated Fire Flow @ 20 PSI: 9,100

TEST HYDRANT (RESIDUAL)

Hydrant Location: CR48 in front of the water tower.
Size of Watermain, In.: 8 Material: PVC
Static PSI: 68 Residual: 67

Q_F = Total test flow 1,125
 H_R = Static Pressure minus 20 psi 48
 H_F = Static Pressure minus Residual Pressure 1

$Q_R = Q_F \times (H_R / H_F)^{0.54}$

Where:

Q_R = Rated Capacity at 20 psi (in GPM) 9,100 **GPM**

The available Fire Flow exceeds the required 1000 gpm.

Professional seal of Larry Smith, State of Alabama, with a signature and date 3/23/21.



August 24, 2021

Hunter Simmons
Fairhope Planning Department
555 S. Section Street
Fairhope, AL 36532

Re: Overland Subdivision – Traffic Letter

Dear Hunter:

This letter is to serve as back up information as to why a Traffic Impact Study is not warranted for this project. According to the subdivision regulations a traffic impact study is required if a project will increase the average daily traffic by 1,000 trips or generate 50 trips or more during any peak hour period. Attached is the ITE Trip Generation Report. The proposed development will consist of 16 townhome units. When plugging 16 townhomes into the ITE Trip Generation Report, we come up with 93 daily trips and 8 peak hour trips. This does not meet the threshold for a traffic study. Please refer to the attached ITE Trip Generation Report.

If you have any questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read 'Larry Smith', written in a cursive style.

Larry Smith, PE
larry@secivil.pro



Instructions:
Enter Numbers into the "Expected Units" in the Corresponding Yellow Column

Trip Generation Rates from the 8th Edition ITE Trip Generation Report

NA: Not Available

KSF²: Units of 1,000 square feet

DU: Dwelling Unit

Fuel Position: # of vehicles that could be fueled simultaneously

Occ.Room: Occupied Room

Description / ITE Code	Units	Rate Weekday Daily Traffic	PM Peak Period Rate	% PM In	% PM Out	Expected Units (independent variable)	Calculated Daily Trips	PM Peak Trips - Total	PM In	PM Out
Waterport/Marine Terminal 010	Berths	171.52	NA	NA	NA		0	NA	NA	NA
Commercial Airport 021	Employees	13.40	0.80	54%	46%		0	0	NA	NA
Commercial Airport 021	Avg Flights/Day	104.73	5.75	56%	44%		0	0	NA	NA
Commercial Airport 021	Com. Flights/Day	122.21	6.88	54%	46%		0	0	NA	NA
General Aviation Airport 022	Employees	14.24	1.03	45%	55%		0	0	NA	NA
General Aviation Airport 022	Avg. Flights/Day	1.97	NA	NA	NA		0	NA	NA	NA
General Aviation Airport 022	Based Aircraft	5.00	0.37	45%	55%		0	0	NA	NA
Truck Terminal 030	Acres	81.90	6.55	43%	57%		0	0	NA	NA
Park&Ride w/ Bus Service 090	Parking Spaces	4.50	0.62	22%	78%		0	0	NA	NA
Park&Ride w/ Bus Service 090	Occ. Spaces	9.62	0.81	28%	72%		0	0	NA	NA
Light Rail Station w/ Park 093	Parking Space	2.51	1.24	58%	42%		0	0	NA	NA
Light Rail Station w/ Park 093	Occ. Spaces	3.91	1.33	58%	42%		0	0	NA	NA
General Light Industrial 110	KSF ²	6.97	0.97	12%	88%		0	0	NA	NA
General Light Industrial 110	Employees	3.02	0.42	21%	79%		0	0	NA	NA
General Heavy Industrial 120	KSF ²	1.50	0.68	NA	NA		0	0	NA	NA
General Heavy Industrial 120	Employees	0.82	0.88	NA	NA		0	0	NA	NA
Industrial Park 130	KSF ²	6.96	0.86	21%	79%		0	0	NA	NA
Industrial Park 130	Employees	3.34	0.46	20%	80%		0	0	NA	NA
Manufacturing 140	KSF ²	3.82	0.74	36%	64%		0	0	NA	NA
Manufacturing 140	Employees	2.13	0.36	44%	56%		0	0	NA	NA
Warehousing 150	KSF ²	3.56	0.32	25%	75%		0	0	NA	NA
Warehousing 150	Employees	3.89	0.59	35%	65%		0	0	NA	NA
Mini Warehouse 151	KSF ²	2.50	0.26	51%	49%		0	0	NA	NA
Mini Warehouse 151	Storage Units	0.25	0.02	NA	NA		0	0	NA	NA
Mini Warehouse 151	Employees	61.90	6.04	52%	48%		0	0	NA	NA
High-Cube Warehouse 152	KSF ²	1.44	0.10	33%	67%		0	0	NA	NA
High-Cube Warehouse 152	Employees	NA	0.66	35%	65%		0	0	NA	NA
Utilities 170	KSF ²	NA	0.76	45%	55%		0	0	NA	NA
Utilities 170	Employees	NA	0.76	90%	10%		0	0	NA	NA
Single Family Homes 210	DU	9.57	1.01	63%	37%		0	0	NA	NA
Single Family Homes 210	Vehicles	6.02	0.67	66%	34%		0	0	NA	NA
Apartment 220	DU	6.65	0.62	65%	35%		0	0	NA	NA
Apartment 220	Persons	3.31	0.40	NA	NA		0	0	NA	NA
Apartment 220	Vehicles	5.10	0.60	NA	NA		0	0	NA	NA
Low Rise Apartment 221	Occ.DU	6.59	0.58	65%	35%		0	0	NA	NA
High Rise Apartment 222	DU	4.20	0.35	61%	39%		0	0	NA	NA
Mid-Rise Apartment 223	DU	NA	0.39	58%	42%		0	0	NA	NA
Rental Townhouse 224	DU	NA	0.72	51%	49%		0	0	NA	NA
Resd. Condo/Townhouse 230	DU	5.81	0.52	67%	33%	16.0	93	8	6	3
Resd. Condo/Townhouse 230	Persons	2.49	0.24	67%	33%		0	0	NA	NA
Low Rise Resd. Condo 231	DU	NA	0.78	58%	42%		0	0	NA	NA
High Rise Resd. Condo 232	DU	4.18	0.38	62%	38%		0	0	NA	NA
Luxury Condo/Townhouse 233	Occ. DU	NA	0.55	63%	37%		0	0	NA	NA
Mobile Home Park 240	DU	4.99	0.59	62%	38%		0	0	NA	NA

Mobile Home Park 240	Persons	2.46	0.26	63%	37%		0	0	NA	NA
Retirement Community 250	DU	NA	0.27	56%	44%		0	0	NA	NA
Elderly Housing-Detached 251	DU	3.71	0.27	61%	39%		0	0	NA	NA
Congregate Care Facility 253	Occ.DU	2.15	0.17	56%	44%		0	0	NA	NA
Elderly Housing- Attached 252	Occ.DU	3.48	0.16	60%	40%		0	0	NA	NA
Recreational Homes 260	DU	3.16	0.26	41%	59%		0	0	NA	NA
Residential PUD 270	DU	7.50	0.62	65%	35%		0	0	NA	NA
Hotel 310	Occ. Room	8.92	0.70	49%	51%		0	0	NA	NA
Hotel 310	Rooms	8.17	0.59	53%	47%		0	0	NA	NA
Hotel 310	Employees	14.34	0.80	54%	46%		0	0	NA	NA
All Suites Hotel 311	Occ.Room	6.24	0.55	42%	58%		0	0	NA	NA
All Suites Hotel 311	Rooms	4.90	0.40	45%	55%		0	0	NA	NA
Business Hotel 312	Occ. Room	7.27	0.62	60%	40%		0	0	NA	NA
Business Hotel 312	Employees	72.67	7.60	60%	40%		0	0	NA	NA
Motel 320	Occ.Room	9.11	0.58	53%	47%		0	0	NA	NA
Motel 320	Rooms	5.63	0.47	54%	46%		0	0	NA	NA
Motel 320	Employees	12.81	0.73	54%	46%		0	0	NA	NA
Resort Hotel 330	Occ. Room	13.43	0.49	43%	57%		0	0	NA	NA
Resort Hotel 330	Rooms	NA	0.42	43%	57%		0	0	NA	NA
City Park 411	Picnic Sites	5.87	NA	NA	NA		0	NA	NA	NA
County Park 412	Acres	2.28	0.06	41%	59%		0	0	NA	NA
State Park 413	Picnic Sites	9.95	0.65	43%	57%		0	0	NA	NA
State Park 413	Employees	NA	4.67	43%	57%		0	0	NA	NA
Water Slide Park 414	Parking Space	2.27	NA	NA	NA		0	NA	NA	NA
Beach Park 415	Acres	29.81	1.30	29%	71%		0	0	NA	NA
Campground/RV Park 416	Acres	74.38	0.39	NA	NA		0	0	NA	NA
Regional Park 417	Picnic Sites	61.82	9.60	41%	59%		0	0	NA	NA
Regional Park 417	Employees	79.77	10.26	45%	55%		0	0	NA	NA
National Monument 418	Employees	31.05	5.58	NA	NA		0	0	NA	NA
Marina 420	Berths	2.96	0.19	60%	40%		0	0	NA	NA
Golf Course 430	Employees	20.52	1.48	48%	52%		0	0	NA	NA
Golf Course 430	Holes	35.74	2.78	45%	55%		0	0	NA	NA
Minature Golf Course 431	Holes	NA	0.33	33%	67%		0	0	NA	NA
Golf Driving Range 432	Tees	NA	1.25	45%	55%		0	0	NA	NA
Multipurpose Rec. Facility 435	Acres	90.38	5.77	NA	NA		0	0	NA	NA
Live Theater 441	Seats	NA	0.02	50%	50%		0	0	NA	NA
Movie Theater w/o matinee 443	KSF ²	78.06	6.16	94%	6%		0	0	NA	NA
Movie Theater w/o matinee 443	Movie Screens	220.00	24.00	41%	59%		0	0	NA	NA
Movie Theater w/o matinee 443	Seats	1.76	0.07	75%	25%		0	0	NA	NA
Movie Theater w/o matinee 443	Employees	53.12	4.20	NA	NA		0	0	NA	NA
Movie Theater w/ matinee 444	KSF ²	NA	3.80	64%	36%		0	0	NA	NA
Movie Theater w/ matinee 444	Movie Screens	153.33	20.22	40%	60%		0	0	NA	NA
Movie Theater w/ matinee 444	Seats	NA	0.14	53%	47%		0	0	NA	NA
Horse Track 452	Employees	2.60	NA	50%	50%		0	NA	NA	NA
Dog Track 454	Attendees	1.09	0.13	66%	34%		0	0	NA	NA
Arena 460	Employees	10.00	NA	50%	50%		0	NA	NA	NA
Ice Rink 465	Seats	1.26	0.12	NA	NA		0	0	NA	NA
Casino/Video Lottery Establishment 473	KSF ²	NA	13.43	56%	44%		0	0	NA	NA
Amusement Park 480	Employees	8.33	0.50	61%	39%		0	0	NA	NA
Zoo 481	Acres	114.88	NA	50%	50%		0	NA	NA	NA
Zoo 481	Employees	23.93	NA	50%	50%		0	NA	NA	NA
Tennis Courts 490	Courts	31.04	3.88	NA	NA		0	0	NA	NA
Tennis Courts 490	Employees	66.67	5.67	NA	NA		0	0	NA	NA
Racquet Club 491	Courts	38.70	3.35	NA	NA		0	0	NA	NA
Racquet Club 491	KSF ²	14.03	1.06	NA	NA		0	0	NA	NA
Racquet Club 491	Employees	45.71	4.95	NA	NA		0	0	NA	NA
Health Club 492	KSF ²	32.93	3.53	57%	43%		0	0	NA	NA

Bowling Alley 494	KSF ²	33.33	3.54	35%	65%		0	0	NA	NA
Recreational Com. Center 495	KSF ²	22.88	1.45	37%	63%		0	0	NA	NA
Recreational Com. Center 495	Employees	27.25	3.16	44%	56%		0	0	NA	NA
Military Base 501	Employees	1.78	0.39	NA	NA		0	0	NA	NA
Elementary School 520	Students	1.29	0.15	49%	51%		0	0	NA	NA
Elementary School 520	KSF ²	15.43	1.21	45%	55%		0	0	NA	NA
Elementary School 520	Employees	15.71	1.81	49%	51%		0	0	NA	NA
Private School (K-12) 536	Students	2.48	0.17	43%	57%		0	0	NA	NA
Middle/ JR. High School 522	Students	1.62	0.16	49%	51%		0	0	NA	NA
Middle/ JR. High School 522	KSF ²	13.78	1.19	52%	48%		0	0	NA	NA
High School 530	Students	1.71	0.13	47%	53%		0	0	NA	NA
High School 530	KSF ²	12.89	0.97	54%	46%		0	0	NA	NA
High School 530	Employees	19.74	1.55	54%	46%		0	0	NA	NA
Junior/ Comm. College 540	Students	1.20	0.12	64%	36%		0	0	NA	NA
Junior/ Comm. College 540	KSF ²	27.49	2.54	58%	42%		0	0	NA	NA
Junior/ Comm. College 540	Employees	15.55	1.39	58%	42%		0	0	NA	NA
University/College 550	Students	2.38	0.21	30%	70%		0	0	NA	NA
University/College 550	Employees	9.13	0.88	29%	71%		0	0	NA	NA
Church 560	KSF ²	9.11	0.55	48%	52%		0	0	NA	NA
Synagogue 561	KSF ²	10.64	1.69	47%	53%		0	0	NA	NA
Daycare Center 565	KSF ²	79.26	12.46	47%	53%		0	0	NA	NA
Daycare Center 565	Students	4.48	0.82	47%	53%		0	0	NA	NA
Daycare Center 565	Employees	28.13	4.79	47%	53%		0	0	NA	NA
Cemetery 566	Employees	58.09	7.00	33%	67%		0	0	NA	NA
Prison 571	KSF ²	NA	2.91	NA	NA		0	0	NA	NA
Prison 571	Employees	NA	0.23	28%	72%		0	0	NA	NA
Library 590	KSF ²	56.24	7.30	48%	52%		0	0	NA	NA
Library 590	Employees	52.52	5.40	47%	53%		0	0	NA	NA
Lodge/Fraternal Organization 591	Members	0.29	0.03	NA	NA		0	0	NA	NA
Lodge/Fraternal Organization 591	Employees	46.90	4.05	NA	NA		0	0	NA	NA
Hospital 610	KSF ²	16.50	1.14	42%	58%		0	0	NA	NA
Hospital 610	Beds	11.81	1.31	36%	64%		0	0	NA	NA
Hospital 610	Employees	5.20	0.33	31%	69%		0	0	NA	NA
Nursing Home 620	Beds	2.37	0.22	33%	67%		0	0	NA	NA
Nursing Home 620	Employees	4.03	NA	26%	74%		0	NA	NA	NA
Clinic 630	KSF ²	31.45	5.18	NA	NA		0	0	NA	NA
Clinic 630	Employees	7.75	1.23	41%	59%		0	0	NA	NA
General Office 710 (Equation)	KSF ²	Equation	Equation	17%	83%		0	0	NA	NA
General Office 710	KSF ²	11.01	1.49	17%	83%		0	0	NA	NA
Corporate Headquarters 714	KSF ²	7.98	1.40	10%	90%		0	0	NA	NA
Corporate Headquarters 714	Employees	7.98	1.40	10%	90%		0	0	NA	NA
Single Tenant Office Bldg 715	KSF ²	11.57	1.72	15%	85%		0	0	NA	NA
Single Tenant Office Bldg 715	Employees	3.62	0.50	15%	85%		0	0	NA	NA
Medical Dental Office 720	KSF ²	36.13	3.46	27%	73%		0	0	NA	NA
Medical Dental Office 720	Employees	8.91	1.06	34%	66%		0	0	NA	NA
Government Office Building 730	KSF ²	68.93	1.21	31%	69%		0	0	NA	NA
Government Office Building 730	Employees	11.95	1.91	74%	26%		0	0	NA	NA
State Motor Vehicles Dept. 731	KSF ²	166.02	17.09	NA	NA		0	0	NA	NA
State Motor Vehicles Dept. 731	Employees	44.54	4.58	NA	NA		0	0	NA	NA
US Post Office 732	KSF ²	108.19	11.12	51%	49%		0	0	NA	NA
US Post Office 732	Employees	28.32	2.84	51%	49%		0	0	NA	NA

Gov. Office Complex 733	KSF ²	27.92	2.85	31%	69%		0	0	NA	NA
Gov. Office Complex 733	Employees	7.75	0.79	31%	69%		0	0	NA	NA
R&D Center 760	KSF ²	8.11	1.07	15%	85%		0	0	NA	NA
R&D Center 760	Employees	2.77	0.41	10%	90%		0	0	NA	NA
Building Materials/Lumber 812	KSF ²	45.16	4.49	47%	53%		0	0	NA	NA
Building Materials/Lumber 812	Employees	32.12	2.77	51%	49%		0	0	NA	NA
Free-Standing Discount Superstore 813	KSF ²	53.13	4.61	49%	51%		0	0	NA	NA
Free-Standing Discount Store 815	KSF ²	57.24	5.00	50%	50%		0	0	NA	NA
Free-Standing Discount Store 815	Employees	28.84	3.48	50%	50%		0	0	NA	NA
Hardware/Paint Store 816	KSF ²	51.29	4.84	47%	53%		0	0	NA	NA
Hardware/Paint Store 816	Employees	53.21	5.05	NA	NA		0	0	NA	NA
Nursery (Garden Center) 817	KSF ²	36.08	3.80	NA	NA		0	0	NA	NA
Nursery (Garden Center) 817	Employees	22.13	1.99	NA	NA		0	0	NA	NA
Nursery (Wholesale) 818	KSF ²	39.00	5.17	NA	NA		0	0	NA	NA
Nursery (Wholesale) 818	Employees	23.40	0.47	NA	NA		0	0	NA	NA
Shopping Center 820 (Equation)	KSF ²	Equation	Equation	49%	51%		0	0	NA	NA
Shopping Center 820 Rate	KSF ²	42.94	3.37	49%	51%		0	0	NA	NA
Factory Outlet Center 823	KSF ²	26.59	2.29	47%	53%		0	0	NA	NA
Quality Restaurant 931	KSF ²	89.95	7.49	67%	33%		0	0	NA	NA
Quality Restaurant 931	Seats	2.86	0.26	67%	33%		0	0	NA	NA
High Turnover/Sit Down Rest 932	KSF ²	127.15	11.15	59%	41%		0	0	NA	NA
High Turnover/Sit Down Rest 932	Seats	4.83	0.41	57%	43%		0	0	NA	NA
Fast Food w/o Drive Thru 933	KSF ²	716.00	26.15	51%	49%		0	0	NA	NA
Fast Food w/o Drive Thru 933	Seats	42.12	2.13	64%	36%		0	0	NA	NA
Fast Food w/ Drive Thru 934	KSF ²	496.12	33.48	52%	48%		0	0	NA	NA
Fast Food w/ Drive Thru 934	Seats	19.52	0.94	53%	47%		0	0	NA	NA
Drive Thru Only 935	KSF ²	NA	153.85	54%	46%		0	0	NA	NA
Drinking Place 925	KSF ²	NA	11.34	66%	34%		0	0	NA	NA
Quick Lube Shop 941	Service Bays	40.00	5.19	55%	45%		0	0	NA	NA
Automobile Care Center 942	Service Bays	12.48	2.17	NA	NA		0	0	NA	NA
Automobile Care Center 942	KSF ²	15.86	3.38	50%	50%		0	0	NA	NA
New Car Sales 841	KSF ²	33.34	2.59	39%	61%		0	0	NA	NA
New Car Sales 841	Employees	21.14	0.96	48%	52%		0	0	NA	NA
Automobile Parts Sales 843	KSF ²	61.91	5.98	49%	51%		0	0	NA	NA
Gasoline/Service Station 944	Fuel. Position	168.56	13.87	50%	50%		0	0	NA	NA
Serv.Station w/ Conven.Mkt 945	Fuel Position	162.78	13.38	50%	50%		0	0	NA	NA
Serv.Stat.w/Conv.Mkt.&Carwash 946	Fuel Position	152.84	13.94	51%	49%		0	0	NA	NA
Self-Service Carwash 947	Stalls	108.00	5.54	51%	49%		0	0	NA	NA
Tire Store 848	Service Bays	NA	3.54	42%	58%		0	0	NA	NA
Tire Store 848	KSF ²	24.87	4.15	43%	57%		0	0	NA	NA
Wholesale Tire Store 849	Service Bays	30.55	3.17	47%	53%		0	0	NA	NA
Supermarket 850	KSF ²	102.24	10.50	51%	49%		0	0	NA	NA
Convenien. Mkt. (Open 24 hrs) 851	KSF ²	737.99	52.41	51%	49%		0	0	NA	NA
Convenien. Mkt. (Open 16 Hrs) 852	KSF ²	NA	34.57	49%	51%		0	0	NA	NA
Convenien. Mkt w/ Gas Pumps 853	KSF ²	845.60	59.69	50%	50%		0	0	NA	NA
Discount Supermarket 854	KSF ²	96.82	8.90	50%	50%		0	0	NA	NA
Wholesale Market 860	KSF ²	6.73	0.88	53%	47%		0	0	NA	NA

Discount Club 857	KSF ²	41.80	4.24	50%	50%		0	0	NA	NA
Home Improvement Store 862	KSF ²	29.80	2.37	48%	52%		0	0	NA	NA
Electronics Superstore 863	KSF ²	45.04	4.50	49%	51%		0	0	NA	NA
Toy/Children's Superstore 864	KSF ²	NA	4.99	50%	50%		0	0	NA	NA
Apparel Store 876	KSF ²	66.40	3.83	50%	50%		0	0	NA	NA
Drugstore w/o Drive-Thru 880	KSF ²	90.06	8.42	50%	50%		0	0	NA	NA
Drugstore w/ Drive-Thru 881	KSF ²	88.16	10.35	50%	50%		0	0	NA	NA
Furniture Store 890	KSF ²	5.06	0.45	48%	52%		0	0	NA	NA
Video Arcade 895	KSF ²	NA	56.81	52%	48%		0	0	NA	NA
Video Rental Store 896	KSF ²	NA	31.54	50%	50%		0	0	NA	NA
Walk-in Bank 911	KSF ²	156.48	12.12	44%	56%		0	0	NA	NA
Drive-in Bank 912	Drive-in Windows	139.25	27.41	49%	51%		0	0	NA	NA
Drive-in Bank 912	KSF ²	148.15	25.82	50%	50%		0	0	NA	NA

NA: Not Available
DU: Dwelling Unit

KSF²: Units of 1,000 square feet
Fuel Position: # of vehicles that could be fueled simultaneously



ATO
2155 OLD SHELL RD
Suite
MOBILE, AL 36607

T: 2514718361
F: 2514710410
www.att.com

September 08, 2021

Larry Smith
S. E. Civil Engineering
880 Holcomb Blvd.
Fairhope, Alabama 36532

RE: Overland Townhomes - PPIN 43640

Dear Mr. Smith:

This letter is in response to your request for information on the availability of service at the above proposed development by AT&T.

This letter acknowledges that the above referenced development is located in an area served by AT&T. Any service arrangements for the proposed development will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to the Overland Townhomes.

Please contact me at the phone number included in this letter with any questions.

Thank you for contacting AT&T.

Sincerely,
Wade Mitchell
MGR OSP Planning & Engineering Design

A handwritten signature in black ink, appearing to read "Wade Mitchell", is located below the typed name.



18110 Eureka Dr.
Foley, AL 36535

To whom it may concern,

September 8, 2021


This letter is to inform you that Waste Management located at 18110 Eureka Dr. Foley, AL 36535, will be providing garbage pickup service for Overland Townhomes located in Fairhope, AL parcel pin # 43640. If you have any questions, please give me a call at (251) 424-5206.

Sincerely,

Katie Watts
Waste Management
kwatts@wm.com
(251) 424-5206



BALDWIN EMC

Your Touchstone Energy® Cooperative 

P.O. Box 220
Summerdale, AL
36580-0220
(251) 989-6247

www.baldwinemc.com

September 14, 2021

Larry Smith, P.E.
S.E. Civil, LLC
880 Holcomb Blvd. Suite 2-F
Fairhope, AL 36532

Re: Overland Townhomes (16 units)

Dear Mr. Smith:

This letter is to confirm that the referenced development is in Baldwin E.M.C.'s service territory. Baldwin EMC is willing to service the development as long as the necessary easements are granted using our standard easement form and all other appropriate documents and fees are finalized in advance. Baldwin EMC must be given proper notice and planning time with respect to required system upgrades (transmission line, substation and distribution line). All system upgrades and line extensions will be in accordance with Baldwin EMC's current Line Extension Policy.

Please contact me to discuss necessary easements and fees.

Below is our typical required easements for subdivisions wanting underground power:

There is a dedicated herewith a 10 foot utility easement on all lot lines and common areas adjacent to the right-of-ways and a 5 foot utility easement on each side of lot and common area lines, unless otherwise noted.

If you have any questions or if I can be of further assistance, please do not hesitate to contact me at 251-989-0151.

Sincerely,

A handwritten signature in blue ink that reads "Brian Seals".

Brian Seals
Manager of Engineering
BS/ss



May 6, 2021

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Robert A. Brown

Jack Burrell, A.C.M.O.

Jimmy Conyers

Corey Martin

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Civil Engineering
Mr. Larry Smith, PE
880 Holcomb Blvd, Suite 2F
Fairhope, AL 36532

Dear Mr. Smith,

Regarding your availability request for the proposed Hwy 181 Development.

Water: Is available with main extensions. Capacity is not an issue through the City of Fairhope.

Sewer: Is available with sewer main extensions. Upgrades to existing lift station to meet capacity of development may be required through the City of Fairhope.

Gas: PPIN 17737 would be a state bore and high pressure under Hwy 181 so it will most definitely depend on gas usage and a cost involved.

PPIN 17735 gas is available through the City of Fairhope.

PPIN 77776 gas is available through the City of Fairhope.

Sincerely,
City of Fairhope, AL

Jason Langley, Superintendent, Water and Wastewater Department

Terry Holman, Superintendent, Gas Department

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

www.fairhopeal.gov

Printed on recycled paper



CERTIFICATE OF LIABILITY INSURANCE

OP ID: RS

DATE (MM/DD/YYYY)

08/11/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER ALABAMA INSURANCE EXCHANGE 2032 VALLEYDALE ROAD BIRMINGHAM, AL 35244 A. RONALD SIMPSON		CONTACT NAME: PHONE (A/C, No, Ext): E-MAIL ADDRESS: PRODUCER CUSTOMER ID #: SECIV-1		FAX (A/C, No):	
INSURED S.E. CIVIL, LLC. LARRY SMITH 880 Holcomb Blvd., Unit 2-F FAIRHOPE, AL 36532		INSURER(S) AFFORDING COVERAGE		NAIC #	
		INSURER A : COLONY SPECIALTY INS. CO.		39993	
		INSURER B : THE HANOVER INSURANCE GROUP		22292	
		INSURER C :			
		INSURER D :			
		INSURER E :			
		INSURER F :			

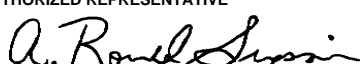
COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

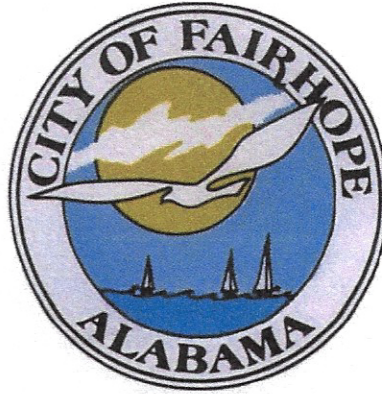
INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
	GENERAL LIABILITY						EACH OCCURRENCE	\$
	<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
	<input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR						MED EXP (Any one person)	\$
							PERSONAL & ADV INJURY	\$
							GENERAL AGGREGATE	\$
	GEN'L AGGREGATE LIMIT APPLIES PER:						PRODUCTS - COMPI/OP AGG	\$
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC							\$
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS						PROPERTY DAMAGE (PER ACCIDENT)	\$
	<input type="checkbox"/> HIRED AUTOS							\$
	<input type="checkbox"/> NON-OWNED AUTOS							\$
	UMBRELLA LIAB						EACH OCCURRENCE	\$
	<input type="checkbox"/> EXCESS LIAB						AGGREGATE	\$
	<input type="checkbox"/> OCCUR							\$
	<input type="checkbox"/> CLAIMS-MADE							\$
	DEDUCTIBLE							\$
	RETENTION \$							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						WC STATUTORY LIMITS	OTHER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)						E.L. EACH ACCIDENT	\$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$
B	PROFESSIONAL LIAB			LHA H257800 01	04/30/2021	04/30/2022	EACH CLM	1,000,000
							AGGREGATE	2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CIVIL ENGINEERING SERVICES & SURVEYING SERVICES**CERTIFICATE HOLDER****CANCELLATION**

CITYFAI CITY OF FAIRHOPE 555 N. Sections Street FAIRHOPE, AL 36532	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
---	---

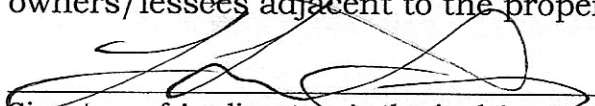
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CERTIFICATION OF PROPERTY OWNER NOTIFICATION LIST
As Required by the City of Fairhope

Hearings on Subdivision plat applications require notification to all property owners adjacent to the proposed subdivision. This list must be the most current property owners' records available from the Baldwin County Revenue Office.

By signing below, I Larry Smith, (applicant) do hereby certify that the property owner list attached to this application was obtained from the Baldwin County Revenue Office and is a complete list of all real property owners/lessees adjacent to the property submitted from Subdivision approval.


Signature of Applicant or Authorized Agent

8/24/21
Date of Application

Overland
Adjacent Property Owners

Parcel Number	Pin	Owner Name	Address	City	State	Zip
05-46-06-14-0-000-001.532	14410	FST BISHOP, FLOYD A	10681 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.512	15180	FST LAMBERT VENTURES L L C	11623 HALCYON LOOP	DAPHNE	AL	36526
05-46-06-14-0-000-001.514	15215	FST REWERTS, CURTIS	10563 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.514	15215	FST REWERTS, CURTIS	10563 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-003.000	17023	GRANT, CHAS W & GAYNELL B	10722 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-002.000	43640	HARRIS, ROBERTA U ETAL URBANEK, STEPHEN	10824 US HWY 98	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.574	121331	FST GULLETT, DARRELL W ETUX BRENDA B	10685 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-014.007	121344	WILLIAMS, JAMES W C/O FARMER, ELLA	P O BOX 226	FAIRHOPE	AL	36533
05-46-06-14-0-000-001.621	202834	FST BISHOP, WILLIAM AUSTIN ETAL ARNOLD,	10681 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.636	208401	FST KLEIN, BRUCE MICHAEL	19600 JACKSON LANE	SILVERHILL	AL	36576
05-46-06-14-0-000-001.643	214138	FST GULLETT, DARRELL W ETUX BRENDA B	10685 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.604	202737	FST FISHER, CATHERINE L	20222 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.605	202738	FST BARBER, NATHAN ALAN ETAL BARBER, SHE	20234 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.606	202739	FST DORRIS, ROSS AND WIGGINS L L C	161 CLUBHOUSE CIR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.607	202740	FST COX, NATHAN W ETAL COX, CLARA	20258 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.608	202741	FST SLOAN, STEVEN D	372 PECAN AVE	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.609	202742	FST SCOVIL, PAMELA ETAL SCOVIL, BROOKE	20282 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.610	202743	FST BURROUGHS, SHANNON	20294 RIVER MILL RD	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.611	202744	FST SCHILING, MICHAEL PATRICK ETAL SCHIL	20306 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.612	202745	FST FELTUS, HANNAH M	20318 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.613	202746	FST HILBERT, JEANNE CLAIRE MILLER	12050 LAZZARI LANE	DAPHNE	AL	36526
05-46-06-14-0-000-001.614	202747	FST POLITO, DANIEL	20342 RIVER MILL DRIVE	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.615	202748	FST RIVER MILL HOMEOWNER'S ASSOCIATION I	P O BOX 167	FAIRHOPE	AL	36533
05-46-06-14-0-000-001.575	202709	FST R M DEVELOPMENT CORPORATION C/O CRAIG DYAS	23210 U S HWY 98	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.576	202710	FST RIVER MILL HOMEOWNER'S ASSOCIATION I	P O BOX 167	FAIRHOPE	AL	36533
05-46-06-14-0-000-001.583	202717	FST ELLIS, CHRISTOPHER ETAL ACKERMAN, TH	10462 STEEL CREEK CT	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.584	202718	FST DILLON, JOSHUA LEE ETAL DILLON, MERE	20367 RIVERMILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.802	261658	FST RIVERSTATION PROPERTY OWNERS ASSOCIA	407 POMELO ST	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.803	261659	FST NOWLIN, KEVIN ETAL FORESTER, CATHLEE	20307 NORTHWOOD STREET	FAIRHOPE	AL	36532

Authorization Letter

To Whom it May Concern:


I, Nathan L. Cox, hereby authorize
Owner of Record

Larry Smith of S E Civil
Authorized Agent *Company*

to represent me and to act on my behalf in regard to this application for
Overland Townhomes, MOP
Type of Application or Request

This authorization shall last for a period of six months.

Sincerely,

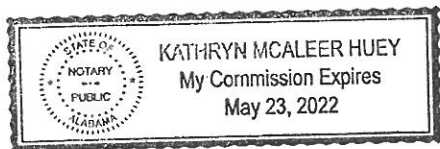

Name: 68V Overland 2021, LLC, Owner

State of Alabama
County of Baldwin

I, the undersigned Notary Public in and for said County in said State, hereby certify that Nathan L. Cox, whose name is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents of the instrument, he executed the same voluntarily on the day the same bears date.

Given under my hand and official notarial seal this 13th day of August, 2021.

{SEAL}



Kathryn McAleer Huey
NOTARY PUBLIC
My Commission Expires: May 23, 2022

Frank Bishop

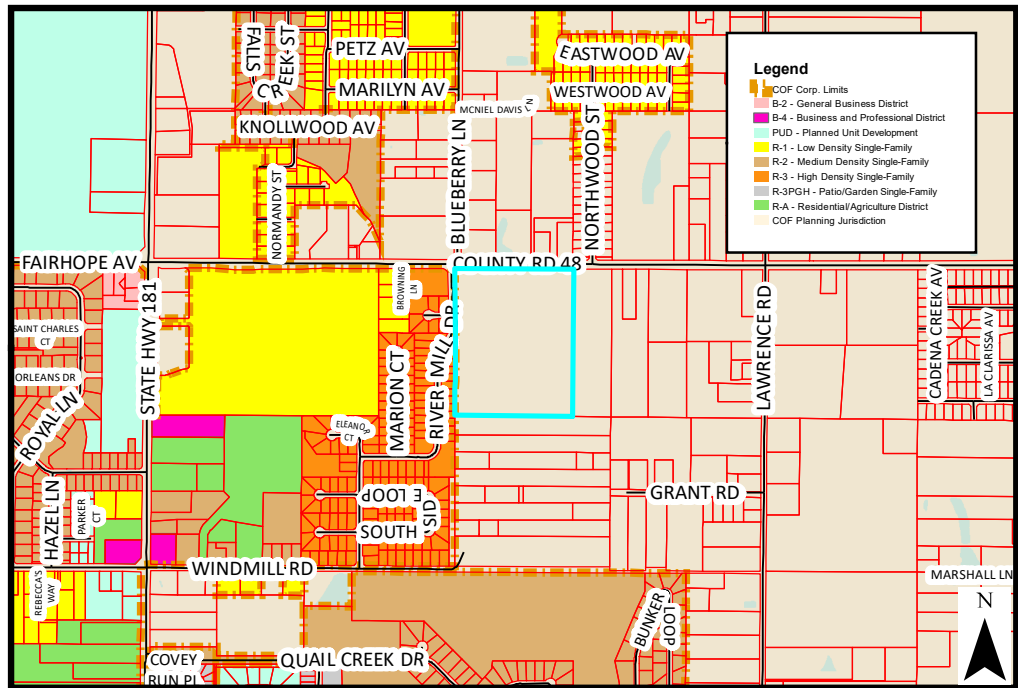
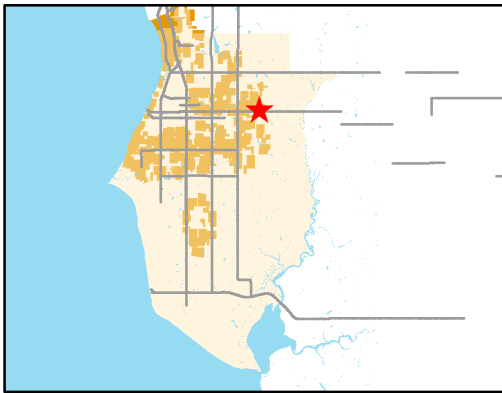
Mr. Bishop called on 9/24/2021 and stated that he had seen the Subdivision Request sign on County Road 48 for the Overland Subdivision/Overland Townhomes. He does not think that our infrastructure can handle more subdivisions. He also had concerns about traffic as traffic is already bad on County Road 48 and a lot of people speed.

City of Fairhope Planning Commission

October 4, 2021



SD 21.40 - Overland Townhomes



Project Name:

Overland - PUD

Site Data:

30.70 acres

Project Type:

16-unit MOP

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

PUD

PPIN Number:

43640

General Location:

Southwest corner of the intersection of
County Road 48 and Blueberry Lane

Surveyor of Record:

Engineer of Record:

SE Civil, LLC

Owner / Developer:

68V Overland 2021, LLC

School District:

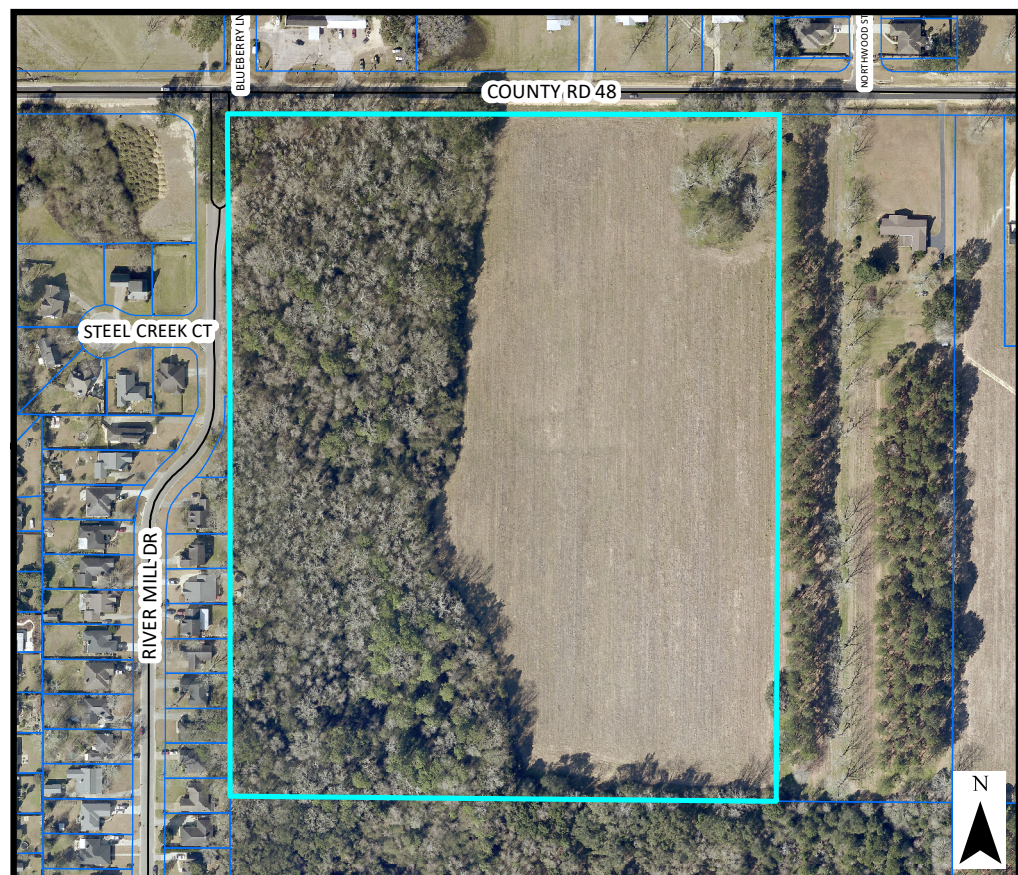
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approved w/ Conditions

Prepared by:

Samara Walley



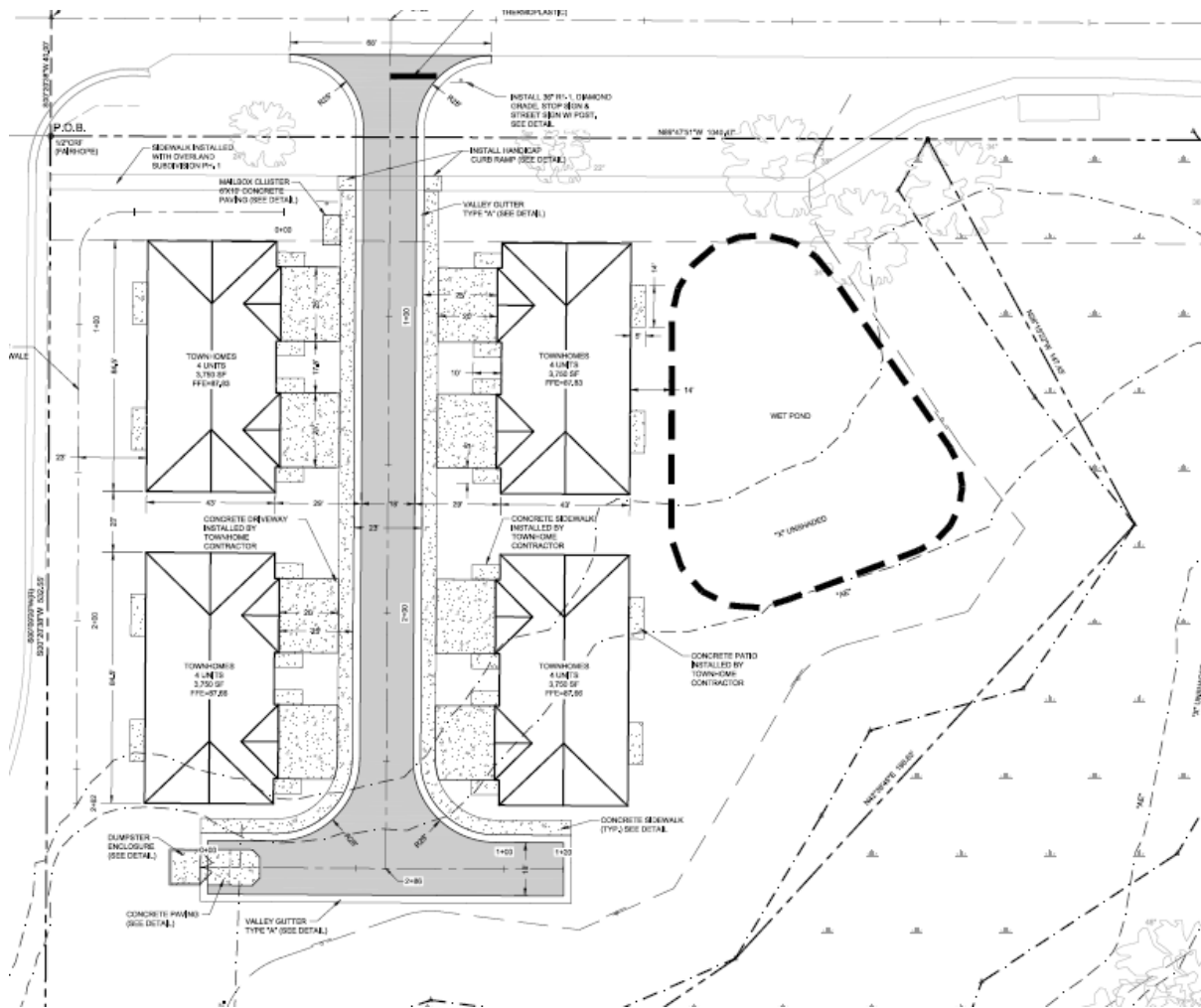
Summary of Request:

Request of 68V Overland 2021, LLC for preliminary approval of Overland Townhomes, a 16-unit Multiple Occupancy Project (MOP). The subject property is zoned PUD. It is approximately 30.70 acres and is located at the southeast corner of the intersection of County Road 48 and Blueberry Lane.

It should be noted that City Council approved a conditional annexation to PUD in June of 2021. The Overall Overland Development will consist of 62 lots. 61 will be single family residential lots and 1 lot will consist of 4 multi-family quadplexes resulting in 16 units. The subject application is for the multi-family lot.

The applicant has submitted a site plan illustrating a total of 4 townhomes. Each proposed townhome is 3,750 square feet. There are 32 parking spaces provided on site. Interior sidewalks are illustrated in the MOP Site plan. It should be noted that this proposed development did not result in the requirement of a Traffic Impact Study.

Greenspace: 25% greenspace is required resulting in 0.61 acres. The greenspace plan illustrates 0.93 acres of greenspace on site and is therefore adequate. The 0.03 acres wet pond is illustrated and notes greenspace credit.



Utilities: Water, sewer and gas services are available through the City of Fairhope. Electrical service is available through Baldwin EMC. There is an existing fire hydrant located near the corner of Blueberry Lane and Fairhope Avenue. The fire flow test, signed by Larry Smith, PE, affirms that there is adequate fire flow for the proposed development. As a condition of approval, the existing hydrant should be illustrated and labeled on the site plan.

Drainage: A wet pond is located on the east side of the property. S.E. Civil states the following regarding drainage: *“The terrain of the site falls from west to east and discharges into an existing floodway, with elevations ranging from 89 ft to 81 ft. The site is wooded... Water will be collected in a series of inlets and underground drainage. The underground drainage will discharge into a proposed wet pond on the east side of the property before discharging into the floodway.”*

Landscape: The applicant has submitted landscape plan completed by WAS Design Landscape Architects. Staff finds that the landscape plan is in compliance with the City of Fairhope requirements.

The subdivision regulations contain the following criteria in Article V.B.2. Approval Standards:

“2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:

- a. The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;***
 - Meets
- b. The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;***
 - Meets
- c. The proposed subdivision is not consistent with these Regulations;***
 - Meets
- d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations; or***
 - Meets
- e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”***
 - Meets

Recommendation:

Staff recommends **approval** of case SD 21.40 **subject to the following conditions:**

1. Aid to construction for Rivermill Road lift station shall be paid prior to the issuance of a land disturbance.
2. All sidewalks and street trees shall be installed prior to submission of Final MOP Approval, including sidewalk along Fairhope Avenue.



APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: Village Subdivision Minor Subdivision Informal (No Fee)
 Preliminary Plat Final Plat Multiple Occupancy Project

Attachments: Articles of Incorporation or List all associated investors
Date of Application: 8/24/21

Property Owner / Leaseholder Information
Name of Property Owner: 68V Overland 2021 LLC Phone Number: 251-625-1198
Address of Property Owner: 29891 Woodrow Lane Suite 300
City: Spanish Fort State: AL Zip: 36527

Proposed Subdivision Name: Overland Townhomes
No. Acres in Plat: 30.70 No. Lots/Units: 16
Parcel No: 05-46-06-14-0-000-002.000 Current Zoning: PUD

Authorized Agent Information
Plat must be signed by the property owner before acceptance by the City of Fairhope
Name of Authorized Agent: SE Civil, LLC Phone Number: (251)990-6566
Address: 880 Holcomb Blvd, Suite 2F
City: Fairhope State: AL Zip: 36532
Contact Person: Larry Smith

Surveyor/Engineer Information
Name of Firm: SE Civil, LLC Phone Number: (251)990-6566
Address: 880 Holcomb Blvd, Suite 2F
City: Fairhope State: AL Zip: 36532
Contact Person: Larry Smith

Plat Fee Calculation:
Reference: Ordinance 1269

Signatures:
I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

68 V Overland 2021, LLC
Property Owner/Leaseholder Printed Name

8/24/21
Date

[Signature]
Signature *Agent*

Fairhope Single Tax Corp. (If Applicable)



STATE OF ALABAMA

DOMESTIC LIMITED LIABILITY COMPANY (LLC) CERTIFICATE OF FORMATION

1. THE NAME OF THE LIMITED LIABILITY COMPANY

68V Overland 2021, LLC

2. THIS FORM WAS PREPARED BY:

Nathan L. Cox

3. THE NAME AND STREET (NO PO BOXES) ADDRESS OF THE REGISTERED AGENT LOCATED AT THE REGISTERED OFFICE (MUST BE LOCATED IN ALABAMA):

Andrew R Dolan
29891 Woodrow Lane, Suite 300
Spanish Fort, AL 36527
BALDWIN

MAILING ADDRESS IN ALABAMA OF REGISTERED OFFICE (IF DIFFERENT FROM STREET ADDRESS):

4. THE UNDERSIGNED CERTIFY THAT THERE IS AT LEAST ONE MEMBER OF THE LIMITED LIABILITY COMPANY.

5. CHECK ONLY IF THE TYPE APPLIES TO THE LIMITED LIABILITY COMPANY BEING FORMED:

- NON-PROFIT LLC
- NON-PROFIT SERIES LLC
- PROFESSIONAL SERIES LLC
- PROFESSIONAL LLC COMPLYING WITH TITLE 10A, CHAPTER 5A, ARTICLE 8
- SERIES LLC COMPLYING WITH TITLE 10A, CHAPTER 5A, ARTICLE 11

(FOR SOS OFFICE USE ONLY)

Alabama
Sec. Of State
869-725 DLL
Date 06/25/2021
Time 10:07:00
File \$100.00
County \$100.00
Exp \$0.00

Total \$200.00

6. THE UNDERSIGNED SPECIFY 06/25/2021 10:07:09 AS THE EFFECTIVE DATE AND THE TIME OF FILING

ATTACHED ARE ANY OTHER MATTERS THE MEMBERS DETERMINE TO INCLUDE HEREIN

7. ORGANIZER(S) - OPTIONAL

Not Applicable

06/25/2021

DATE

Nathan L. Cox Manager

ELECTRONIC SIGNATURE & TITLE

John H. Merrill
Secretary of State

P.O. Box 5616
Montgomery, AL 36103-5616

STATE OF ALABAMA

I, John H. Merrill, Secretary of State of Alabama, having custody of the Great and Principal Seal of said State, do hereby certify that

pursuant to the provisions of Title 10A, Chapter 1, Article 5, Code of Alabama 1975, and upon an examination of the entity records on file in this office, the following entity name is reserved as available:

68V Overland 2021, LLC

This name reservation is for the exclusive use of Nathan L. Cox, 29891 Woodrow Lane, Suite 300, Spanish Fort, AL 36527 for a period of one year beginning June 25, 2021 and expiring June 25, 2022



RES960638

In Testimony Whereof, I have hereunto set my hand and affixed the Great Seal of the State, at the Capitol, in the city of Montgomery, on this day.

June 25, 2021

Date

John H. Merrill

Secretary of State

Overland Townhomes

August 2021

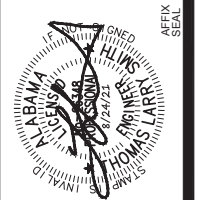
REVISION

DATE



MOP SITE PLAN

Overland Townhomes
Fairhope, Alabama 36532



JOB No.: 20210983 DATE: 8/24/21

DRAWN: TLS SCALE: N.T.S.

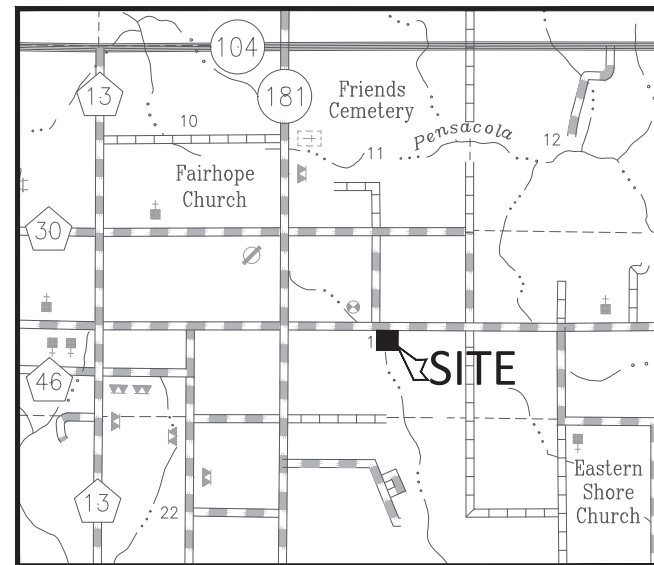
SHEET
1 of 2

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

LOT 1, OVERLAND DIVISION, AS SHOWN BY MAP OR PLAT THEREOF, RECORDED AT SLIDE _____ PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

DAVID E DIEHL AL. P.L.S. NO. 26014 DATE _____

SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.



VICINITY MAP
1" = 1 MILE

CERTIFICATE OF APPROVAL BY THE FAIRHOPE PLANNING DIRECTOR

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING COMMISSION OF FAIRHOPE, ALABAMA, AND IS APPROVED BY SUCH COMMISSION.

THE CITY OF FAIRHOPE PLANNING COMMISSION

BY: _____ DATE: _____

CERTIFICATE OF OWNERSHIP

WE, _____, HEREBY STATE THAT WE ARE THE OWNERS OF THE LANDS DESCRIBED HEREON AND DO HEREBY DEDICATE ALL ROADS, STREETS, ALLEYWAYS AND EASEMENTS SHOWN ON THIS PLAT TO THE PUBLIC.

WE, _____ AND _____ WHOSE NAMES OWNERS, HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED.

DATED THIS THE _____ DAY OF _____

BY: _____ OWNER

CERTIFICATE OF NOTARY PUBLIC:

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY THAT _____ AS OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND IN THEIR CAPACITY AS SUCH OWNER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THE _____ DAY OF _____

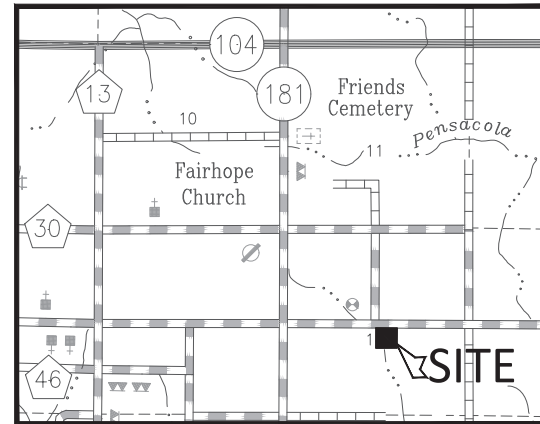
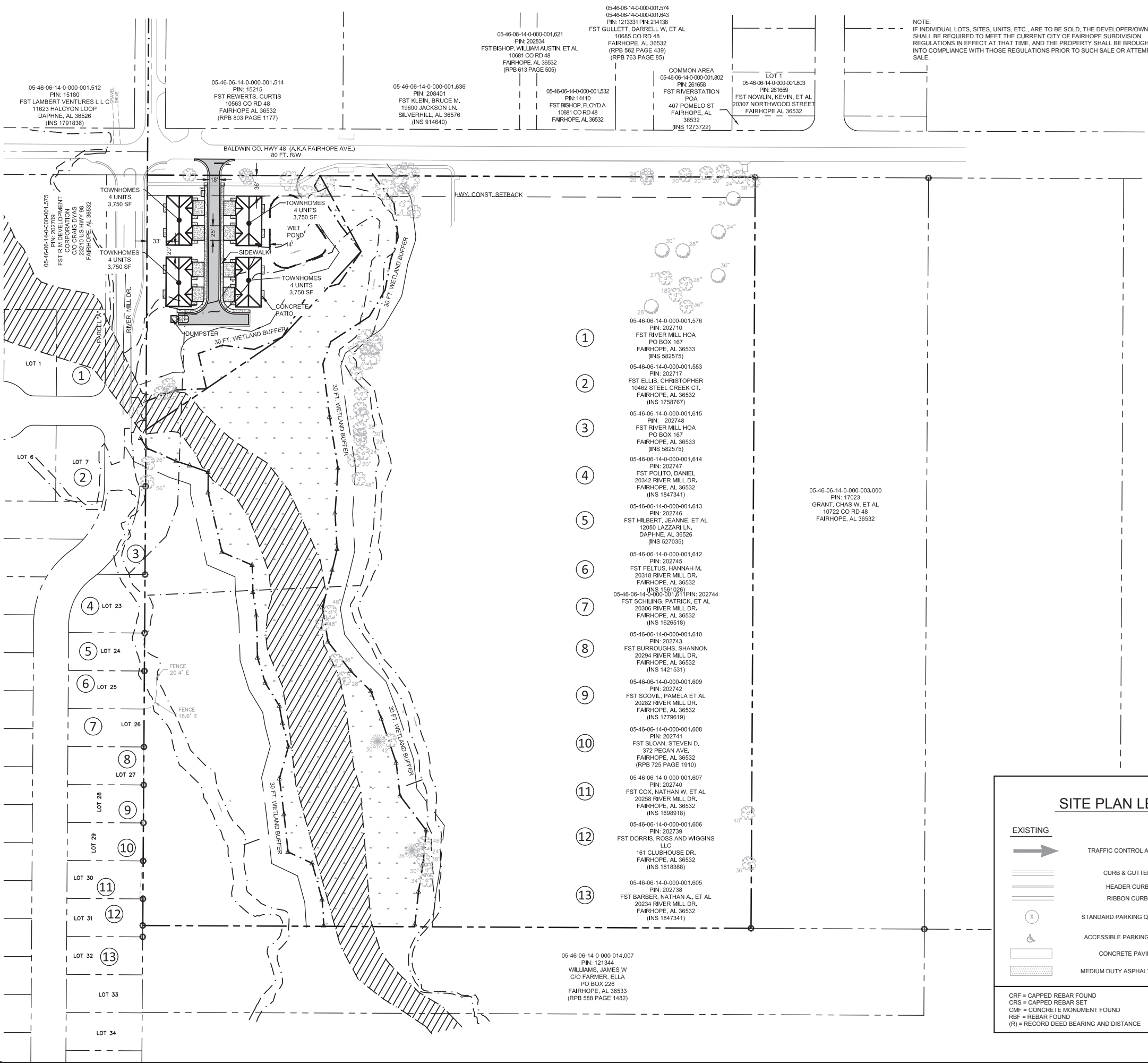
NOTARY PUBLIC MY COMMISSION EXPIRES _____

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY E-911 ADDRESSING

THE UNDERSIGNED, AS AUTHORIZED BY THE BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE ROAD NAMES AS DEPICTED ON THE WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN, ALABAMA THIS _____ DAY OF _____, 20____.

AUTHORIZED SIGNATURE _____





VICINITY MAP
1" = 1 MILE

OWNER:
88V OVERLAND 2021, LLC
29891 WOODROW LANE STE 300
SPANISH FORT, AL 36527

LESSEE/DEVELOPER:
88V OVERLAND 2021, LLC
29891 WOODROW LANE STE 300
SPANISH FORT, AL 36527

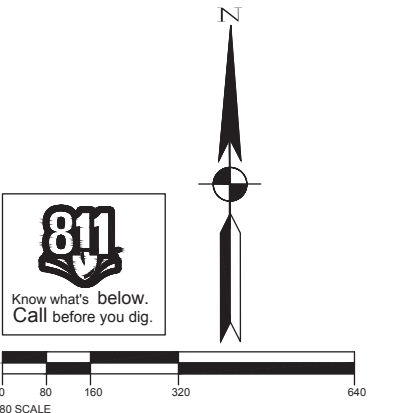
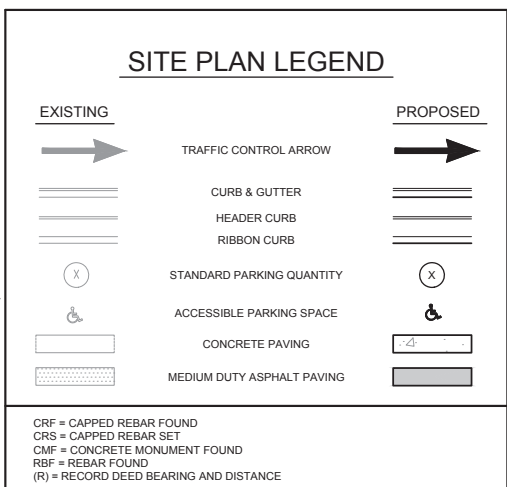
UTILITY PROVIDERS:
WATER - CITY OF FAIRHOPE
SEWER - CITY OF FAIRHOPE
GAS - CITY OF FAIRHOPE
ELECTRIC - BALDWIN EMC
TELEPHONE - AT&T

FLOOD ZONE:
PROPERTY LIES IN FLOOD ZONE "AE" & "X" UNSHADED AS SCALED FROM FLOOD
INSURANCE RATE MAPS NUMBER 01003C0642M, COMMUNITY NUMBER 015000, PANEL
0642, SUFFIX "M", DATED APRIL 19, 2019.

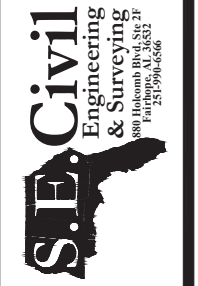
SITE ANALYSIS		
TOTAL ACREAGE ±2.42 AC	PROPOSED BUILDINGS 15,000 SF	BUILDING HEIGHT 35 FEET
IMPERVIOUS AREA 0.76 AC (31.40%)	LANDSCAPE AREA 1.66 AC (68.60%)	
PROPERTY ZONING UN-ZONED	UNITS 16	DENSITY 6.61 UNITS/AC
BUILDING SETBACKS:		
FRONT YARD:		25 FEET
SIDE YARD:		10 FEET
REAR YARD:		33 FEET
MAX. BUILDING HEIGHT		35'
MAX. GROUND COVER RATIO		N/A
COUNTY OPEN SPACE REQUIRED (20%)		1.21 AC
USABLE OPEN SPACE REQUIRED (50% OF REQ. OPEN SPACE)		0.61 AC

SITE DATA:

1. ACREAGE IN TOTAL TRACT:	2.42 ACRES
2. SMALLEST UNIT SIZE:	937 SF
3. TOTAL SQUARE FEET OF EACH LOT OR UNIT:	15,000 SF
4. TOTAL NUMBER OF LOTS OR UNITS:	16
5. LINEAR FEET IN STREETS:	394 LF (PRIVATE)
6. NUMBER OF PARKING SPACES:	32 SPACES
7. AMOUNT OF IMPERVIOUS SURFACE:	33,695 SF
8. DENSITY:	6.61 UNITS/AC



REVISION	DATE



MOP SITE PLAN

Overland
Townhomes
Fairhope, Alabama 36532



JOB No.: 20210983	DATE: 8/24/21
DRAWN: TLS	SCALE: 1"=80'



DATE	REVISION



AERIAL WITH CONTOURS

**Overland
Townhomes**
Fairhope, Alabama 36532

AERIAL
SHEET

JOB No.: 20210983	DATE: 8/24/21
DRAWN: TLS	SCALE: 1"=80'

AERIAL

PROPOSED CONSTRUCTION PLANS

for

Overland Townhomes

Fairhope, AL 36532

Developer:
68 V Paydirt LLC
29891 Woodrow Lane Ste 300
Spanish Fort, AL 36527

CONTACTS

GAS DEPARTMENT
CITY OF FAIRHOPE
MR. TERRY HOLMAN
555 SOUTH SECTION STREET
FAIRHOPE, ALABAMA 36532
251-928-8003

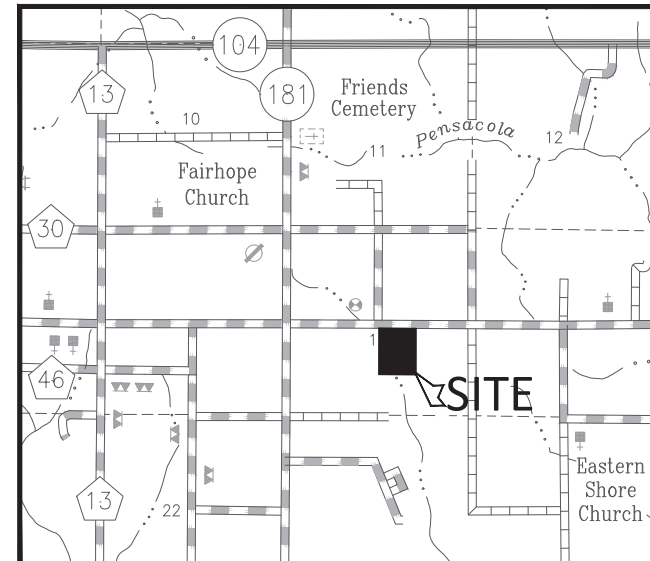
BUILDING DEPARTMENT
CITY OF FAIRHOPE
MR. ERIK CORTINAS
555 SOUTH SECTION STREET
FAIRHOPE, ALABAMA 36532
251-928-8003

WATER & SEWER DEPARTMENT
CITY OF FAIRHOPE
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FAIRHOPE, ALABAMA 36532
251-928-8003

PLANNING/ZONING DEPARTMENT
CITY OF FAIRHOPE
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555 SOUTH SECTION STREET
FAIRHOPE, ALABAMA 36532
251-928-8003

BALDWIN EMC
MR. BRIAN SEALS
P.O. BOX 220
SUMMERDALE, ALABAMA 36580-0220
251-989-6247

HIGHWAY DEPARTMENT
BALDWIN COUNTY
MR. JOHN LUNDY
22070 HWY. 59, 4TH FLOOR
ROBERTSDALE, ALABAMA 36567
251-580-1655



VICINITY MAP
 1" = 1 MILE

ENGINEER'S CERTIFICATE

I, the undersigned, a Registered Professional Engineer in the State of Alabama holding Certificate Number 26348, hereby certify that I have reviewed the design herein which was done under my direct control and supervision and that, to the best of my professional knowledge and to the best of my belief, conforms to the requirements of Section 7-18 of the City of Fairhope Municipal Code and to all other rules, regulations, laws, and ordinances applicable to my design.

[Signature]
 Project Engineer

August 24th, 2021

Name of Project to which this Certificate Applies: Overland Townhomes
 Plans which are certified consist of Pages Cover Sheet thru C17.



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REVISIONS

REVISIONS:

NO.	DATE	APPR.	REVISION
0	08/24/21	TLS	ISSUED FOR CITY APPROVAL
1			
2			
3			
4			



SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH CITY OF FAIRHOPE & BALDWIN COUNTY REGULATIONS AND CODES.
ALL WORK AND MATERIALS WITHIN THE RIGHT OF WAY SHALL COMPLY WITH BALDWIN COUNTY DESIGN STANDARDS FOR NEW ROAD CONSTRUCTION (APPENDIX 4).
- ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
- PAINTED STRIPING SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
- CURBING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBING SHALL BE 3000 PSI.
- HANDICAP RAMPS SHALL BE PER ADA REQUIREMENTS AND LOCAL REGULATIONS.
- NOTIFY CITY OF FAIRHOPE & BALDWIN COUNTY 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION. REFERENCE THE SIGN CODES CONTAINED IN THE MUTCD FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAVEMENT MARKINGS, REFERENCING DETAILS IN ALDOT'S ROADWAY AND TRAFFIC DESIGN STANDARDS WHERE APPLICABLE.
- NO "PROTECTED TREES" WILL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE, INCLUDING UTILITIES, SURFACES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO NEW AND EXISTING CONSTRUCTION, PROPERTY AND ANY UNAUTHORIZED DISRUPTION TO UTILITIES ON SITE AND TO ADJACENT PROPERTIES.
- PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATIONS, ELEVATION AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DEVIATIONS OR CONFLICTS.
- CLEARING AND GRUBBING SHALL BE LIMITED TO THE ROADWAY RIGHT OF WAY, DRAINAGE EASMENTS, AND DETENTION PONDS. OTHER CLEARING REQUIRED FOR CONSTRUCTION SHALL BE PRE-APPROVED BY THE OWNER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN STAKING THROUGHOUT CONSTRUCTION. RESTAKING WILL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.
- UNDER DRAINS SHALL BE INSTALLED AT LOCATIONS IDENTIFIED BY THE SOILS ENGINEER.
- DRAINAGE PIPE LENGTHS ARE APPROXIMATE, AND MAY REQUIRE ADJUSTMENT DEPENDING ON FINAL GRADING AND SLOPES.
- THE CONTRACTOR SHALL COORDINATE ALL REQUIRED TESTING WITH THE SOILS ENGINEER. PAYMENT FOR TESTING WILL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- TRAFFIC SIGNAGE SHALL MEET STANDARDS IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD):
- R1-1 STOP SIGN- DIAMOND GRADE- MINIMUM 0.080" THICK
30" FOR ALL INTERNAL STREET INTERSECTIONS
36" FOR ALL INTERSECTION WITH EXISTING COUNTY, STATE AND FEDERAL ROADS
- STREET NAME SIGN- 9" ALUMINUM EXTRUDED BLADE, HIGH INTENSITY PRISMATIC, 6" TALL WHITE ALL-CAPITAL LETTERING ON GREEN BACKGROUND
BRACKETS- VULCAN TYPE VS-8 VANDAL PROOF OR APPROVED EQUAL
- ALL OTHER SIGNS- HIGH INTENSITY PRISMATIC OR BETTER- MINIMUM 0.080" THICK
- POST FOR ALL SIGNS- #2 GALVANIZED U-CHANNEL OF APPROPRIATE HEIGHT
EMBEDDED NOT LESS THAN 3 FEET BELOW THE FINISHED GRADE ELEVATION

EROSION CONTROL NOTES

- THE EXISTING SITE IS UN-DEVELOPED.
- CONTACT LARRY SMITH, PE 251-990-6566.
- AREA TO BE DISTURBED=1.57 ACRES.
- ALL VEGETATION SHALL BE PLANTED AND MAINTAINED PER THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS (ALABAMA HANDBOOK).
- ALL EROSION CONTROL MEASURES SHALL BE PER THE DIRECTION OF THE ENGINEER AND STATE AND FEDERAL E.P.A. GUIDELINES FOR THE NPDES PROGRAM.
- ABSOLUTELY NO SEDIMENT SHALL BE PERMITTED TO LEAVE THE SITE DURING CONSTRUCTION. IF HEAVY RAINS OR UNUSUAL SITE CONDITIONS RESULT IN THE POLLUTION OF ROADWAYS OR ADJACENT PARCELS THEN THE GRADING CONTRACTOR SHALL CLEAN THE DISTURBED AREAS IMMEDIATELY AND RESTORE THE AREAS TO THE ORIGINAL CONDITION WITHIN 24 HOURS.
- ALL DISTURBED AREAS SHALL BE TEMPORARILY AND PERMANENTLY SEEDED WITH "SOUTH" TYPE SEEDINGS PER THE ALABAMA HANDBOOK.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE GOVERNING OFFICIALS. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO BE INTIMATE WITH THE LOCAL EROSION CONTROL LAWS AND TO REFLECT THIS KNOWLEDGE IN HISHER ACTIONS AND QUOTATIONS.
- REFERENCE THE CONSTRUCTION SEQUENCE FOR THE RELATIONSHIP BETWEEN THE INSTALLATION OF EROSION CONTROL FEATURES AND GENERAL CONSTRUCTION.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE GOVERNING OFFICIAL OR ENGINEER OF RECORD.
- ALL SILT BARRIERS SHALL BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL THE SEDIMENT BARRIERS HAVE BEEN CONSTRUCTED.
- CONTRACTOR SHALL REMOVE EROSION CONTROL DEVICES AFTER PERMANENT GRASSING IS IN PLACE AND ESTABLISHED.
- THE CONSTRUCTION EXIT PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
- DISTURBED AREAS LEFT IDLE FOR TEN DAYS OR LONGER ARE TO BE SEEDED AND MULCHED.
- SEDIMENT / EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/3 OF THE CAPACITY OF THE DEVICE.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR.
- THE SITE IS TO BE CLEARED AND GRADED AS TO MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ONE TIME.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
- BMP'S SHALL BE INSTALLED AS PER THE ALABAMA HANDBOOK STANDARDS.
- BMP'S SHALL BE INSTALLED WITH MINIMAL CLEARING ACTIVITY.
- REFER TO THE LANDSCAPE PLANS FOR FINAL STABILIZATION MEASURES.
- NO DUST CONTROL IS ANTICIPATED. SHOULD DUST BE AN ISSUE, SITE WILL BE WATERED TO MINIMIZE GENERATION OF DUST. DUST CONTROL IS ALSO ACCOMPLISHED BY MINIMIZING THE EXPOSURE OF BARE SOILS. UTILIZE TEMPORARY VEGETATION AND MULCHING TO COVER BARE AREAS DURING CONSTRUCTION. UTILIZE PERMANENT VEGETATION TO CONTROL DUST FROM THE SITE AFTER CONSTRUCTION IS COMPLETE.
- WHERE LABELED FIP/PIP, FABRIC INLET PROTECTION TO BE INITIALLY INSTALLED AND CONVERTED TO CURB INLET PROTECTION ONCE THROAT IS POURED.
- SITE INSPECTIONS TO BE PERFORMED WHEN 3/4" RAIN EVENT OR GREATER OCCURS.

CONSTRUCTION SEQUENCE - PHASE 1

- INSTALL TREE PROTECTION FENCING PER TREE PROTECTION ORDINANCE.
- REMOVE VEGETATION/PAVEMENT ONLY IN AREAS OF THE PERIMETER SEDIMENT BARRIERS AND CONSTRUCTION EXIT.
- INSTALL THE CONSTRUCTION EXIT PER DETAILS.
- INSTALL PERIMETER SEDIMENT BARRIERS PER DETAILS.
- REQUEST BMP & TREE PROTECTION INSPECTION PRIOR TO CLEARING.
- ONCE INSPECTION IS COMPLETE AND APPROVED, CLEARING & DEMOLITION CAN BEGIN (PHASE 2).

CONSTRUCTION SEQUENCE - PHASE 2

- PERFORM GRADING TO INSTALL POND AND SEDIMENT FEATURES. ESTABLISH PERMANENT COVER ON AREAS NOT EFFECTED BY ROAD AND UTILITY CONSTRUCTION.
- INSTALL STORM SYSTEM AND UTILITIES.
- DURING ROAD AND UTILITY CONSTRUCTION, INSPECT PERIMETER CONTROLS DAILY AND FIX ANY DEFICIENCIES.
- INSTALL TEMPORARY SEEDING AND MULCH ON DISTURBED AREAS TO PREVENT EXPOSED SOILS.
- DURING ROAD AND UTILITY CONSTRUCTION, MAINTAIN TEMPORARY SEEDING.
- GRADE THE SITE TO SUB-GRADE ELEVATIONS, PREPARING THE SITE FOR FINAL SITE WORK.
- INSTALL CURBING, SIDEWALKS, BUILDINGS AND PAVING.

CONSTRUCTION SEQUENCE - PHASE 3

- INSTALL FINAL LANDSCAPING.
- CALL FOR AN INSPECTION FROM THE QCP.
- ONCE THE QCP HAS CERTIFIED THAT ALL AREAS ARE STABILIZED, REMOVE BMP'S AND TREE PROTECTION.
- STABILIZE ANY AREAS DISTURBED BY BMP AND TREE PROTECTION REMOVAL.

GRADING & DRAINAGE NOTES

- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED. SLOPES STEEPER THAN 3:1 SHALL BE COVERED WITH CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY OR EQUAL.
- ALL DISTURBED AREAS NOT OTHERWISE COVERED BY PAVEMENT SHALL RECEIVE FOUR INCHES OF TOPSOIL AND STABILIZED PER THE LANDSCAPE PLAN.
- ALL STRUCTURES SHALL BE PRECAST CONCRETE PER ASTM C-478/9-13 AND ALDOT STANDARDS UNLESS APPROVED OTHERWISE BY THE ENGINEER.
- STORM PIPE SHALL BE AS FOLLOWS:
RCP, CLASS III PER ALDOT SPECIFICATIONS.
THE TYPE OF PIPE MAY BE ALTERED IF APPROVED BY THE ENGINEER.
- ALL CAST IN PLACE CONCRETE TO HAVE A MIN. 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- THE CONTOUR INTERVAL IS ONE FOOT OR AS SHOWN.
- THE ELEVATION OF MANHOLE/INLET TOPS ARE TO BE AT THE FINISH ELEVATION SHOWN. THE DEFINITION OF THE TYPE OF TOP IS AS LISTED:
WEIR INLET = THROAT; ELEVATION OF THE POINT AT WHICH WATER PASSES INTO THE BOX.
DROP INLET = GRATE; THE TOP MOST PART OF THE FRAME AND GRATE.
CATCH BASIN = THROAT; ELEVATION OF THE POINT AT WHICH WATER PASSES INTO THE BOX.
JUNCTION BOX = RIM; THE TOP MOST PART OF THE RIM AND COVER CASTING.
- ALL STRUCTURAL FILL AREAS TO BE CONSTRUCTED UNDER THE DIRECTION OF A SOILS ENGINEER.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPE SHALL BE WELL ROUNDED. ELEVATIONS REPRESENT FINAL GRADE.
- ALL SILT BARRIERS SHALL BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL THE TREE PROTECTION, SAVE AREAS, SILT BARRIER INSTALLATION AND DETENTION FACILITIES ARE CONSTRUCTED.
- THE LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- ALL O.S.H.A. CONSTRUCTION REQUIREMENTS SHALL BE STRICTLY ADHERED TO.
- PIPE LENGTHS SHOWN ARE LINEAR DISTANCES BETWEEN CENTER TO CENTER OF STRUCTURES. THE CONTRACTOR SHALL DETERMINE THE QUANTITY OF PIPE NEEDED FOR THE JOB, BASED ON SLOPE LENGTH AND WHOLE STANDARD PIPE SECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER TRAFFIC CONTROL FOR PUBLIC SAFETY ADJACENT TO THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES IN CONFORMITY WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
- CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN THE STORM SYSTEM AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- TEMPORARY SEDIMENT BASIN FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
- ALL ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
- CONTRACTOR SHALL PROVIDE A VIDEO OF THE STORM SYSTEM.

UTILITY NOTES

- THE PROPOSED WATER SERVICE SHALL BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR AND CERTIFIED TO BE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS OF FAIRHOPE PUBLIC UTILITIES (FPU) PRIOR TO COMPLETION OF THE PROJECT. ALL PIPING, VALVES, FITTINGS AND DEVICES SHALL BE IN ACCORDANCE WITH FPU SPECIFICATIONS.
- ALL NEW UTILITY SERVICES SHALL BE INSTALLED PER THE SPECIFICATIONS, DETAILS, AND REQUIREMENTS OF FPU AND OTHER UTILITY PROVIDERS. THE CONTRACTOR SHALL BE INTIMATE WITH THE LOCAL CODES AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR THE COMPLIANCE OF ALL SYSTEMS WITH THESE CODES.
- THE SANITARY SEWER LINE SHALL BE TESTED FOR INFILTRATION/EXFILTRATION IN ACCORDANCE WITH FPU STANDARDS & SPECIFICATIONS.
- ALL PVC WATER PIPE SHALL BE MARKED USING A TRACER WIRE BURIED BETWEEN 3 AND 6 INCHES ABOVE THE TOP OF THE PIPE. TRACER WIRE SHALL BE NO. 12 COPPER WIRE WITH PLASTIC COATING. WIRE SHALL BE CARRIED UP THROUGH VALVE BOXES AND TERMINATED A MINIMUM OF 2 FEET ABOVE THE GROUND TO PERMIT CONNECTION OF LOCATING EQUIPMENT. NONMETALLIC BLUE MARKER TAPE SHALL BE BURIED APPROXIMATELY 15 INCHES ABOVE THE TOP OF THE PIPE. TAPE SHALL BE A MINIMUM OF 3 INCHES WIDE AND ON THE OWNER'S LIST OF MATERIALS AND APPROVED MANUFACTURERS.
- SANITARY SEWER PVC GRAVITY AND FORCE MAINS SHALL HAVE METALIZED MARKING TAPE TO ALLOW FOR FUTURE LOCATING WITH STANDARD EQUIPMENT AND TO PROVIDE PROTECTION. TAPE SHALL BE BURIED BETWEEN 6 AND 12 INCHES ABOVE THE PIPE. TAPE SHALL BE GREEN, 3 INCHES WIDE, AND MARKED "CAUTION: BURIED SEWER LINE BELOW". FOURTEEN GAGE WIRE SHALL BE INSTALLED ONE FOOT ABOVE THE TOP OF PVC SEWER MAINS.
- THRUST BLOCKING AND PIPE RESTRAINTS SHALL BE INSTALLED AND SIZED IN ACCORDANCE WITH NFPA-24. THESE RESTRAINTS SHALL BE APPROVED BY THE ENGINEER AND FPU PRIOR TO BACKFILLING AND TESTING.
- PVC WATER MAINS UNDER 4" SHALL CONFORM TO THE REQUIREMENTS OF ASTM D2241. PIPE SHALL HAVE A MINIMUM PRESSURE RATINGS OF 250 PSI, SDR 18 OR HEAVIER.
- WATER MAINS 4"-12" SHALL CONFORM TO THE REQUIREMENTS OF ASTM D2241 FOR PRESSURE PIPE WITH IRON PIPE OUTSIDE DIAMETER OR AWWA C900. PIPE SHALL BE A MINIMUM CLASS 250 FOR ASTM D2241 OR SDR 18 OR HEAVIER FOR AWWA C900.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL O.S.H.A. CONSTRUCTION REQUIREMENTS SHALL BE STRICTLY ADHERED TO.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER TRAFFIC CONTROL FOR PUBLIC SAFETY ADJACENT TO THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES IN CONFORMITY WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
- THE GAS SERVICE SHALL BE INSTALLED TO THE METER BY THE LOCAL GAS UTILITY. REFER TO THE MECHANICAL/PLUMBING PLANS FOR THE METER LOCATION.
- THE CONTRACTOR WILL PROVIDE AND INSTALL ALL SECONDARY WIRING AND CONDUIT FROM THE PAD MOUNTED TRANSFORMER TO THE LOCATION OF THE METERS.
- THE PROPOSED WATER MAIN SHALL BE PRESSURE TESTED, CLEANED, AND DISINFECTED WITH THE NEW PIPING SYSTEM TO THE MAIN SYSTEM. WATER MAINS TO BE INSTALLED AND TESTED PER AWWA STANDARDS. LEAKAGE TEST PERFORMED AT A MINIMUM OF 150 PSI FOR 6 HOURS MINIMUM.
- PLASTIC PIPE FOR GRAVITY SEWERS, STACKS AND LATERALS, AND FITTINGS SHALL BE UNPLASTICIZED POLYVINYL CHLORIDE (PVC), MEETING OR EXCEEDING ASTM SPECIFICATION D3034 LATEST EDITION, CLASSIFICATION SDR 26. PVC GRAVITY SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION.
- PVC PIPE FOR SANITARY SEWER FORCE MAINS SHALL CONFORM TO THE REQUIREMENTS OF ASTM D2241 WITH MINIMUM CLASS 250 FOR PRESSURE PIPE WITH IRON PIPE OUTSIDE DIAMETER OR AWWA C900 WITH SDR 18 OR HEAVIER FOR PRESSURE PIPE WITH DUCTILE IRON PIPE OUTSIDE DIAMETER.

NOTES:

- THIS SITE SHALL ADHERE TO THE RED SOIL AND CLAY ORDINANCE. RED SOIL AND CLAY IS PROHIBITED WITHIN 100' OF CRITICAL AREAS, INCLUDING WETLANDS AND STREAMS.
- THIS SITE SHALL ADHERE TO THE CITY OF FAIRHOPE WETLAND ORDINANCE. NO DISTURBANCE IS ALLOWED WITHIN THE 30' WETLAND BUFFER, INCLUDING CLEARING ACTIVITY.
- RED SOIL & CLAY SHALL NOT BE USED IN POND CONSTRUCTION AS PER RED SOIL & CLAY ORDINANCE.

REVISION

DATE



GENERAL NOTES

Overland
Townhomes
Fairhope, Alabama 36532



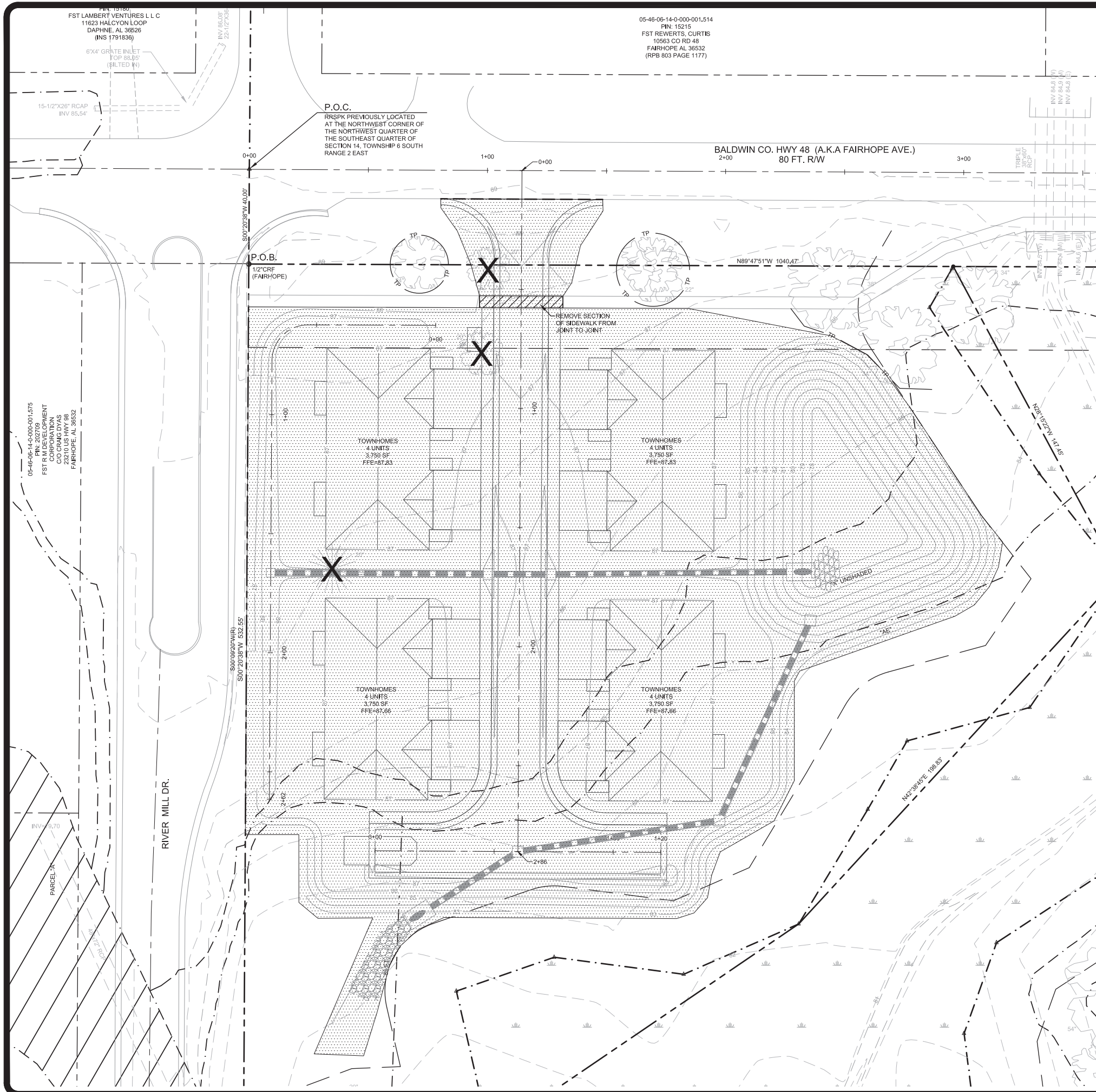
JOB No.: 20210983 DATE: 8/24/21

DRAWN: TLS SCALE: N.T.S.

SHEET

C01





TREE REMOVAL NOTES

- OBTAIN ALL PERMITS FROM STATE AND LOCAL AUTHORITIES PRIOR TO THE DEMOLITION AND REMOVAL OF ANY STRUCTURES, TREES, PAVING, OR INFRASTRUCTURE.
- ALL DEBRIS, STRUCTURES, INFRASTRUCTURE, PIPES, POLES, CABLE, PAVING, AND ANY OTHER MATERIAL SHALL BE DISPOSED OF OFF-SITE AT A PERMITTED FACILITY.
- CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR DRIVE ENTRANCES AND SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE CONTRACTOR'S CONTRACT WITH THE OWNER.
- ON-SITE BURIAL/DISPOSAL OF CONSTRUCTION AND DEMOLITION (C&D) WASTE IS PROHIBITED. CONSTRUCTION AND DEMOLITION WASTE MEANS BUILDING MATERIALS FROM CONSTRUCTION AND DEMOLITION OPERATIONS WHICH INCLUDE, BUT ARE NOT LIMITED TO: ASBESTOS-CONTAINING WASTE, WOOD, BRICKS, METAL, CONCRETE, WALL BOARD, PAPER, AND CARDBOARD.
- INSTALL PERIMETER SEDIMENT BARRIERS AND TREE PROTECTION PRIOR TO DEMOLITION. REFER TO EROSION AND SEDIMENT CONTROL PLAN AND LANDSCAPE PLAN FOR DETAILS.
- MAKE SAWCUTS AT AREAS WHERE PAVING IS TO REMAIN. CURBING SHOULD BE REMOVED TO AN EXISTING JOINT.

TREE REMOVAL LEGEND

REMOVAL **X**

TREE PROTECTION FENCE

TREE REMOVAL

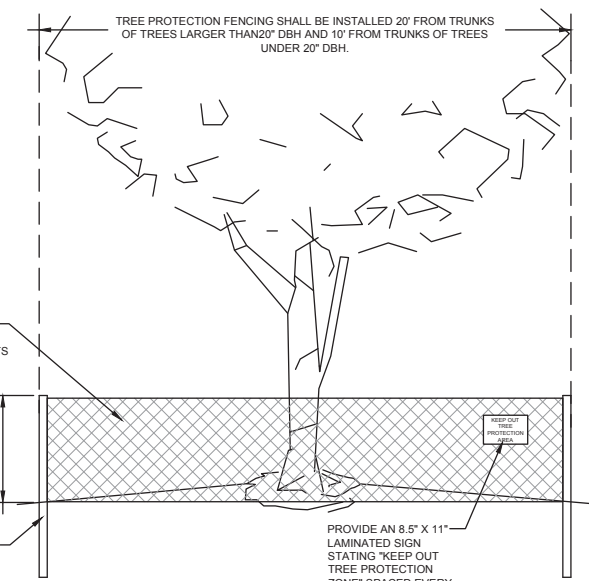
TYPE	QTY
20" PINE	1
20" OAK	2

DEMOLITION LEGEND

REMOVAL

CLEARING LIMITS

ASPHALT SAWCUT

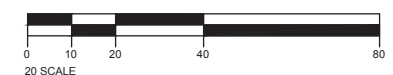


NOTE:
TREE PROTECTION FENCE SHALL BE IN PLACE AT THE OUTER EDGE OF THE DRIP LINE OF THE TREE PRIOR TO ANY LANDSCAPE DISTURBANCE.

TREE PROTECTION FENCE

SCALE: NTS

- NOTES:
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 - THIS SITE SHALL ADHERE TO THE CITY OF FAIRHOPE WETLAND ORDINANCE. NO DISTURBANCE IS ALLOWED WITHIN THE 30' WETLAND BUFFER, INCLUDING CLEARING ACTIVITY.
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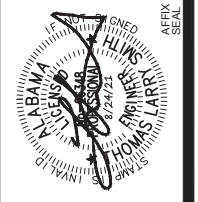


REVISION	DATE



CLEARING, GRUBBING & DEMOLITION PLAN

Overland Townhomes
Fairhope, Alabama 36532



JOB No.: 20210983	DATE: 8/24/21
DRAWN: TLS	SCALE: 1"=20'

SHEET
C02

05-46-06-14-0-000-001,512
 PIN: 15180
 FST LAMBERT VENTURES L L C
 11623 HALCYON LOOP
 DAPHNE, AL 36526
 (INS 1791836)

05-46-06-14-0-000-001,514
 PIN: 15215
 FST REWERTS, CURTIS
 10563 CO RD 48
 FAIRHOPE AL 36532
 (RPS 803 PAGE 1177)

SITE PLAN LEGEND

EXISTING		PROPOSED
	TRAFFIC CONTROL ARROW	
	CURB & GUTTER	
	HEADER CURB	
	RIBBON CURB	
	STANDARD PARKING QUANTITY	
	ACCESSIBLE PARKING SPACE	
	CONCRETE PAVING	
	ASPHALT PAVING	

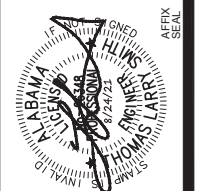
X' SYSL - X' WIDE SINGLE YELLOW SOLID LINE
 X' DYSL - X' WIDE DOUBLE YELLOW SOLID LINE
 X' SWSL - X' WIDE SINGLE WHITE SOLID LINE

REVISION
 DATE



SITE PLAN

Overland
 Townhomes
 Fairhope, Alabama 36532



JOB No.: 20210983 DATE: 8/24/21

DRAWN: TLS SCALE: 1"=20'

SHEET

C03

RIVER MILL DR.

CENTERLINE OF GRASS LINED SWALE

P.O.C.
 RRSPK PREVIOUSLY LOCATED
 AT THE NORTHWEST CORNER OF
 THE NORTHWEST QUARTER OF
 THE SOUTHEAST QUARTER OF
 SECTION 14, TOWNSHIP 6 SOUTH
 RANGE 2 EAST

P.O.B.
 1/2" CRF
 (FAIRHOPE)

SIDEWALK INSTALLED
 WITH OVERLAND
 SUBDIVISION PH. 1

MAILBOX CLUSTER
 8'x10' CONCRETE
 PAVING (SEE DETAIL)

INSTALL 2' STOP BAR
 (CLASS 2, TYPE A
 THERMOPLASTIC)

INSTALL 36" R1-1, DIAMOND
 GRADE, STOP SIGN &
 STREET SIGN W/ POST.
 SEE DETAIL

INSTALL HANDICAP
 CURB RAMP (SEE DETAIL)

VALLEY GUTTER
 TYPE 'A' (SEE DETAIL)

TOWNHOMES
 4 UNITS
 3,750 SF
 FFE=87.83

TOWNHOMES
 4 UNITS
 3,750 SF
 FFE=87.83

TOWNHOMES
 4 UNITS
 3,750 SF
 FFE=87.66

TOWNHOMES
 4 UNITS
 3,750 SF
 FFE=87.66

DUMPSTER
 ENCLOSURE
 (SEE DETAIL)

CONCRETE PAVING
 (SEE DETAIL)

VALLEY GUTTER
 TYPE 'A' (SEE DETAIL)

CONCRETE SIDEWALK
 (TYP.) SEE DETAIL

CONCRETE DRIVEWAY
 INSTALLED BY
 TOWNHOME
 CONTRACTOR

CONCRETE SIDEWALK
 INSTALLED BY
 TOWNHOME
 CONTRACTOR

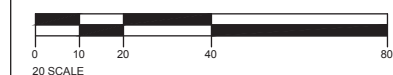
CONCRETE PATIO
 INSTALLED BY
 TOWNHOME
 CONTRACTOR

WET POND

"X" UNSHADED

"AE"

- NOTES:
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GRADING & DRAINAGE PLAN LEGEND	
EXISTING	PROPOSED
	STORM SEWER PIPING
	JUNCTION BOX (JB)
	DROP INLET (DI)
	WEIR INLET (WI)
	TYPE 'S' 1-WING INLET (SWCB)
	TYPE 'S' 2-WING INLET (DWCB)
	MITERED END SECTION (MES)
	CONTOURS
	SPOT ELEVATION
	HIGH POINT

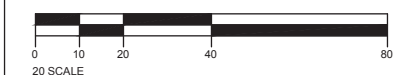
STORM LINE A	
STRUCTURE:	DETAILS:
A1-MES	THROAT = 85.39 INV IN = 78.00(100)
A2-S2	THROAT = 85.39 INV IN = 79.14(101) INV OUT = 79.14(100)
A3-S2	THROAT = 85.39 INV IN = 79.90(102) INV OUT = 79.40(101)
A4-WI	THROAT = 85.07 INV OUT = 80.18(102)

STORM LINE A				
NAME	SIZE & TYPE	LENGTH	SLOPE	
100	24" RCP	110LF	1.04%	
101	24" RCP	26LF	1.00%	
102	29"x18" RCAP	92LF	0.31%	

STORM LINE B	
STRUCTURE:	DETAILS:
B1-MES	INV IN = 81.30(200)
B2-JB	RIM = 86.59 INV IN = 81.46(201) INV OUT = 81.46(200)
B3-JB	RIM = 86.00 INV IN = 81.72(202) INV OUT = 81.72(201)
B4-OCS	RIM = 85.50 INV OUT = 82.00(202)

STORM LINE B				
NAME	SIZE & TYPE	LENGTH	SLOPE	
200	24" RCP	54LF	0.30%	
201	24" RCP	86LF	0.30%	
202	24" RCP	92LF	0.30%	

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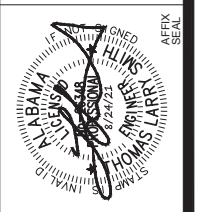


REVISION	DATE



GRADING & DRAINAGE PLAN

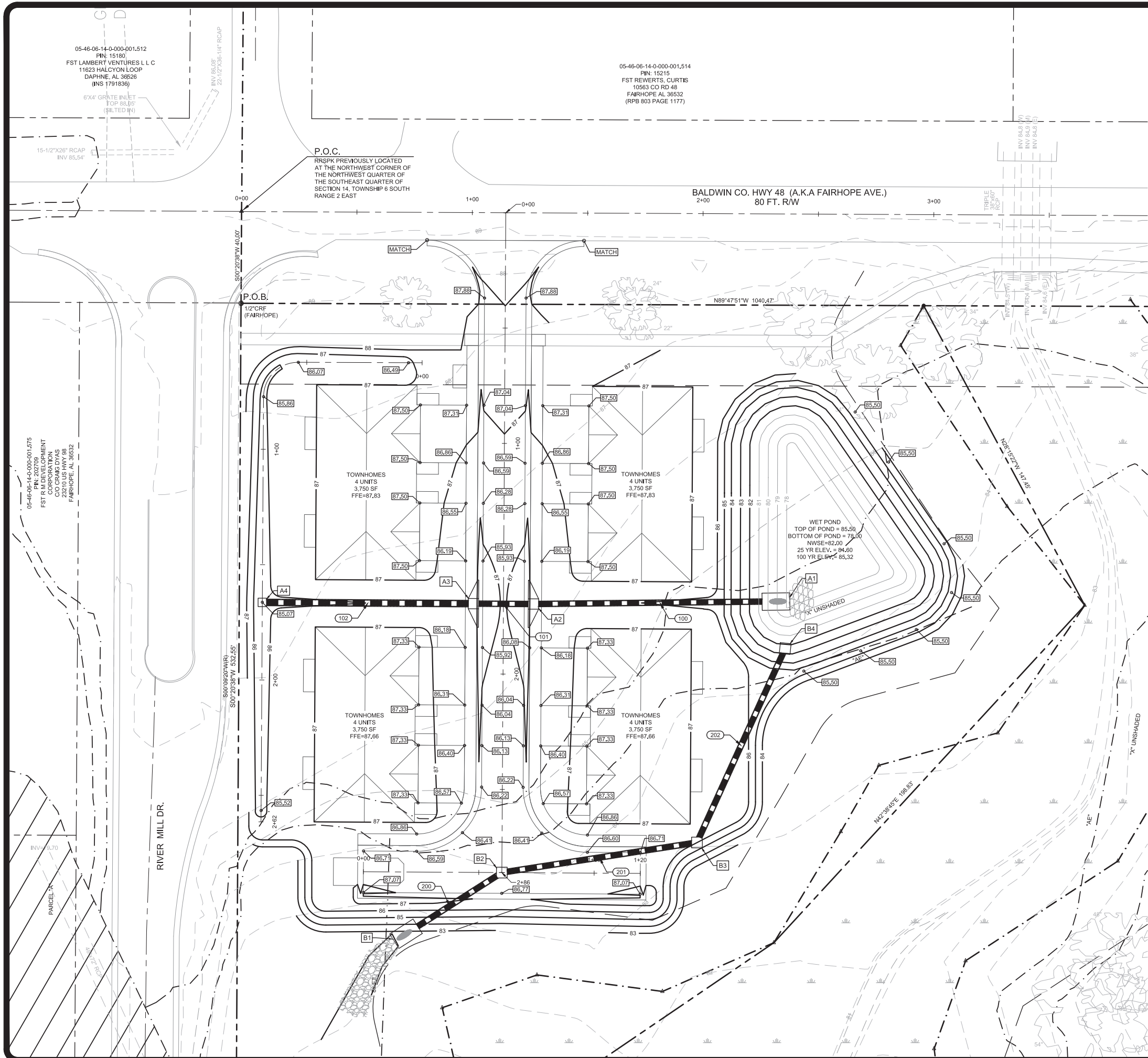
Overland Townhomes
Fairhope, Alabama 36532



JOB No.: 20210983 DATE: 8/24/21

DRAWN: TLS SCALE: 1"=20'

SHEET C04



05-46-06-14-0-000-001.575
PIN: 202709
FSTR M DEVELOPMENT CORPORATION
23010 US HWY 98
FAIRHOPE, AL 36532

05-46-06-14-0-000-001.512
PIN: 15180
FST LAMBERT VENTURES L.L.C
11623 HALCYON LOOP
DAPHNE, AL 36526
(INS 1791836)

05-46-06-14-0-000-001.514
PIN: 15215
FST REWERTS, CURTIS
10563 CO RD 48
FAIRHOPE AL 36532
(RFB 803 PAGE 1177)

P.O.C.
RRSPK PREVIOUSLY LOCATED AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 6 SOUTH RANGE 2 EAST

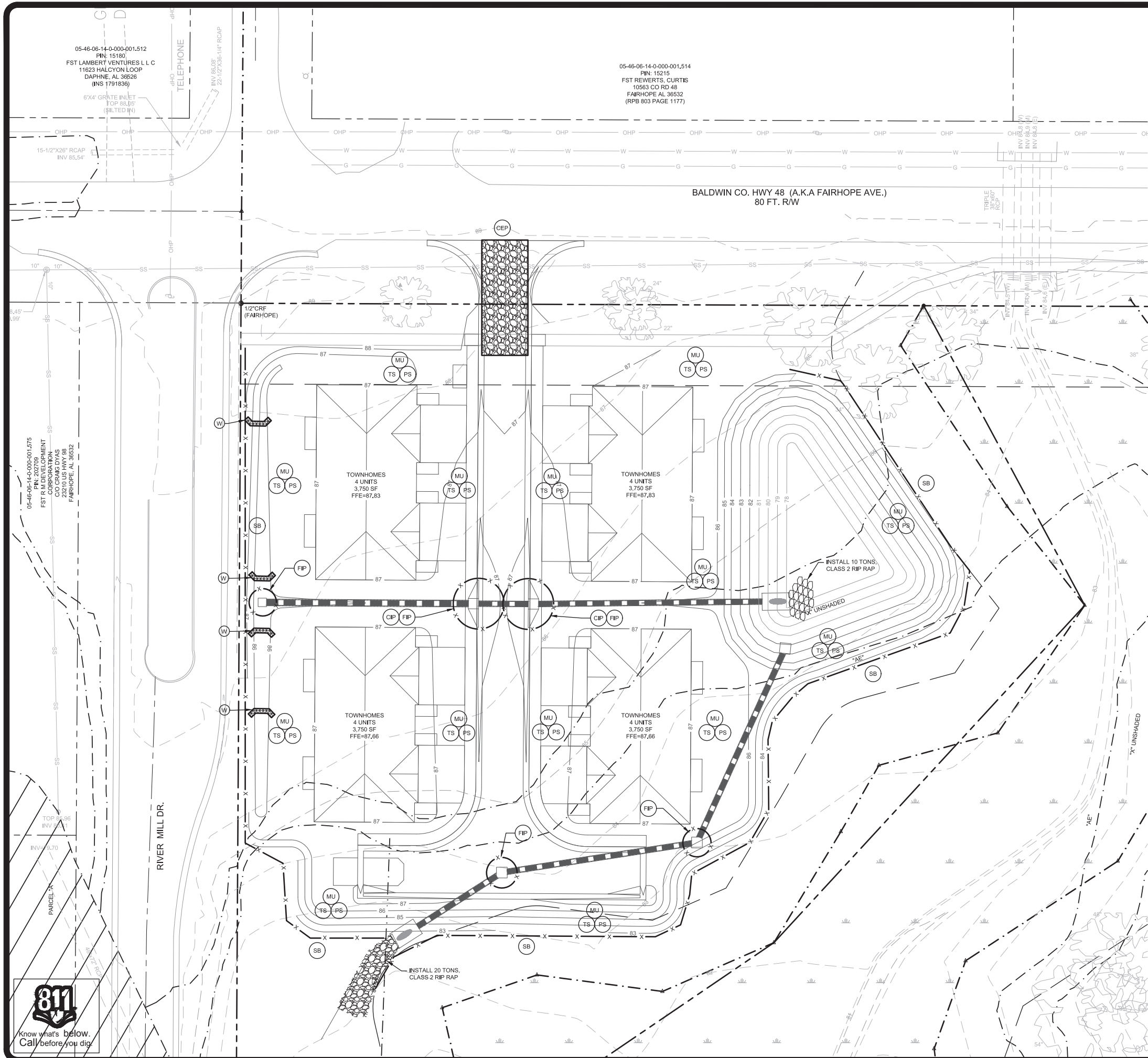
BALDWIN CO. HWY 48 (A.K.A FAIRHOPE AVE.)
80 FT. R/W

P.O.B.
1/2" CRF (FAIRHOPE)

WET POND
TOP OF POND = 85.50
BOTTOM OF POND = 79.00
NWSE = 82.00
25 YR ELEV. = 84.80
100 YR ELEV. = 85.32

RIVER MILL DR.

PARCELS



05-46-06-14-0-000-001,512
 PIN: 15180
 FST LAMBERT VENTURES L.L.C
 11623 HALCYON LOOP
 DAPHNE, AL 36526
 (INS 1791836)

05-46-06-14-0-000-001,514
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BALDWIN CO. HWY 48 (A.K.A FAIRHOPE AVE.)
 80 FT. R/W

05-46-06-14-0-000-001,575
 PIN: 202709
 FST R M DEVELOPMENT CORPORATION
 23010 US HWY 98
 FAIRHOPE, AL 36532

TOWNHOMES
 4 UNITS
 3,750 SF
 FFE=87,83

TOWNHOMES
 4 UNITS
 3,750 SF
 FFE=87,83

TOWNHOMES
 4 UNITS
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 FFE=87,66

TOWNHOMES
 4 UNITS
 3,750 SF
 FFE=87,66

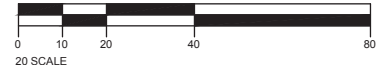
INSTALL 20 TONS CLASS 2 RIP RAP

INSTALL 10 TONS CLASS 2 RIP RAP

LEGEND:

CEP	CONSTRUCTION EXIT PAD
SB	SEDIMENT BARRIER
FIP	FABRIC DROP INLET PROTECTION
MU	MULCHING
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING
ECB	EROSION CONTROL BLANKET
OP	OUTLET PROTECTION
DV	DIVERSION
CIP	CURB INLET PROTECTION
W	STRAW WATLES
FIP CIP	FABRIC & CURB INLET PROTECTION

NOTES:
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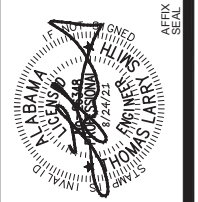


REVISION
 DATE



EROSION & SEDIMENT CONTROL PLAN

Overland Townhomes
 Fairhope, Alabama 36532

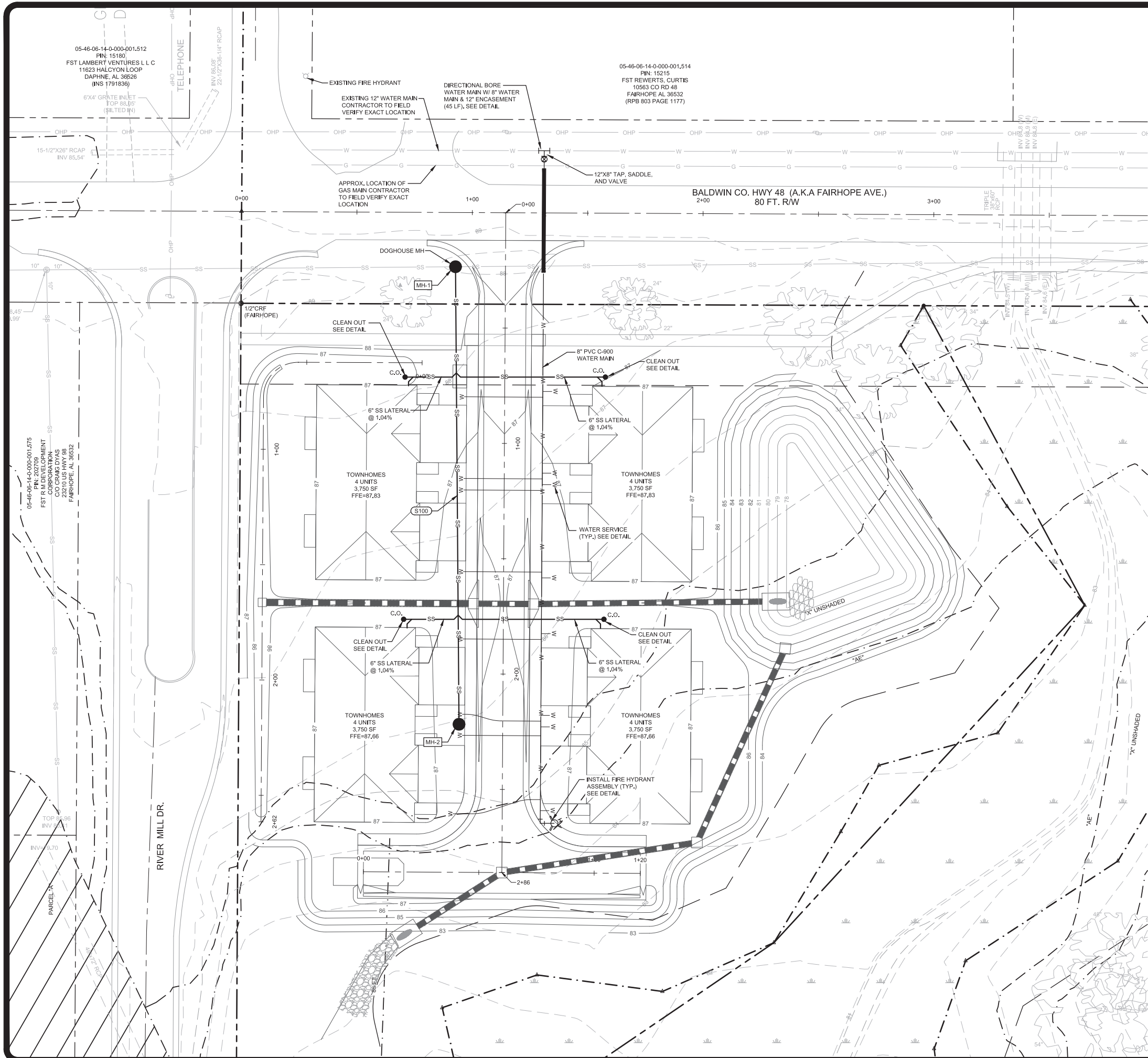


JOB No.: 20210983 DATE: 8/24/21

DRAWN: TLS SCALE: 1"=20'

SHEET
C05



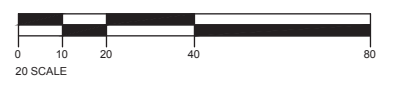


UTILITY PLAN LEGEND			
EXISTING	PROPOSED		
— G —	GAS	— G —	GAS
— W —	WATER	— W —	WATER
— OHP —	OVERHEAD POWER	— OHP —	OVERHEAD POWER
▲	THRUST BLOCK	▲	THRUST BLOCK
● FH	FIRE HYDRANT ASSEMBLY	● FH	FIRE HYDRANT ASSEMBLY
○ S	MANHOLE	○ S	MANHOLE
○ V	VALVE	○ V	VALVE
□ S	SANITARY SEWER STUB	□ S	SANITARY SEWER STUB
□ W	WATER METER	□ W	WATER METER
○	CLEAN OUT	○	CLEAN OUT
		● C.O.	C.O.

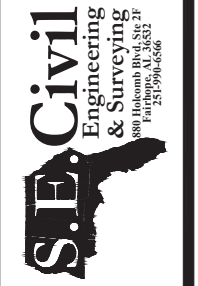
SANITARY SEWER LINE A	
STRUCTURE:	DETAILS:
MH-1	RM = 88.72 INV IN = 80.95(S100)
MH-2	RM = 86.59 INV OUT = 82.59(S100)

SANITARY SEWER LINE A			
NAME	SIZE & TYPE	LENGTH	SLOPE
S100	8" PVC	198LF	0.83%

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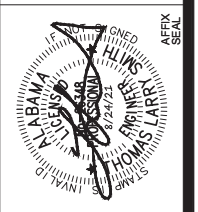


REVISION	DATE



UTILITY PLAN

Overland Townhomes
 Fairhope, Alabama 36532



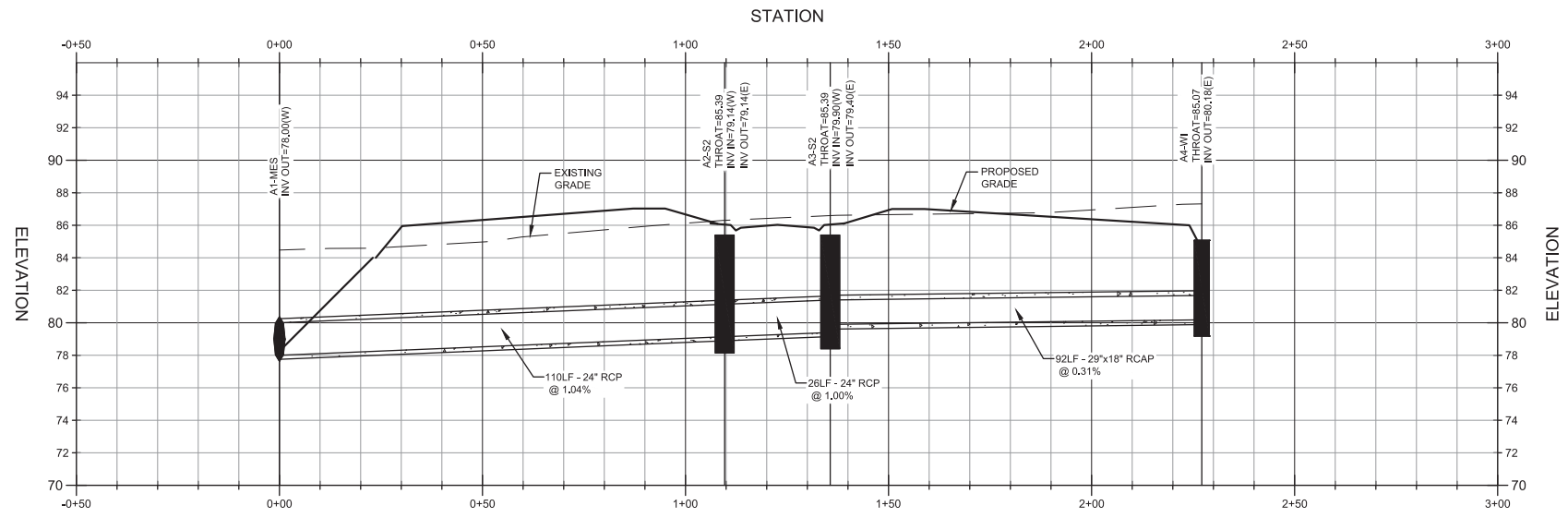
JOB No.: 20210983 DATE: 8/24/21

DRAWN: TLS SCALE: 1"=20'

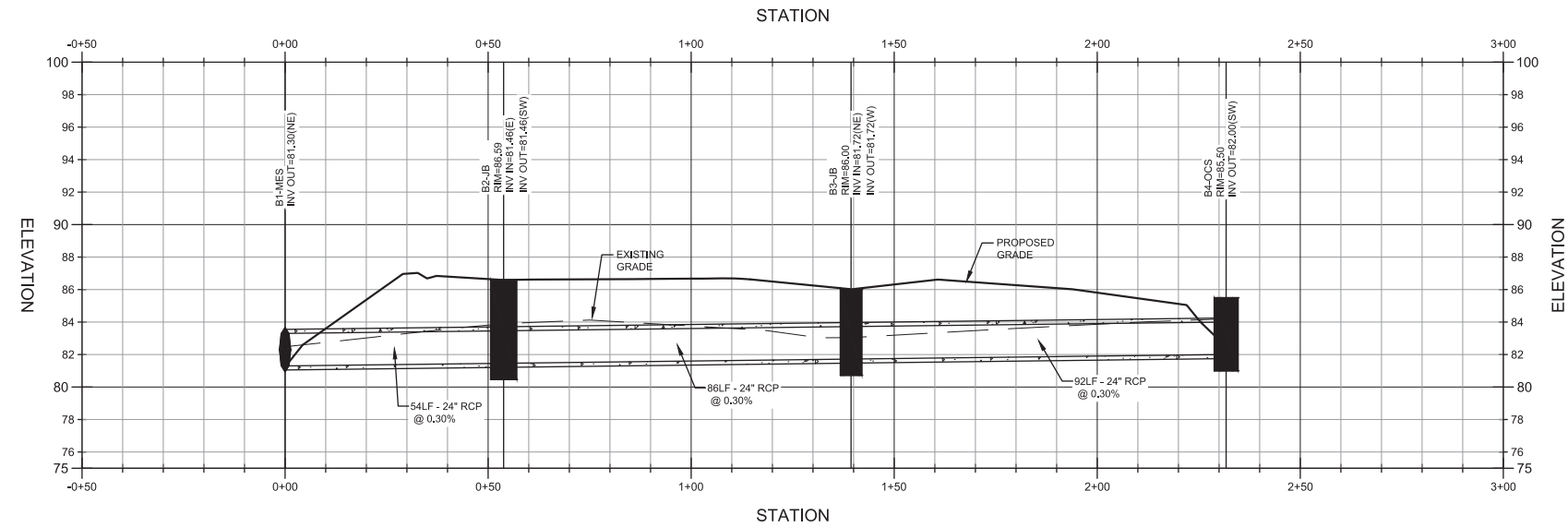
SHEET
C06



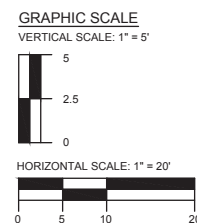
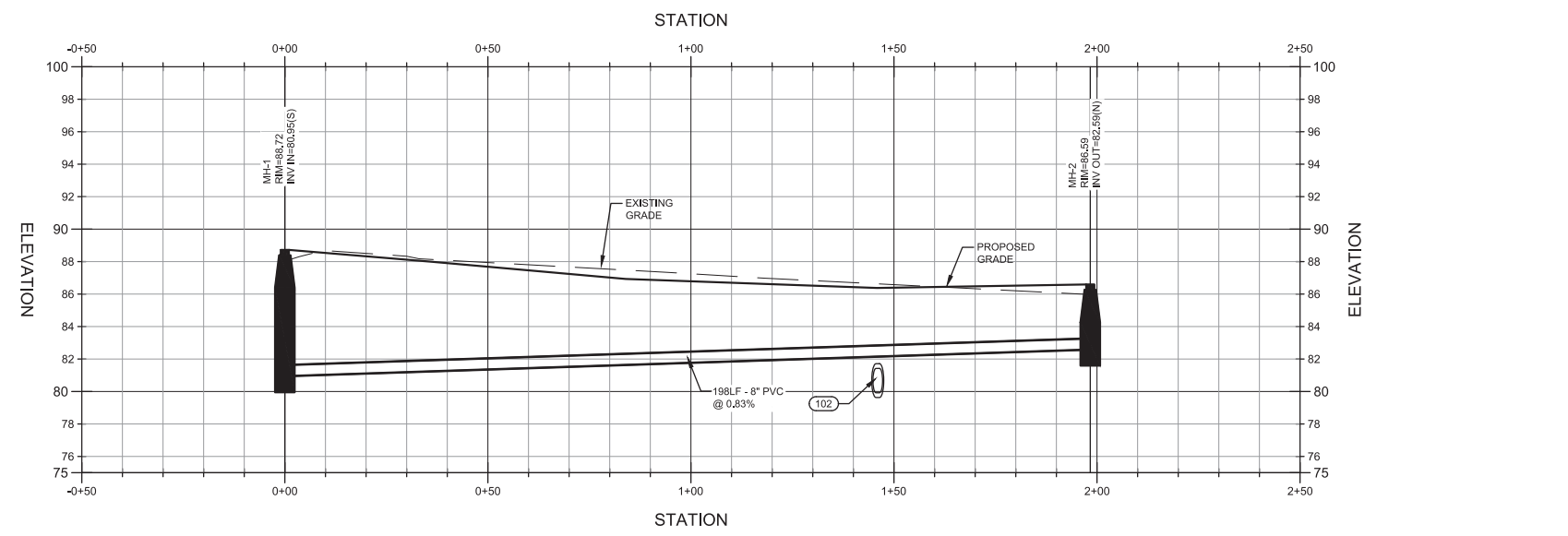
STORM LINE A PROFILE



STORM LINE B PROFILE



SANITARY SEWER PROFILE

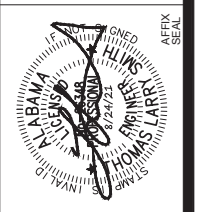


REVISION	DATE



STORM & SANITARY SEWER PROFILES

Overland Townhomes
Fairhope, Alabama 36532



JOB No.: 20210983	DATE: 8/24/21
DRAWN: TLS	SCALE: SEE DWG

SHEET
C07

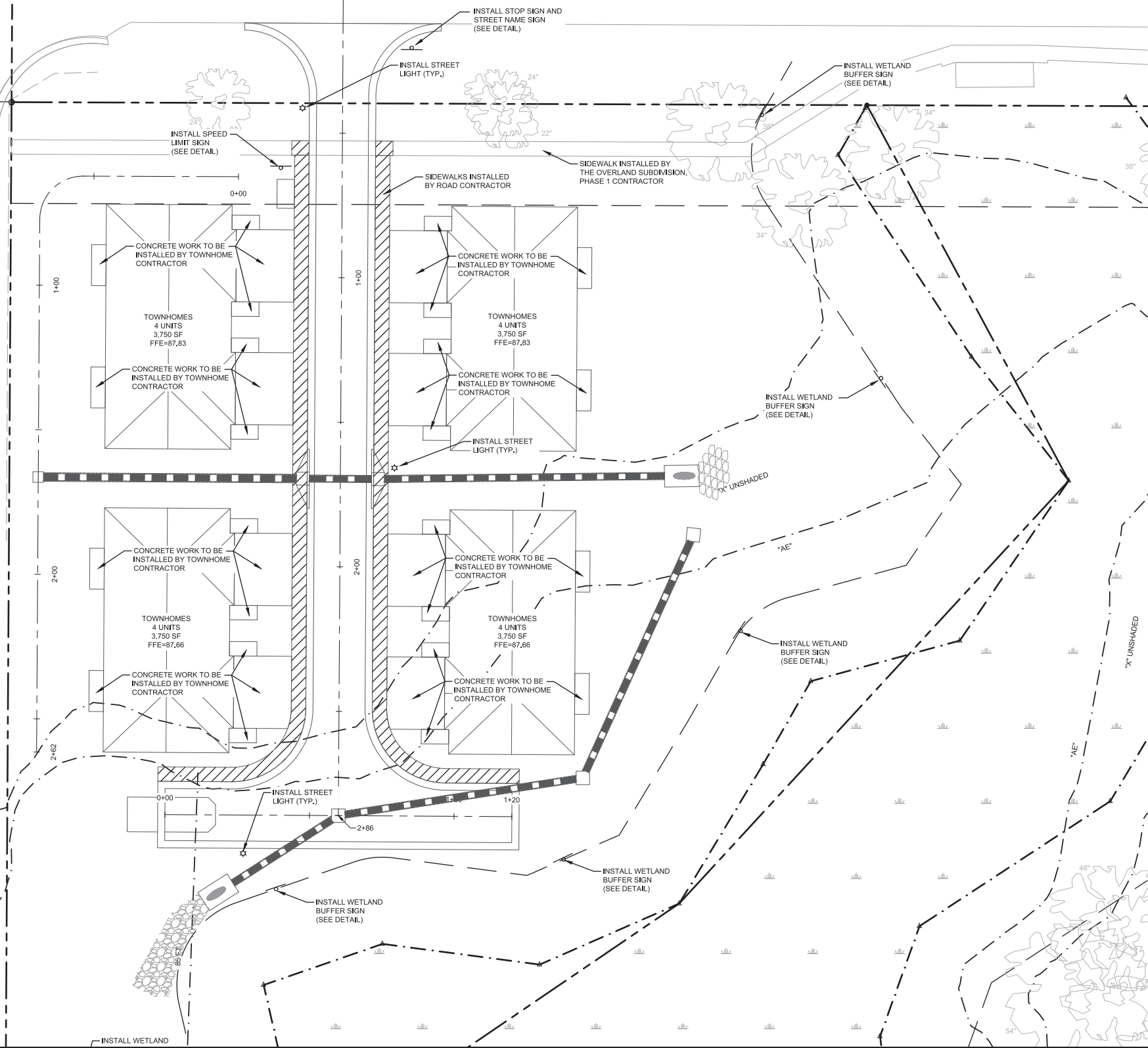
05-46-06-14-0-000-001,512
 PIN: 15180
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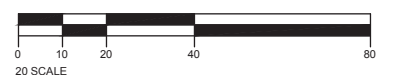
05-46-06-14-0-000-001,575
 PIN: 202709
 FSTR M DEVELOPMENT
 CORPORATION
 23010 US HWY 98
 FAIRHOPE, AL 36532

BALDWIN CO. HWY 48 (A.K.A FAIRHOPE AVE.)
 80 FT. R/W

RIVER MILL DR.



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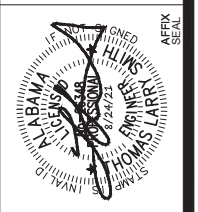


REVISION	DATE



SIDEWALK, STREET LIGHT & SIGNAGE PLAN

Overland Townhomes
 Fairhope, Alabama 36532



JOB No.: 20210983 DATE: 8/24/21

DRAWN: TLS SCALE: 1"=20'

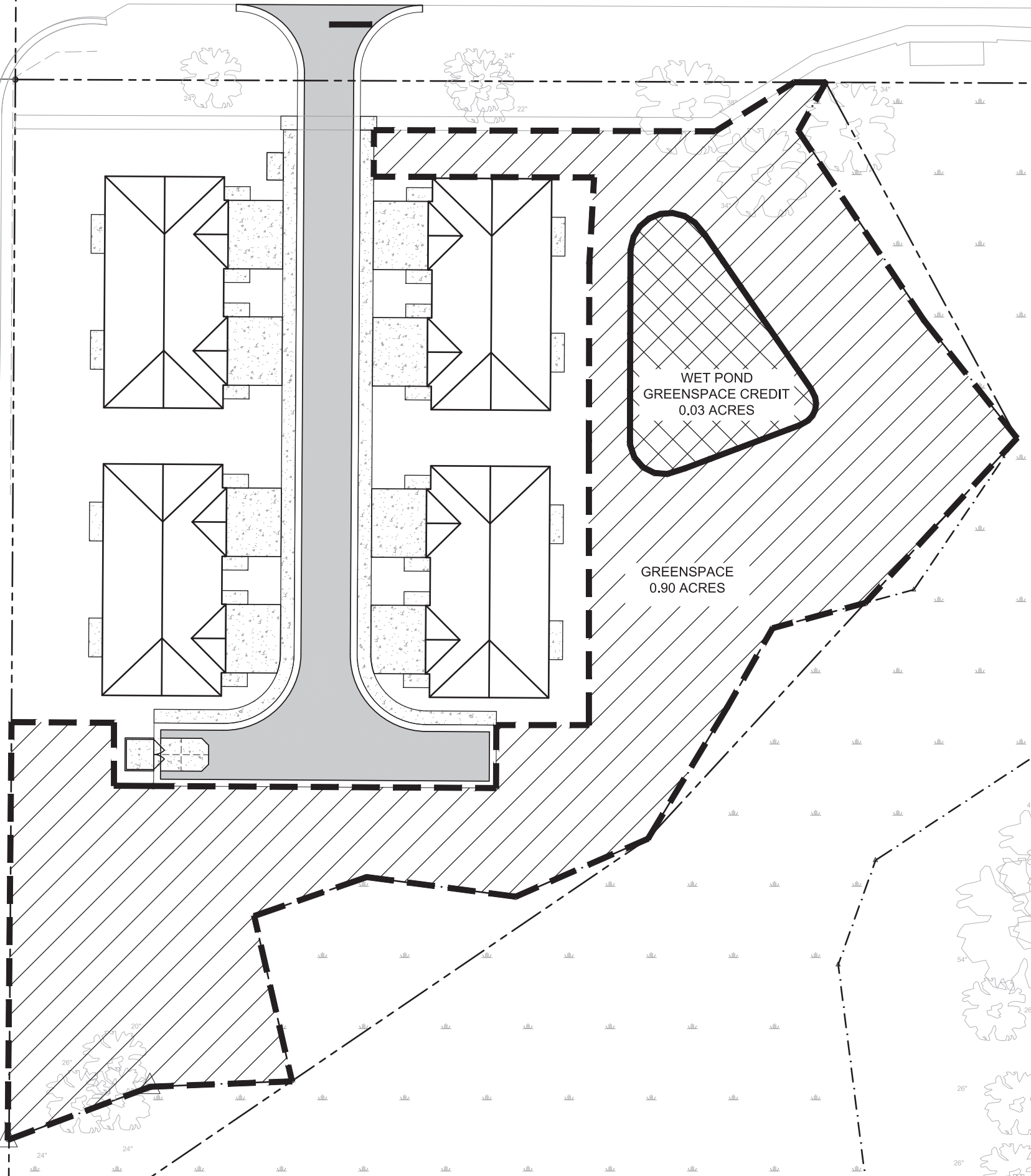
SHEET
C08

BALDWIN CO. HWY 48 (A.K.A FAIRHOPE AVE.)
80 FT. R/W

05-46-06-14-0-000-001,575
PIN: 202709
FST P.M. DEVELOPMENT
CORPORATION
23210 US HWY 88
FAIRHOPE, AL 36532

PARCEL "A"

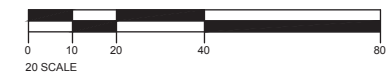
RIVER MILL DR.



GREENSPACE CALCULATIONS (CITY OF FAIRHOPE):	
ACREAGE IN TOTAL TRACT:	2.42 ACRES
WETLANDS:	0.22 ACRES
PONDS:	0.21 ACRES
ASPHALT ROADS:	0.17 ACRES
NET ACREAGE:	1.82 ACRES
DENSITY (NET) = 16 UNITS/1.82 ACRES:	8.79 UNITS/ACRE
GREENSPACE REQUIRED (25% OF 2.46 ACRES):	0.61 ACRES
GREENSPACE PROVIDED:	0.93 ACRES

OPEN SPACE (GREEN SPACE) CALCULATION	
DENSITY: 8.79 UNITS/ACRE	
REQ'D 25% OF TOTAL GROSS AREA	=0.605 ACRES
PRESERVE	=0.93 ACRES

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REVISION

DATE



GREENSPACE PLAN

Overland
Townhomes
Fairhope, Alabama 36532



JOB No.: 20210983 DATE: 8/24/21

DRAWN: TLS SCALE: 1"=20'

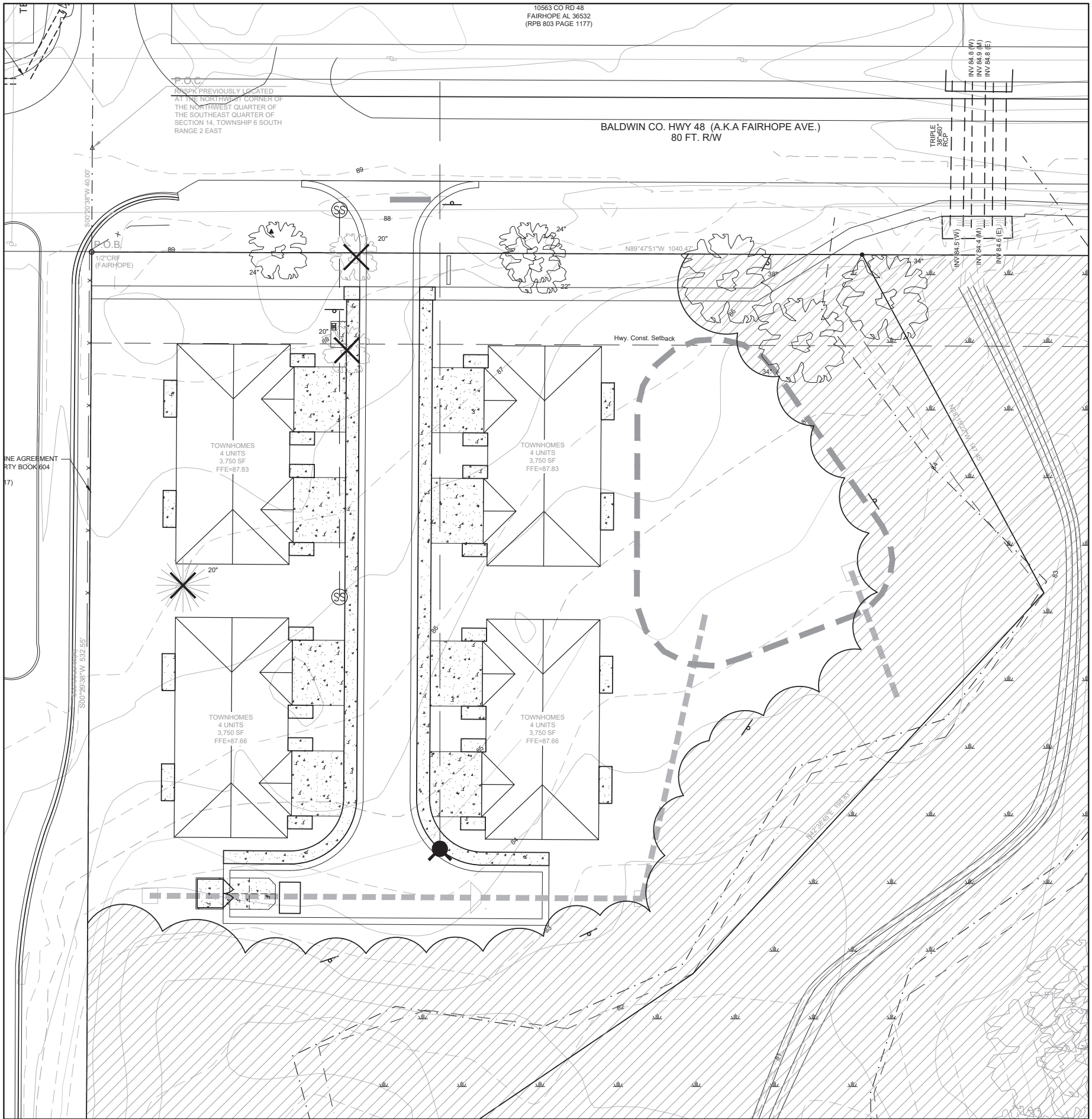
SHEET

C09

10563 CO RD 48
FAIRHOPE AL 36532
(RPB 803 PAGE 1177)

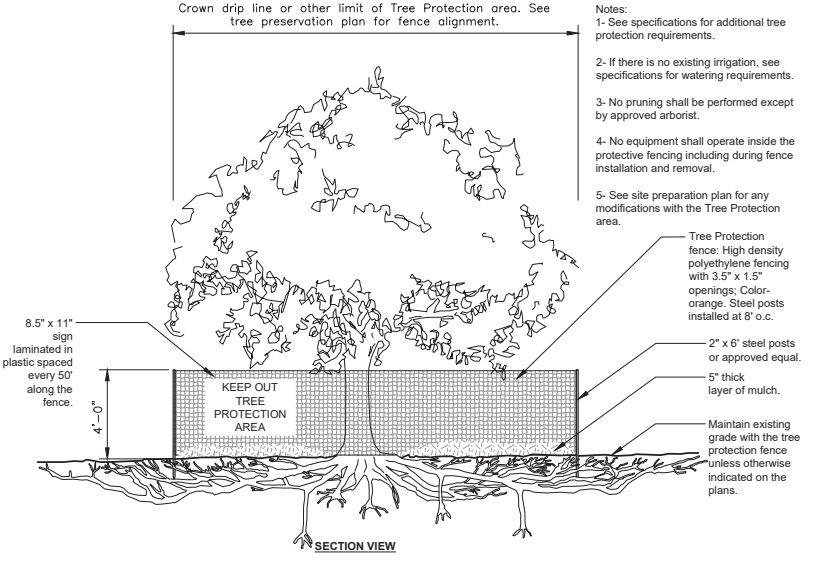
POC
RNSPK PREVIOUSLY LOCATED
AT THE NORTHWEST CORNER OF
THE SOUTHWEST QUARTER OF
SECTION 14, TOWNSHIP 6 SOUTH
RANGE 2 EAST

BALDWIN CO. HWY 48 (A.K.A FAIRHOPE AVE.)
80 FT. R.W



TREE PRESERVATION NOTES

- TREE SURVEY DISCLAIMER:**
1. ALL TREE SURVEY INFORMATION HAS BEEN PROVIDED TO LANDSCAPE ARCHITECT BY S.E. CIVIL.
- TREE PRESERVATION/REMOVAL NOTES:**
1. ALL TREES PROPOSED FOR REMOVAL ARE SHOWN IN A SHADE OF GRAY WITH AN "X", WHILE ALL TREES TO BE PRESERVED ARE SHOWN IN BLACK.
 2. SEE BELOW FOR TREE PRESERVATION/REMOVAL CALCULATIONS.



2 TREE PROTECTION
1/4" = 1'-0"

TREE PRESERVATION CREDITS - Sec. 20.5-4(m)

Total Trees To Be Preserved:							12 Trees
Total Tree Credits Earned:							38 Credits
DBH	GENUS	SPECIES	COMMON NAME	QTY	CREDITS PER TREE	TOTAL CREDITS	
26"	Liquidambar	styraciflua	Sweetgum	1	3	3	
20"	Quercus	virginiana	Live Oak	1	2	2	
22"	Quercus	virginiana	Live Oak	1	2	2	
24"	Quercus	virginiana	Live Oak	4	3	12	
34"	Quercus	virginiana	Live Oak	2	4	8	
38"	Quercus	virginiana	Live Oak	1	4	4	
30"	Pinus	sp.	Pine	1	3	3	
36"	Pinus	sp.	Pine	1	4	4	

TREE REMOVAL

Total Trees To Be Removed:							3 Trees
Total Tree Debits:							6 Debits
Required Trees To Be Replaced:							6 Trees
Provided Replacement Trees:							6 Trees
DBH	GENUS	SPECIES	COMMON NAME	QTY	DEBITS PER TREE	TOTAL DEBITS	
20"	Pinus	sp.	Pine	1	2	2	
20"	Quercus	virginiana	Live Oak	2	2	4	

A Landscape Development Plan for
Overland Townhomes
Fairhope, Alabama

Revisions		
No.	Date	Revisions / Submissions
08.23.21		CITY SUBMITTAL

VTW
Drawn
LCW
Checked
203163-105
Project No.
08.23.21
Date

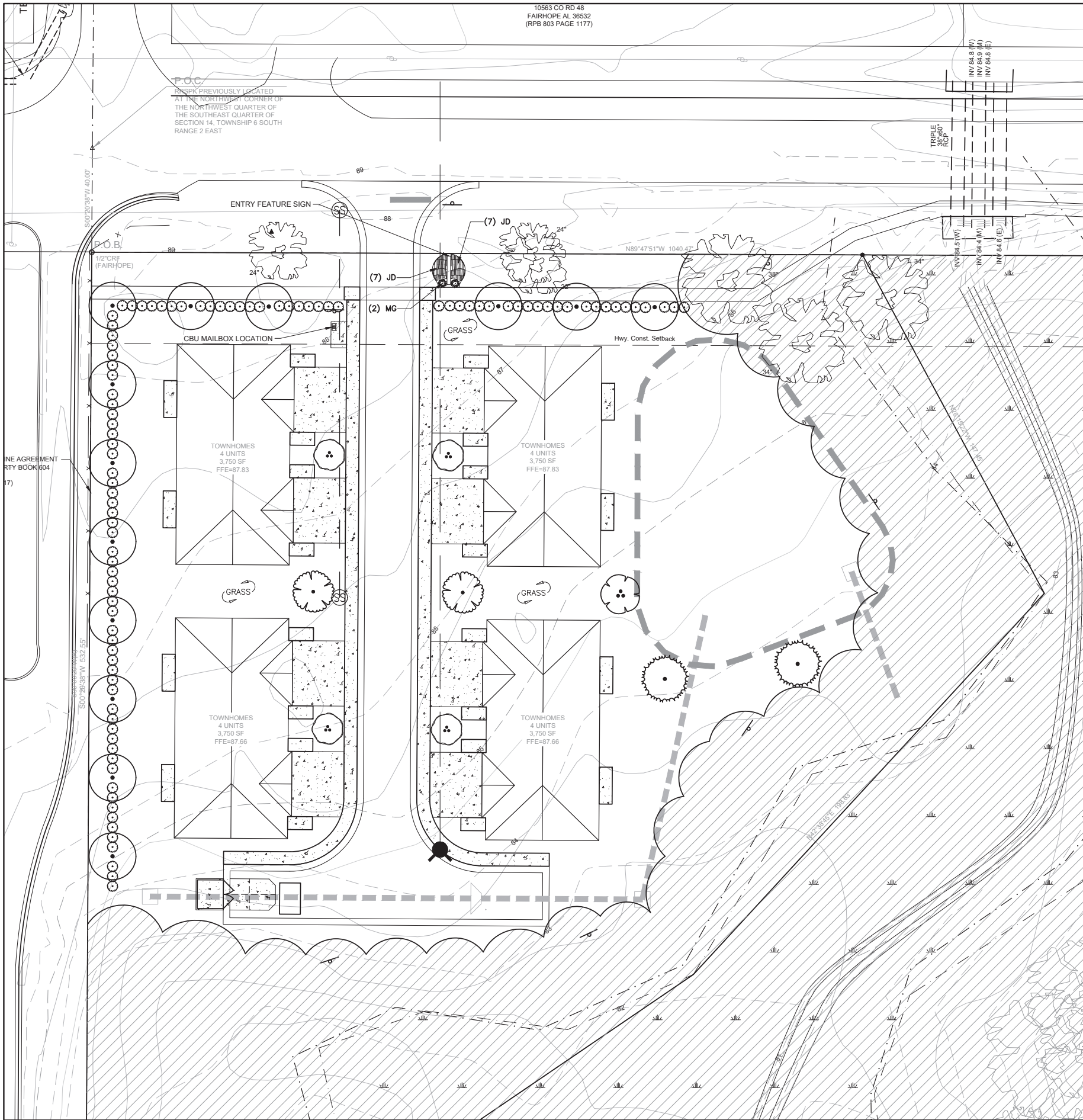
Registration
STATE OF ALABAMA
LESTER CHAU
REGISTERED LANDSCAPE ARCHITECT
NUMBER
518

Sheet Title
TREE PRESERVATION & REMOVAL PLAN

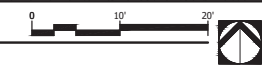
1 TREE PRESERVATION & REMOVAL PLAN
Scale: 1" = 20'

10563 CO RD 48
FAIRHOPE AL 36532
(RPB 803 PAGE 1177)

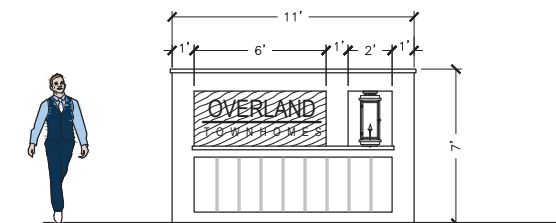
POC
RNSPK PREVIOUSLY LOCATED
AT THE NORTHWEST CORNER OF
THE NORTHWEST QUARTER OF
SECTION 14, TOWNSHIP 6 SOUTH
RANGE 2 EAST



1 LANDSCAPE PLANTING ENLARGEMENT PLAN
Scale: 1" = 10'



2 OVERLAND TOWNHOMES
1/4" = 1'-0"



SIGN-OV-02

A Landscape Development Plan for
Overland Townhomes
Fairhope, Alabama

Revisions		
No.	Date	Revisions / Submissions
08.23.21		CITY SUBMITTAL

VTW
Drawn
LCW
Checked
203163-105
Project No.
08.23.21
Date

Registration
STATE OF ALABAMA
LESTER CHAU
REGISTERED LANDSCAPE ARCHITECT
NUMBER 518

Sheet Title

LANDSCAPE
PLANTING PLAN

A Landscape Development Plan for
Overland Townhomes
Fairhope, Alabama

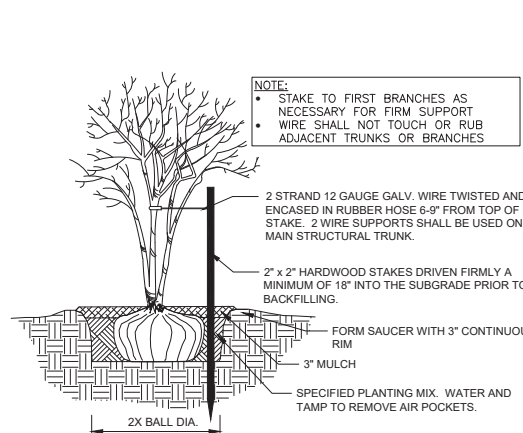
Revisions		
No.	Date	Revisions / Submissions
08.23.21		CITY SUBMITAL

Registration

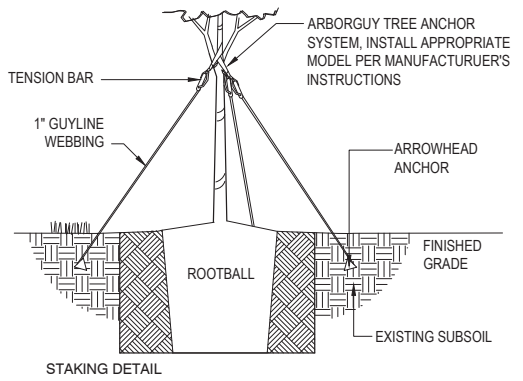
VTW
Drawn
LCW
Checked
203163-105
Project No.
08.23.21
Date

STATE OF ALABAMA
LESTER CHAD
REGISTERED LANDSCAPE ARCHITECT
NUMBER 518

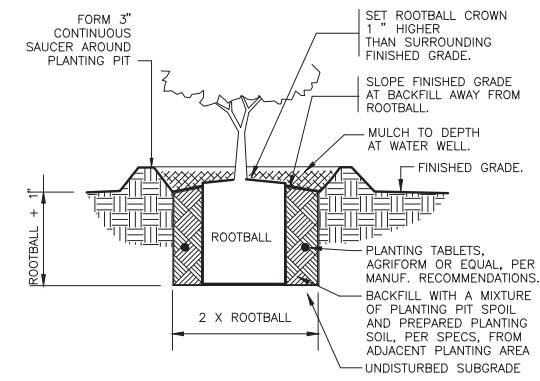
PLANT SCHEDULE									
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT	REMARKS	
	BH	1	BETULA NIGRA	RIVER BIRCH	15 GAL		8'-10'	MINIMUM 3 TRUNKS, FULL HEAD	
	LN	4	LAGERSTROEMIA INDICA 'NATCHEZ'	'NATCHEZ' CRAPE MYRTLE	15 GAL		6'-8'	MINIMUM 3 TRUNKS, FULL HEAD	
	LT	2	LIRIODENDRON TULIPIFERA	TULIP TREE	15 GAL	1.5" - 2"	10'-12'	FULL HEAD, SPECIMEN QUALITY	
	QV	13	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	15 GAL	1.5" - 2"	8'-10'	FULL HEAD, SPECIMEN QUALITY	
	TD	2	TAXODIUM DISTICHUM	BALD CYPRESS	15 GAL	1.5" - 2"	8'-10'	FULL HEAD, SPECIMEN QUALITY	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	W	SPACING	REMARKS
	SB	96	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	3 GAL			48" o.c.	
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	W	SPACING	REMARKS
	MG	2	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDEN GRASS	3 GAL			42" o.c.	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	W	SPACING	REMARKS
	JD	14	JUNIPERUS CHINENSIS 'PARSONII'	PARSON'S JUNIPER	3 GAL			30" o.c.	



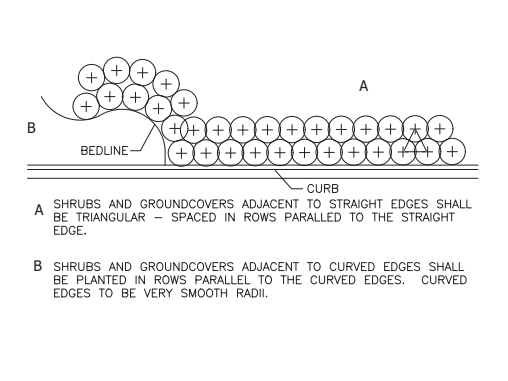
1 MULTI-TRUNK TREE STAKING
1/2" = 1'-0" 329343-01



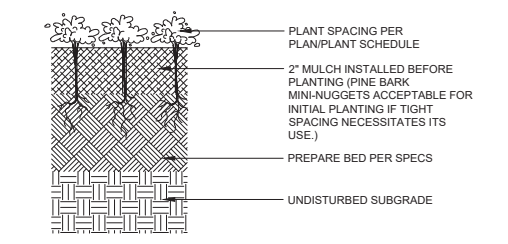
2 STAKING DETAIL
SET ROOTBALL CROWN 1 1/2" HIGHER THAN THE SURROUNDING FINISHED GRADE. SLOPE BACKFILL AWAY FROM ROOTBALL FOR POSITIVE DRAINAGE.



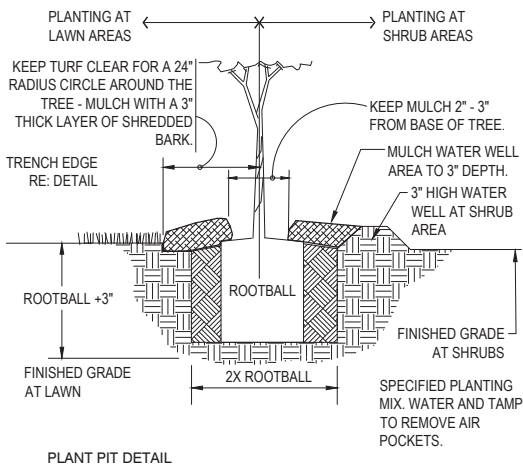
3 SHRUB PLANTING
1" = 1'-0" DETAIL-FILE



4 TYPICAL PLANT SPACING
NOT TO SCALE 329399-04



5 GROUNDCOVER PLANTING
3" = 1'-0" 329313-01



6 TREE PLANTING - GUY STRAP
1" = 1'-0" 329343.26-02

- GENERAL CONDITIONS**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
 - ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.
- LANDSCAPE AREA SOIL PREPARATION**
- SOIL SHALL BE AMENDED BY THE ADDITION OF COMPOST AND FERTILIZER. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
 - INCORPORATE COMPOST UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOD AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS NECESSARY.
 - RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
 - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - WATER THOROUGHLY AFTER PLANTING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.

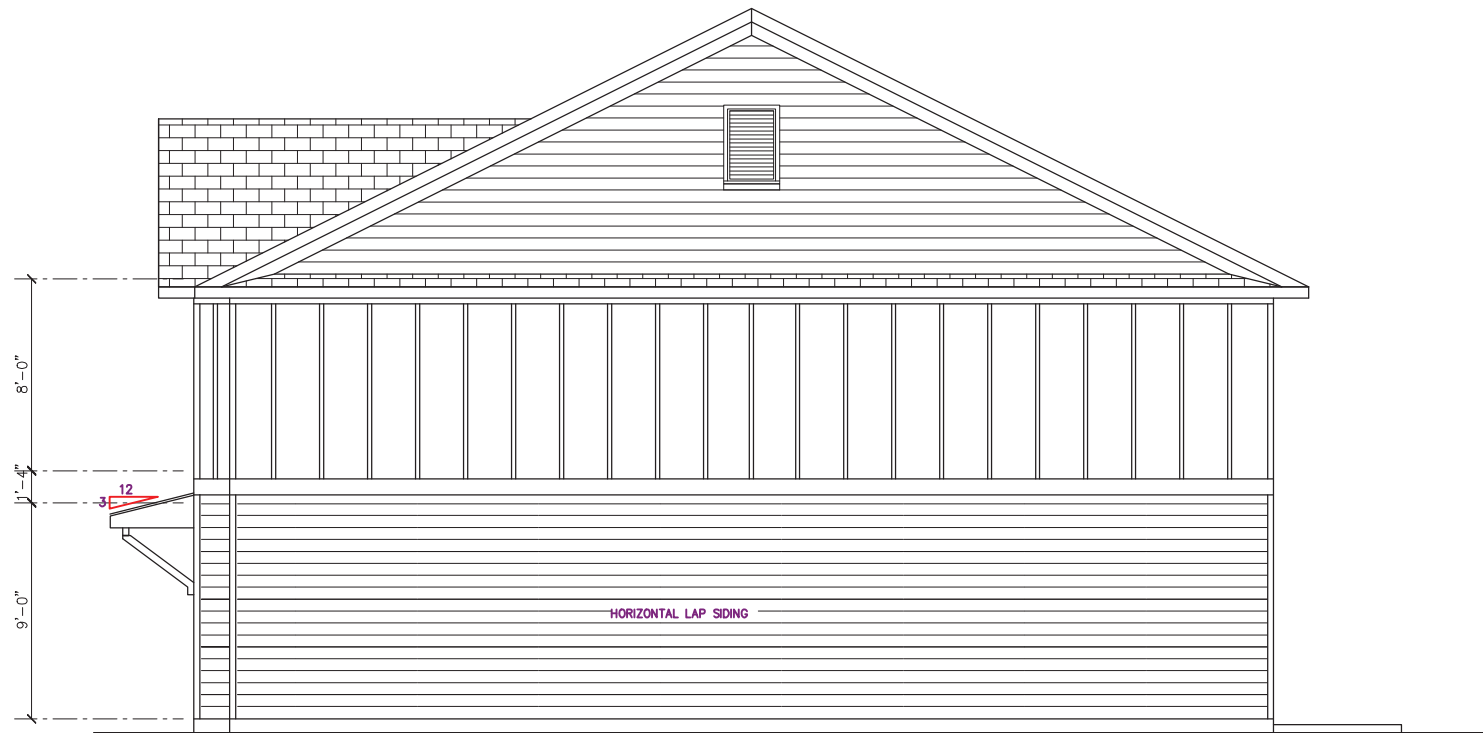
6 GENERAL PLANTING NOTES
1" = 1" 329399-05

- PLANT MATERIAL AND PLANTING**
- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
 - ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT THE JOB SITE.
 - PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC. UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
 - FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
 - NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OR DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
 - ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:
 - 3" DEPTH PINE BARK
 - 4" DEPTH SHREDDED HARDWOOD MULCH
 - 3" DEPTH LONGLEAF PINESTRAW, SETTLED
 - TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
 - TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
 - ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

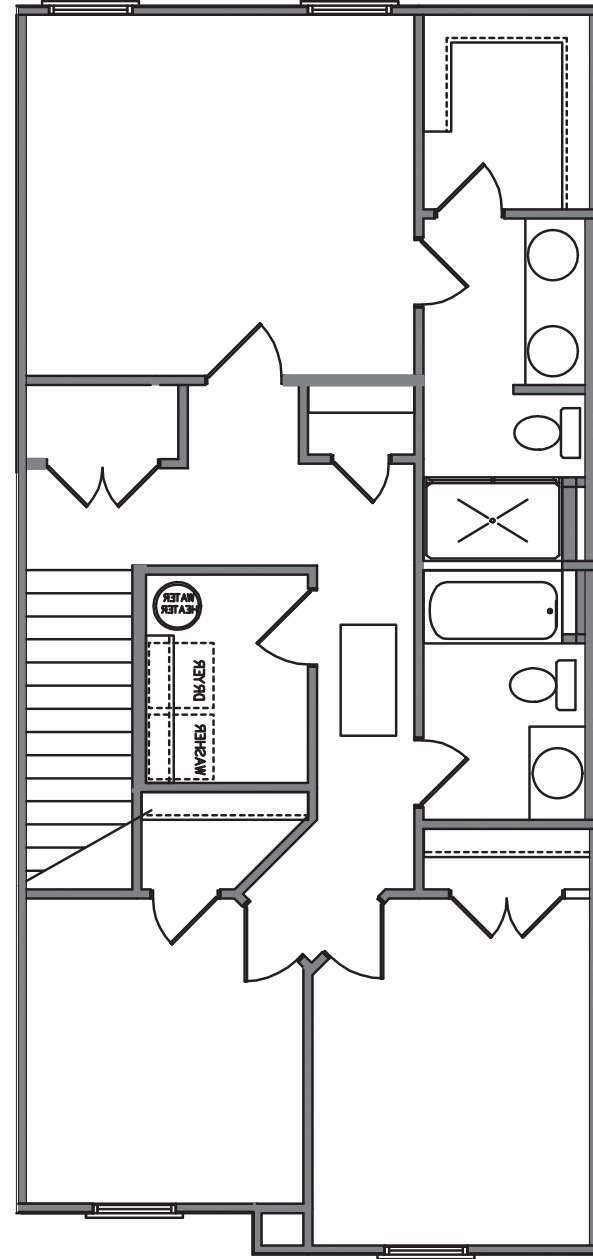
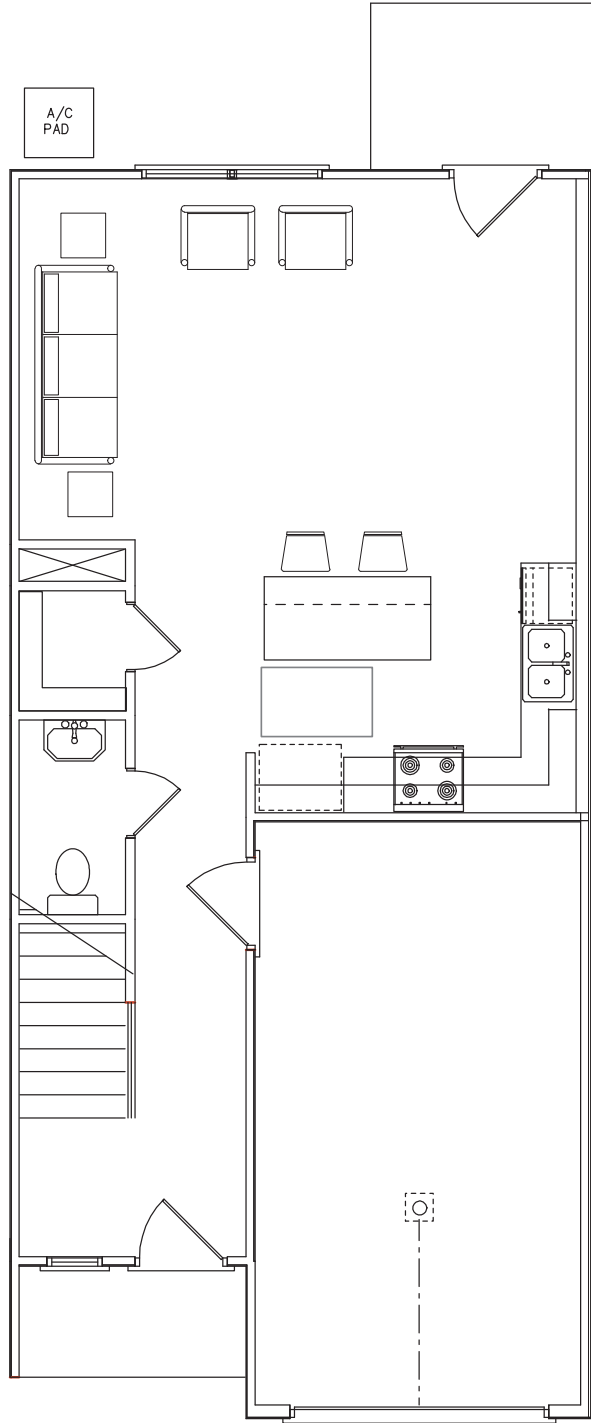
7 GENERAL PLANTING NOTES
1" = 1" 329399-05



FRONT ELEVATION
SCALE: 1/4" = 1'-0"









September 2, 2020

Joe Everson
c/o Terra Core Development
29891 Woodrow Lane, Suite 300
Spanish Fort, AL 36527
john@terracoredev.com
joe@terracoredev.com

**Re: Wetland Delineation – County Rd 48, +/- 29.99 acres
Baldwin County Parcel: 46-06-14-0-000-002.000**

Dear Mr. Everson:

Biome Consulting Group, LLC (Biome) has completed a jurisdictional wetlands and waters assessment of the above referenced property. Our wetland assessment included an analysis of vegetative cover and makeup, wetland hydrology indicators and hydric soil indicators in accordance with federal, Army Corps of Engineers (COE), procedural guidelines.

The site was found to contain approximately 5.11-acres of wetlands within the jurisdiction of federal agencies. The jurisdictional boundaries were alphanumerically flagged with pink surveyor's tape, located via Trimble Geo7x GPS, and is depicted on the enclosed map using ArcMap 10.5 software. The following is a brief, technical summary of our findings relative to the regulatory agencies' potential involvement with this property:

U.S. ARMY CORPS OF ENGINEERS

Technical guidelines outlined in the US Army Corps of Engineers Wetlands Delineation Manual (1987) were applied in the field for determining the presence and location of jurisdictional wetlands on the above referenced lot. The on-site reconnaissance was conducted by walking multiple transects throughout the lot. The following technical details support our location of the jurisdictional boundary:

1. **General Observations:** The site is a parcel adjacent to a residential subdivision and undeveloped areas;
2. **Vegetation:** The upland area is dominated longleaf pine, live oak, water oak, tung tree, bracken fern, and ebony spleenwort, and the wetland area is dominated by sweetbay magnolias, swamp gum, sweetgum, tung tree, netted chain fern, and cinnamon fern;
3. **Soils:** According to the NRCS soil map, the peri-jurisdictional area is underlain by Bibb (hydric), Magnolia (non-hydric), Norfolk (non-hydric), Grady (hydric), Faceville (non-hydric), and Dorovan

(hydric), which was confirmed by on-site soil pit excavation. The **A5 Stratified Layers** indicator was present below the jurisdictional boundary and absent above;

4. **Hydrology:** Indicators of wetland hydrology observed on site include buttressing and rack debris.

All of the parameters necessary for the COE to exert jurisdiction were present in that portion of the property identified as wetland. Section 404 of the Clean Water Act (33 USC 1344) requires authorization from the Secretary of the Army, acting through the COE, for the discharge of dredged or fill material into all waters of the United States, including wetlands. Discharges of fill material generally include, without limitation: placement of fill that is necessary for the construction of any structure, or impoundment requiring rock, sand, dirt, or other material for its construction; site-development fills for recreational, industrial, commercial, residential, and other uses; causeways or road fills; dams and dikes; artificial islands; property protection or reclamation devices such as riprap, groins, seawalls, breakwaters, and revetments; beach nourishment; levees; fill for intake and outfall pipes and sub-aqueous utility lines; fill associated with the creation of ponds; and any other work involving the discharge of fill or dredged material. A COE permit is required whether the work is permanent or temporary.

The basic premise of the dredge and fill program is that no discharge of dredged or fill material may be permitted if: (1) a practicable alternative exists that is less damaging to the aquatic environment or (2) the nation's waters would be significantly degraded. What this means is when you apply for a permit, you must show that you have, to the extent practicable:

- Reasonably avoided all wetland impacts;
- Minimized potential impacts on wetlands; and
- Provide compensation for any remaining unavoidable impacts.

CONCLUSION

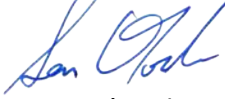
Based on our thorough assessment, we have concluded that 24.88-acres of the target property is upland with 5.11-acres of wetlands and other waters within the jurisdiction of the COE. Any proposal to develop the wetland portion of the property will require permits from the agency. We note that these calculations are based on an inspection boundary approximated from the county property appraiser depiction of the property boundary. An actual boundary survey may result in slightly different calculations.

A wetland delineation performed by an ecological consultant represents the professional opinion of the scientist that performed the work. Only the regulatory agencies can establish a legal and binding jurisdictional boundary. Such can be obtained by submitting a permit application and waiting several months for processing. For the purposes of local government permitting (e.g. building permit) this letter should suffice.

This report is intended for the sole use by the above listed addressee. Its contents may not be relied upon by other parties without the written consent of Biome Consulting Group.

This concludes our assessment of the target property. If you require additional information, assistance, or clarification, please give us a call at 850.435.9367. We look forward to being of assistance to you in the future.

Sincerely,
Biome Consulting Group



Sean O'Toole
Ecological Consultant
Partner

2238.013 Co Rd 48

Attachment: Wetland Jurisdiction Map

COUNTY RD 48




STEEL CREEK CT

RIVER MILL DR



APPROXIMATE ACREAGES
 UPLANDS : 24.88-ACRES
 WETLANDS : 5.11-ACRES

WETLAND JURISDICTION MAP
 BALDWIN COUNTY
 COUNTY RD 48
 46-06-14-0-000-002.000
 K - - † - k o \ V

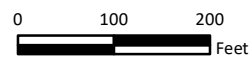
LEGEND
 INSPECTION BOUNDARY
 UPLANDS
 WETLANDS

2235.013
 CBO

9/1/2020



biome
 Consulting Group
 1300 West Government St. Pensacola, FL 32502
 850.435.9367 www.biome.co



THIS IS NOT A SURVEY

DRAINAGE NARRATIVE AND CALCULATIONS

OVERLAND TOWNHOMES

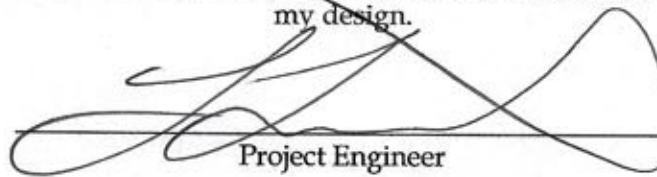
Prepared By:



PROJECT NUMBER: 20210983

ENGINEER'S CERTIFICATE

I, the undersigned, a Registered Professional Engineer in the State of Alabama holding Certificate Number 26348, hereby certify that I have reviewed the design herein which was done under my direct control and supervision and that, to the best of my professional knowledge and to the best of my belief, conforms to the requirements of the Fairhope Subdivision Regulations and to all other rules, regulations, laws, and ordinances applicable to my design.



Project Engineer

August 24, 2021



Name of Project to which this Certificate Applies: Overland Subdivision
Plans which are certified consist of Page 1 thru 89.

MAINTENANCE STATEMENT

An HOA shall be formed and will be required to maintain any and all stormwater facilities and structures located outside of the publicly accepted right-of-way.

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General Information	1
Hydraulic Analysis	1
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Down Stream Analysis	3
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HydroCAD Report	
Appendix C	
StormCAD Report Tables.....	
Appendix D	
Soil Information	
Appendix E	
NOAA Atlas 14 Precipitation Tables	

PROJECT DESCRIPTION

Overland Townhomes includes sixteen (16) residential units located in Fairhope, Alabama. The total project site contains approximately 2.42 acres. The site is in Section 14 of Township 6 South, Range 2 East and is on the south side of Baldwin County Hwy-48 (Fairhope Avenue) approximately 0.07 miles east of State Hwy-181.

The terrain of the site falls from west to east and discharges into an existing floodway, with elevations ranging from 89 ft to 81 ft. The site is wooded. A map showing the vicinity can be seen in *Appendix A*.

Water will be collected in a series of inlets and underground drainage. The underground drainage will discharge into a proposed wet pond on the east side of the property before discharging into the floodway.

PROPOSED HYDRAULIC ANALYSIS

The SCS method for runoff estimation was used to develop the detention calculations for the project. NOAA has published intensity curves specific to this area and the 2, 5, 10, 25, 50 and 100-year, 24-hour storm events were utilized in the drainage calculations for this site. The existing GIS contours along with field verified elevations for the area are used to determine the size of the drainage basin. A copy of the Drainage Map can be found in *Appendix A*. The drainage basin area is then plotted on the USDA Web Soil Survey to determine the soil characteristics. Soil surveys are made to provide information about the soils within the drainage area. They include a description of the soil types, their location, and tables that show soil properties and limitations affecting various uses. TR-20 presents a simplified procedure for estimating runoff and peak discharges in small watersheds. Using this procedure, the SCS Curve number method along with the information gained in the soil report, runoff is able to be estimated. The soil information for the site can be found in *Appendix D*.

The time of concentration (Tc) was also necessary for the flow estimate. This value was calculated utilizing the SCS Time of Concentration Calculations for Sheet Flow, Shallow Concentrated Flow, and Channel Flow.

HydroCAD utilizes the composite runoff curve number and the area of the drainage basin to determine the outflow of the drainage basin. A twenty-four-hour rainfall intensity for a two, five, ten, twenty-five, fifty, and one-hundred-year return storm event was applied to the drainage areas to determine the flow. The software was used to determine the flow exiting the drainage basin and entering the proposed detention pond for pre- and post-development scenarios. HydroCad analysis for the site can be found in *Appendix B*.

StormCAD was used to analyze the closed drainage systems for the proposed project. Curbs and gutters channel storm water from the roadways; the storm water is then collected into wing inlets and yard inlets, which eventually is piped to the proposed stormwater ponds. Pond outfall structures will be installed in the pond and discharge into the existing discharge point at a controlled rate less than the pre-developed rate. StormCAD analysis for the site can be found in *Appendix C*.

According to our post developed calculations, there will be no adverse effects from our development.

SUMMARY OF RESULTS

Analysis determined that the proposed detention pond is adequate to effectively handle and store the peak post-development flows observed during a two, five, ten, twenty-five, fifty, and one-hundred-year return events. Please see HydroCad summary in *Appendix B* showing the pre-developed flow rates and post-

developed flow rates for the 2, 5, 10, 25, 50 & 100-year storm events and the associated high-water elevations.

A brief summary of the pre vs. post development discharge rates for the project may be seen below.

STORM EVENT	STUDY POINT 1		
	PRE	POST Discharge	HW (POND1)
2 YEAR	3.41	3.08	-
5 YEAR	5.49	4.62	-
10 YEAR	7.63	6.74	-
25 YEAR	11.15	10.14	84.47
50 YEAR	14.47	13.24	-
100 YEAR	18.01	16.67	85.15
POND TOP	-	-	85.50

WATER QUALITY CALCULATIONS

A = Area of the Site = 2.672 acres (site 2.42 acres + 0.252 off-site)

I = Percentage of Imperviousness = 29.6%

P = Rainfall treatment depth = 1.8 inches

Rv = Runoff coefficient

WQv = Water quality treatment volume

$$Rv = 0.015 + 0.0092I = 0.015 + 0.0092(29.6) = 0.287$$

$$WQv = P * Rv * A/12 = 1.8 \text{ inches} * 0.287 * 2.672 / 12 = 0.115 \text{ ac-ft} = 5,011 \text{ ft}^3$$

The water quality volume is provided within the Wet Pond Storage. The primary overflow orifice for the pond is set at an elevation of 82.00. The volume of the wet pond between an elevation of 78.00 feet and 82.00 feet is approximately 13,480 ft³.

TSS REMOVAL

The total suspended solids will be treated by the two wet ponds. Per the Subdivision Regulations, wet ponds have an 80% TSS removal efficiency.

DOWNSTREAM ANALYSIS

The site discharges into a natural floodway that leads to Cowpen Creek. At the point where the run-off from our site enters the existing draw, the upstream drainage basin is approximately 398.40 acres. Our site is approximately 2.42 acres. Our site is 0.61% of the drainage basin at that point, which is less than 10%, which is the typical threshold for downstream analysis.



FIRE FLOW TEST REPORT

Project: Overland
 Engineer: Larry Smith
 Date: 3/4/2021 Time: 9:30 AM

FLOW HYDRANT

Hydrant Location: Intersection of CR48 and Blueberry Lane
 Size of Watermain, In.: 8 Material: PVC
 Pitot, PSI: 45 Observed Flow, GPM: 1,125
 Q_R, Calculated Fire Flow @ 20 PSI: 9,100

TEST HYDRANT (RESIDUAL)

Hydrant Location: CR48 in front of the water tower.
 Size of Watermain, In.: 8 Material: PVC
 Static PSI: 68 Residual: 67

Q_F = Total test flow 1,125
 H_R = Static Pressure minus 20 psi 48
 H_F = Static Pressure minus Residual Pressure 1

$Q_R = Q_F \times (H_R / H_F)^{0.54}$

Where:

Q_R = Rated Capacity at 20 psi (in GPM) 9,100 GPM

The available Fire Flow exceeds the required 1000 gpm.





August 24, 2021

Hunter Simmons
Fairhope Planning Department
555 S. Section Street
Fairhope, AL 36532

Re: Overland Townhomes, MOP – Traffic Letter

Dear Hunter:

This letter is to serve as back up information as to why a Traffic Impact Study is not warranted for this project. According to the subdivision regulations a traffic impact study is required if a project will increase the average daily traffic by 1,000 trips or generate 50 trips or more during any peak hour period. Attached is the ITE Trip Generation Report. The proposed development will consist of 16 townhome units. When plugging 16 townhomes into the ITE Trip Generation Report, we come up with 93 daily trips and 8 peak hour trips. This does not meet the threshold for a traffic study. Please refer to the attached ITE Trip Generation Report.

If you have any questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read 'Larry Smith', written in a cursive style.

Larry Smith, PE
larry@secivil.pro





August 24, 2021

Hunter Simmons
Fairhope Planning Department
555 S. Section Street
Fairhope, Alabama 36532

Re: Overland Townhomes, MOP- ADEM Letter

Dear Hunter:

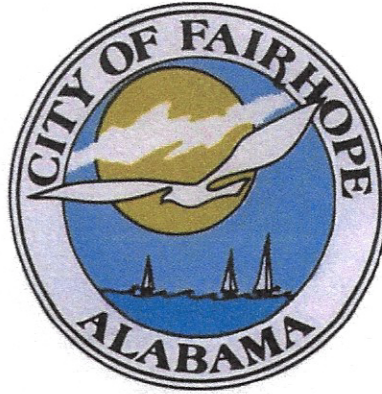
This letter is to acknowledge that we are aware that an ADEM NPDES permit will be required for this project. We respectfully request that we be allowed to provide the ADEM permit at the time of permit submittal.

If you have any questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read 'Larry Smith', written in a cursive style.

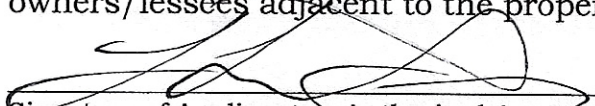
Larry Smith, PE
Partner



CERTIFICATION OF PROPERTY OWNER NOTIFICATION LIST
As Required by the City of Fairhope

Hearings on Subdivision plat applications require notification to all property owners adjacent to the proposed subdivision. This list must be the most current property owners' records available from the Baldwin County Revenue Office.

By signing below, I Larry Smith, (applicant) do hereby certify that the property owner list attached to this application was obtained from the Baldwin County Revenue Office and is a complete list of all real property owners/lessees adjacent to the property submitted from Subdivision approval.


Signature of Applicant or Authorized Agent

8/24/21
Date of Application

Overland
Adjacent Property Owners

Parcel Number	Pin	Owner Name	Address	City	State	Zip
05-46-06-14-0-000-001.532	14410	FST BISHOP, FLOYD A	10681 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.512	15180	FST LAMBERT VENTURES L L C	11623 HALCYON LOOP	DAPHNE	AL	36526
05-46-06-14-0-000-001.514	15215	FST REWERTS, CURTIS	10563 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.514	15215	FST REWERTS, CURTIS	10563 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-003.000	17023	GRANT, CHAS W & GAYNELL B	10722 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-002.000	43640	HARRIS, ROBERTA U ETAL URBANEK, STEPHEN	10824 US HWY 98	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.574	121331	FST GULLETT, DARRELL W ETUX BRENDA B	10685 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-014.007	121344	WILLIAMS, JAMES W C/O FARMER, ELLA	P O BOX 226	FAIRHOPE	AL	36533
05-46-06-14-0-000-001.621	202834	FST BISHOP, WILLIAM AUSTIN ETAL ARNOLD,	10681 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.636	208401	FST KLEIN, BRUCE MICHAEL	19600 JACKSON LANE	SILVERHILL	AL	36576
05-46-06-14-0-000-001.643	214138	FST GULLETT, DARRELL W ETUX BRENDA B	10685 CO RD 48	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.604	202737	FST FISHER, CATHERINE L	20222 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.605	202738	FST BARBER, NATHAN ALAN ETAL BARBER, SHE	20234 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.606	202739	FST DORRIS, ROSS AND WIGGINS L L C	161 CLUBHOUSE CIR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.607	202740	FST COX, NATHAN W ETAL COX, CLARA	20258 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.608	202741	FST SLOAN, STEVEN D	372 PECAN AVE	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.609	202742	FST SCOVIL, PAMELA ETAL SCOVIL, BROOKE	20282 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.610	202743	FST BURROUGHS, SHANNON	20294 RIVER MILL RD	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.611	202744	FST SCHILING, MICHAEL PATRICK ETAL SCHIL	20306 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.612	202745	FST FELTUS, HANNAH M	20318 RIVER MILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.613	202746	FST HILBERT, JEANNE CLAIRE MILLER	12050 LAZZARI LANE	DAPHNE	AL	36526
05-46-06-14-0-000-001.614	202747	FST POLITO, DANIEL	20342 RIVER MILL DRIVE	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.615	202748	FST RIVER MILL HOMEOWNER'S ASSOCIATION I	P O BOX 167	FAIRHOPE	AL	36533
05-46-06-14-0-000-001.575	202709	FST R M DEVELOPMENT CORPORATION C/O CRAIG DYAS	23210 U S HWY 98	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.576	202710	FST RIVER MILL HOMEOWNER'S ASSOCIATION I	P O BOX 167	FAIRHOPE	AL	36533
05-46-06-14-0-000-001.583	202717	FST ELLIS, CHRISTOPHER ETAL ACKERMAN, TH	10462 STEEL CREEK CT	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.584	202718	FST DILLON, JOSHUA LEE ETAL DILLON, MERE	20367 RIVERMILL DR	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.802	261658	FST RIVERSTATION PROPERTY OWNERS ASSOCIA	407 POMELO ST	FAIRHOPE	AL	36532
05-46-06-14-0-000-001.803	261659	FST NOWLIN, KEVIN ETAL FORESTER, CATHLEE	20307 NORTHWOOD STREET	FAIRHOPE	AL	36532

Authorization Letter

To Whom it May Concern:


I, Nathan L. Cox, hereby authorize
Owner of Record

Larry Smith of S E Civil
Authorized Agent *Company*

to represent me and to act on my behalf in regard to this application for
Overland Townhomes, MOP
Type of Application or Request

This authorization shall last for a period of six months.

Sincerely,

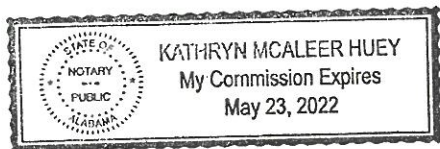

Name: 68V Overland 2021, LLC, Owner

State of Alabama
County of Baldwin

I, the undersigned Notary Public in and for said County in said State, hereby certify that Nathan L. Cox, whose name is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents of the instrument, he executed the same voluntarily on the day the same bears date.

Given under my hand and official notarial seal this 13th day of August, 2021.

{SEAL}



Kathryn McAleer Huey
NOTARY PUBLIC
My Commission Expires: May 23, 2022



CERTIFICATE OF LIABILITY INSURANCE

OP ID: RS

DATE (MM/DD/YYYY)

08/11/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER ALABAMA INSURANCE EXCHANGE 2032 VALLEYDALE ROAD BIRMINGHAM, AL 35244 A. RONALD SIMPSON		CONTACT NAME: PHONE (A/C, No, Ext): E-MAIL ADDRESS: PRODUCER CUSTOMER ID #: SECIV-1		FAX (A/C, No):	
INSURED S.E. CIVIL, LLC. LARRY SMITH 880 Holcomb Blvd., Unit 2-F FAIRHOPE, AL 36532		INSURER(S) AFFORDING COVERAGE		NAIC #	
		INSURER A : COLONY SPECIALTY INS. CO.		39993	
		INSURER B : THE HANOVER INSURANCE GROUP		22292	
		INSURER C :			
		INSURER D :			
		INSURER E :			
		INSURER F :			

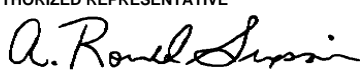
COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
	GENERAL LIABILITY						EACH OCCURRENCE	\$
	<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
	<input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR						MED EXP (Any one person)	\$
							PERSONAL & ADV INJURY	\$
							GENERAL AGGREGATE	\$
	GEN'L AGGREGATE LIMIT APPLIES PER:						PRODUCTS - COMPI/OP AGG	\$
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC							\$
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS						PROPERTY DAMAGE (PER ACCIDENT)	\$
	<input type="checkbox"/> HIRED AUTOS							\$
	<input type="checkbox"/> NON-OWNED AUTOS							\$
	UMBRELLA LIAB						EACH OCCURRENCE	\$
	<input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> OCCUR						AGGREGATE	\$
	<input type="checkbox"/> CLAIMS-MADE							\$
	DEDUCTIBLE							\$
	RETENTION \$							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						WC STATUTORY LIMITS	OTHER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)						E.L. EACH ACCIDENT	\$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$
B	PROFESSIONAL LIAB			LHA H257800 01	04/30/2021	04/30/2022	EACH CLM	1,000,000
							AGGREGATE	2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CIVIL ENGINEERING SERVICES & SURVEYING SERVICES**CERTIFICATE HOLDER****CANCELLATION**

CITYFAI CITY OF FAIRHOPE 555 N. Sections Street FAIRHOPE, AL 36532	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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August 9, 2021

Re: Overland Townhomes

Dear Fairhope Resident:

The City of Fairhope Resolution No. 2018-03 requires all property owners adjacent to property being considered for development approval to be notified by mail. The Baldwin County Revenue Office provided your information as a current adjacent property owner to the proposed development request described below.

68 V Pay Dirt, LLC is requesting city approval for Overland Townhomes. This development will consist of 16 residential units. The property is located on the south side of Fairhope Avenue and east of River Mill Subdivision. The parcel number of the property is 05-46-06-14-0-000-002.000.

S.E. Civil Engineering will hold a Community Meeting at 12:00 PM at our office at 880 Holcomb Boulevard, Suite 2F, in Fairhope, Alabama, on August 18, 2021. The meeting will be held outdoors to allow for social distancing. In the event of inclement weather, please call our office for an alternative location.

Should you have any questions or concerns, please contact me at (251)-990-6566.

Sincerely,

A handwritten signature in black ink, appearing to read 'Larry Smith', written in a cursive style.

Larry Smith, PE
larry@secivil.pro



OWNER
 ROBERTA U. HARRIS, STEPHEN
 JOHN URBANEK II, AND
 MARGARET URBANEK DUNNAM
 10824 U.S. HWY 98
 FAIRHOPE AL 36532

DEVELOPER:
 BRV PAVDIRT, LLC
 29891 WOODROW LANE, SUITE 300
 SPANISH FORT AL 36527

PARCEL NO. 05-46-06-14-0-000-002.000

SITE DATA

CURRENT ZONING: NONE
 PROPOSED ZONING: P.U.D.
 MAX BLDG HEIGHT: 30 FT
 MAX COVERAGE:
 (PRINCIPAL STRUCT) 45%
 MINIMUM HOUSE: 1,500 SF
 LIN. FT. STREETS: 3,468 LF
 S.F. LOTS: 81
 M.F. UNITS: 16
 TOTAL UNITS: 77
 DENSITY: 2.51 / AC.
 MINIMUM LOT: 6,500 SF
 SMALLEST LOT: 6,500 SF
 LARGEST SF LOT: 11,338 SF
 AVG LOT: 7,087 SF
 LARGEST LOT: 2.42 AC (T.H. PARCEL)
 COMMON AREAS: 14.89 AC (49%)
 TOTAL AREA: 30.70 AC

REQUIRED SETBACKS:

FRONT: 25 FEET
 REAR: 25 FEET
 SIDE: 5 FEET
 SIDE STREET: 20 FEET

WATER SERVICE: CITY OF FAIRHOPE
 SEWER SERVICE: CITY OF FAIRHOPE
 ELECTRIC SERVICE: BALDWIN EMC
 TELEPHONE SERVICE: AT&T



LAND USE PERCENTAGES

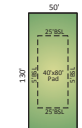
Single Fam. (Residential)	13.55 Ac	44%
Townhome (Residential)	0.85 Ac	3%
Wetlands	5.15 Ac	17%
Ponds	1.5 Ac	5%
Upland Open Space	8.57 Ac	28%
Buffers	1.07 Ac	3%
TOTAL	30.7 Acres	100%

GREEN SPACE DENSITY CALCULATION

30.70 TOTAL GROSS ACRES
 -11.19 R.O.W., DETENTION & WETLANDS
 19.51 ACRES
 77/19.51 = 3.94 UNITS PER ACRE (G.S. DENSITY)
 15% REQUIRED (4.61 AC.)

QUALIFYING GREEN SPACE CALCULATION

8.57 UPLAND AREAS
 0.45 30% OF PONDS
 9.02 TOTAL ACRES (29.4% OF TOTAL SITE)



TYPICAL LOT

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

COMMENCE AT A RAILROAD SPIKE AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 9 SOUTH RANGE 2 EAST, BALDWIN COUNTY, ALABAMA AND RUN THENCE SOUTH 90 DEGREES 20 MINUTES 38 SECONDS WEST, A DISTANCE OF 40.00 FEET TO A CAPPED REBAR (FAIRHOPE) ON THE SOUTH RIGHT-OF-WAY OF FAIRHOPE AVENUE. SAID POINT ALSO BEING THE NORTHEAST CORNER OF RIVER MILL UNIT 1, AS SHOWN BY MAP OR PLAT THEREOF RECORDED AT SLIDE 1541-B, BALDWIN COUNTY PROBATE RECORDS. FROM THE POINT OF BEGINNING, CONTINUE THENCE SOUTH 90 DEGREES 50 MINUTES 38 SECONDS WEST ALONG THE WEST LINE OF SAID RIVER MILL UNIT 1, A DISTANCE OF 532.65 FEET TO A CAPPED REBAR (MORE); THENCE RUN SOUTH 90 DEGREES 52 MINUTES 40 SECONDS WEST, CONTINUING ALONG SAID WEST LINE OF RIVER MILL, A DISTANCE OF 751.65 FEET TO A CAPPED REBAR (FAIRHOPE); THENCE RUN SOUTH 89 DEGREES 43 MINUTES 52 SECONDS EAST, A DISTANCE OF 1041.41 FEET TO A CAPPED REBAR (FAIRHOPE); THENCE RUN NORTH 90 DEGREES 19 MINUTES 01 SECONDS EAST, A DISTANCE OF 1285.40 FEET TO A CAPPED REBAR (FAIRHOPE) ON THE APPOINTMENTED SOUTH RIGHT-OF-WAY OF FAIRHOPE AVENUE; THENCE RUN NORTH 89 DEGREES 47 MINUTES 51 SECONDS WEST, ALONG SAID SOUTH RIGHT-OF-WAY, A DISTANCE OF 1540.47 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 35.79 ACRES, MORE OR LESS.

DAVID E. DIEHL AL P.L.S. NO. 28614 01-19-2021 DATE



SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

FLOOD STATEMENT
 PROPERTY LIES IN FLOOD ZONE "X"
 "X" SHADES "AP" AND A FLOODWAY AS
 SCALED FROM FLOOD INSURANCE RATE MAP
 NUMBER 170503000AM, COMMUNITY NUMBER
 015000, PANEL 0664, SUFFIX "M", DATED
 APRIL 19, 2019.

OVERLAND
 A PLANNED UNIT DEVELOPMENT





Overland Townhomes
Subdivision Community Meeting
Meeting Notes

Meeting Date: August 18, 2021

Meeting Time: 12:00 PM

Meeting Location: SE Civil, LLC 880 Holcomb Blvd Suite 2F Fairhope, AL 36532

Hosted By: Larry Smith, PE, S.E. Civil

In Attendance

Larry Smith, PE, and Megan Smith, Administrative Assistant with SE Civil, LLC. No adjacent property owners or citizens from the community were present. The former property owners, Stephen J. Urbanek and Roberta Harris were in attendance. The property belonged to their father. Please see attached sign-in sheet.

Larry Smith, the civil engineer, began the meeting by showing the new site plan for the 16 townhomes. Mr. Urbanek wanted clarification on the timing of the phases being built. Larry explained that the townhomes would be built at a later date but due to the permitting process, we have to get the paperwork going. Overland has already begun construction of the first phase of the neighborhood. Larry also confirmed that the trail and boardwalk will be built in the second phase. Mr. Urbanek and Mrs. Harris asked about the plaque that they have requested honoring their father. The developer plans to install a plaque on the walking bridge during phase 2.

Larry ended the meeting at 12:15 when all of the attendees' questions had been answered. Larry thanked them for attending the meeting. He offered for them to reach out via phone or email if they thought of any more questions.

Next Steps:

- City of Fairhope Planning Commission will present the MOP application on Monday, October 4, 2021 at 5 PM.


Attachment:

- Sign In Sheet

Overland Townhomes

Property	Signature	Email Address
BARBER, NATHAN ALAN ETAL BARBER, SHE 20234 RIVER MILL DR FAIRHOPE, AL 36532		
BISHOP, FLOYD A 10681 CO RD 48 FAIRHOPE, AL 36532		
BISHOP, WILLIAM AUSTIN ETAL ARNOLD 10681 CO RD 48 FAIRHOPE, AL 36532		
BURROUGHS, SHANNON 20294 RIVER MILL RD FAIRHOPE, AL 36532		
COX, NATHAN W ETAL COX, CLARA 20258 RIVER MILL DR FAIRHOPE, AL 36532		
DORRIS, ROSS AND WIGGINS LLC 161 CLUBHOUSE CIR FAIRHOPE, AL 36532		
DILLON, JOSHUA LEE ETAL DILLON, MERE 20367 RIVERMILL DR FAIRHOPE, AL 36532		
ELLIS, CHRISTOPHER ETAL ACKERMAN, TH 10462 STEEL CREEK CT FAIRHOPE, AL 36532		

Overland Townhomes

FELTUS, HANNAH M 20318 RIVER MILL DR FAIRHOPE, AL 36532		
FISHER, CATHERINE L 20222 RIVER MILL DR FAIRHOPE, AL 36532		
GRANT, CHAS W & GAYNELL B 10722 CO RD 48 FAIRHOPE, AL 36532		
GULLETT, DARRELL W ETUX BRENDA B 10685 CO RD 48 FAIRHOPE, AL 36532		
HARRIS, ROBERTA U ETAL URBANEK, STEPHEN 10824 US HWY 98 FAIRHOPE, AL 36532		
HILBERT, JEANNE CLAIRE MILLER 12050 LAZARI LANE DAPHNE, AL 36526		
KLEIN, BRUCE MICHAEL 19600 JACKSON LANE SILVERHILL, AL 36576		
LAMBERT VENTURES, LLC 11623 HALCYON LOOP DAPHNE, AL 36526		

Overland Townhomes

Property	Signature	Email Address
NOWLIN, KEVIN ETAL FORESTER,CATHLEE 20307 NORTHWOOD ST FAIRHOPE, AL 36532		
POLITO, DANIEL 20342 RIVER MILL DR FAIRHOPE, AL 36532		
REWERTS, CURTIS 10563 CO RD 48 FAIRHOPE, AL 36532		
RIVER MILL HOMEOWNER'S ASSOCIATION I PO BOX 167 FAIRHOPE, AL 36532		
RIVERSTATION PROPERTY OWNERS ASSOCIATION 407 POMELO ST FAIRHOPE, AL 36532		
R M DEVELOPMENT CORPORTAITON C/O CRAIG DYAS 23210 US HWY 98 FAIRHOPE, AL 36532		
SCHILING, MICHAEL PATRICK ETAL SCHIL 20306 RIVER MILL DR FAIRHOPE, AL 36532		
SCOVIL, PAMELA ETAL SCOVIL, BROOKE 20282 RIVER MILL DR FAIRHOPE, AL 36532		



ATO
2155 OLD SHELL RD
Suite
MOBILE, AL 36607

T: 2514718361
F: 2514710410
www.att.com

September 08, 2021

Larry Smith
S. E. Civil Engineering
880 Holcomb Blvd.
Fairhope, Alabama 36532

RE: Overland Townhomes - PPIN 43640

Dear Mr. Smith:

This letter is in response to your request for information on the availability of service at the above proposed development by AT&T.

This letter acknowledges that the above referenced development is located in an area served by AT&T. Any service arrangements for the proposed development will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to the Overland Townhomes.

Please contact me at the phone number included in this letter with any questions.

Thank you for contacting AT&T.

Sincerely,
Wade Mitchell
MGR OSP Planning & Engineering Design

A handwritten signature in black ink, appearing to read "Wade Mitchell", is located below the typed name.



18110 Eureka Dr.
Foley, AL 36535

To whom it may concern,

September 8, 2021


This letter is to inform you that Waste Management located at 18110 Eureka Dr. Foley, AL 36535, will be providing garbage pickup service for Overland Townhomes located in Fairhope, AL parcel pin # 43640. If you have any questions, please give me a call at (251) 424-5206.

Sincerely,

Katie Watts
Waste Management
kwatts@wm.com
(251) 424-5206



BALDWIN EMC

Your Touchstone Energy® Cooperative 

P.O. Box 220
Summerdale, AL
36580-0220
(251) 989-6247

www.baldwinemc.com

September 14, 2021

Larry Smith, P.E.
S.E. Civil, LLC
880 Holcomb Blvd. Suite 2-F
Fairhope, AL 36532

Re: Overland Townhomes (16 units)

Dear Mr. Smith:

This letter is to confirm that the referenced development is in Baldwin E.M.C.'s service territory. Baldwin EMC is willing to service the development as long as the necessary easements are granted using our standard easement form and all other appropriate documents and fees are finalized in advance. Baldwin EMC must be given proper notice and planning time with respect to required system upgrades (transmission line, substation and distribution line). All system upgrades and line extensions will be in accordance with Baldwin EMC's current Line Extension Policy.

Please contact me to discuss necessary easements and fees.

Below is our typical required easements for subdivisions wanting underground power:

There is a dedicated herewith a 10 foot utility easement on all lot lines and common areas adjacent to the right-of-ways and a 5 foot utility easement on each side of lot and common area lines, unless otherwise noted.

If you have any questions or if I can be of further assistance, please do not hesitate to contact me at 251-989-0151.

Sincerely,

A handwritten signature in blue ink that reads "Brian Seals".

Brian Seals
Manager of Engineering
BS/ss



May 6, 2021

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Robert A. Brown

Jack Burrell, A.C.M.O.

Jimmy Conyers

Corey Martin

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Civil Engineering
Mr. Larry Smith, PE
880 Holcomb Blvd, Suite 2F
Fairhope, AL 36532

Dear Mr. Smith,

Regarding your availability request for the proposed Hwy 181 Development.

Water: Is available with main extensions. Capacity is not an issue through the City of Fairhope.

Sewer: Is available with sewer main extensions. Upgrades to existing lift station to meet capacity of development may be required through the City of Fairhope.

Gas: PPIN 17737 would be a state bore and high pressure under Hwy 181 so it will most definitely depend on gas usage and a cost involved.

PPIN 17735 gas is available through the City of Fairhope.

PPIN 77776 gas is available through the City of Fairhope.

Sincerely,
City of Fairhope, AL

Jason Langley, Superintendent, Water and Wastewater Department

Terry Holman, Superintendent, Gas Department

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

www.fairhopeal.gov

Printed on recycled paper

Frank Bishop

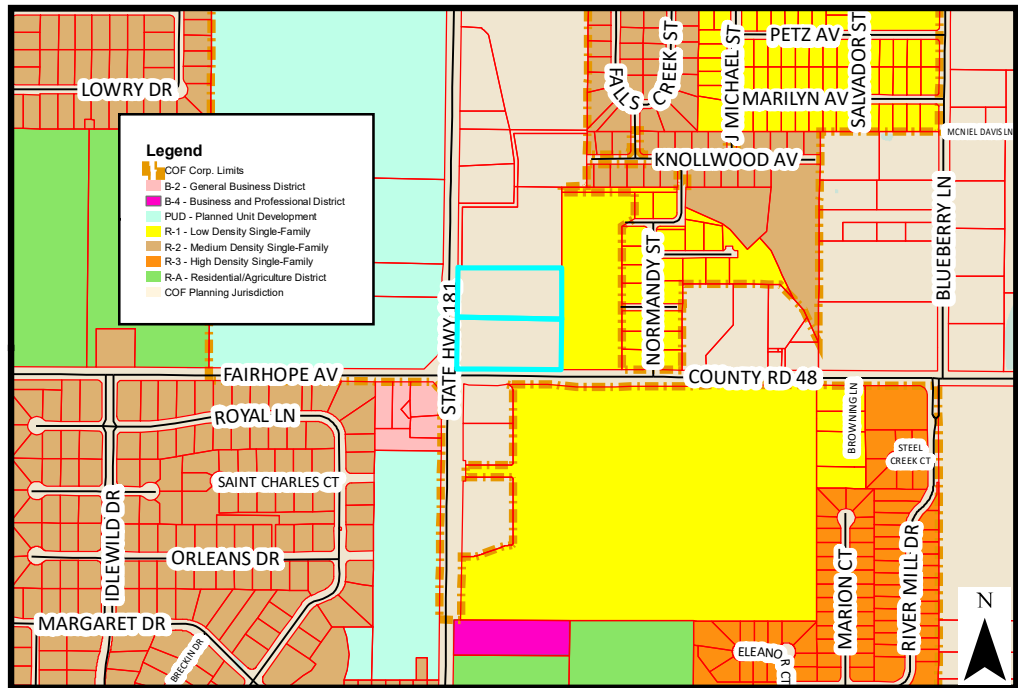
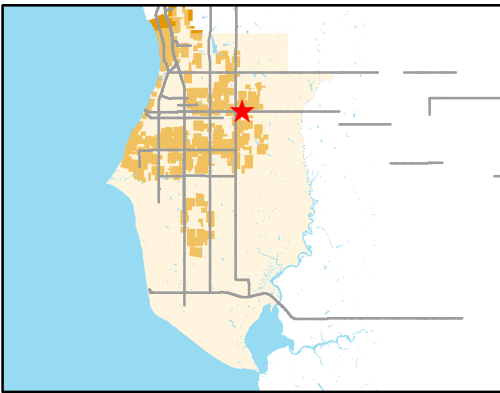
Mr. Bishop called on 9/24/2021 and stated that he had seen the Subdivision Request sign on County Road 48 for the Overland Subdivision/Overland Townhomes. He does not think that our infrastructure can handle more subdivisions. He also had concerns about traffic as traffic is already bad on County Road 48 and a lot of people speed.

City of Fairhope Planning Commission

October 4, 2021



SD 21.41 - Aldi Subdivision



Project Name:

Aldi Subdivision

Site Data:

7 acres +/-

Project Type:

5 Unit Multiple Occupancy Project

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

Unzoned

PPIN Number:

248109 & 211347

General Location:

Northeast corner of the intersection of County Road 48 and State Highway 181

Surveyor of Record:

Engineer of Record:

Kimley Horn

Owner / Developer:

FST Aldi, Inc

School District:

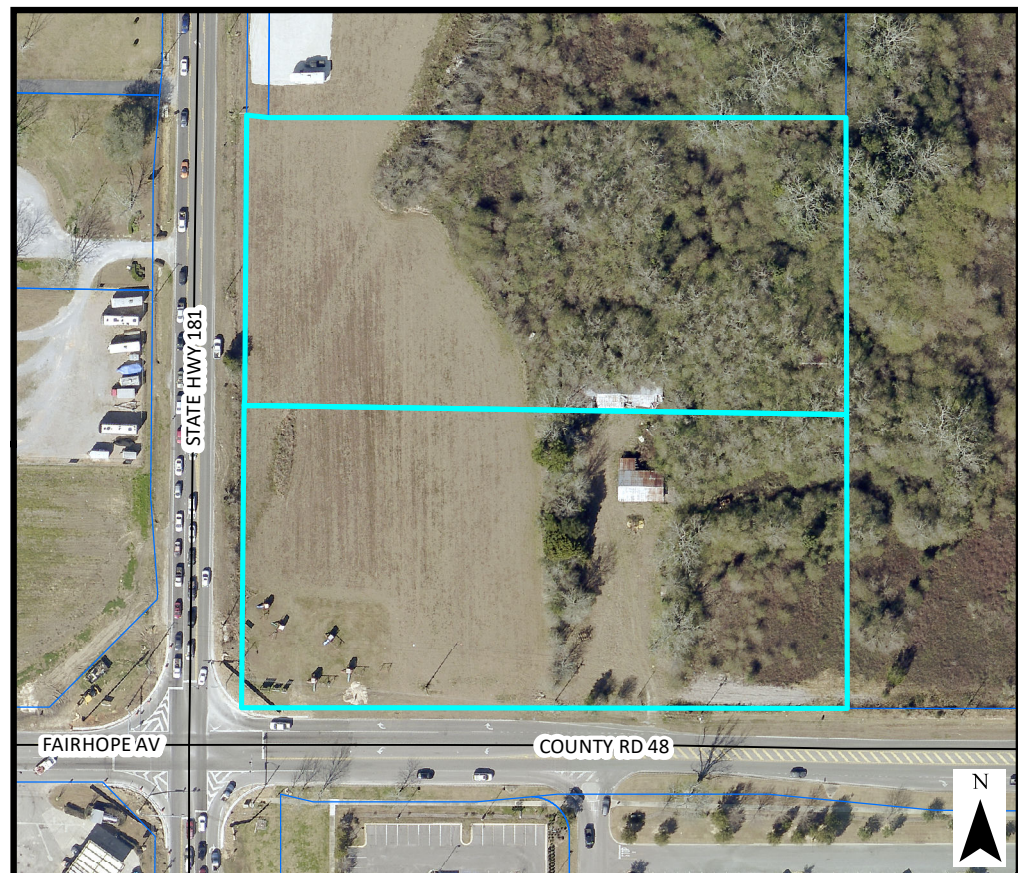
Fairhope East Elementary School
Fairhope Middle and High Schools

Recommendation:

Approved w/ Conditions

Prepared by:

Mike Jeffries





APPLICATION FOR PRELIMINARY PLANS APPROVAL

Application Type: Village Subdivision Minor Subdivision Informal (No Fee)
 Preliminary Plat Final Plat Multiple Occupancy Project
 Attachments: Articles of Incorporation or List all associated investors
 Date of Application: _____

Property Owner / Leaseholder Information

Name of Property Owner: FST ALDI INC (Alabama) Phone Number: _____
 Address of Property Owner: C/O Ryan Tax Compliance SER, PO Box 460049 Dept 501
 City: HOUSTON State: TX Zip: 77056

Proposed Subdivision Name: ALDI SUBDIVISION
 No. Acres in Plat: 7 No. Lots/Units: 2 Lots / 5 Units
 Parcel No: ALDI, INC. OF ALABAMA Current Zoning: NONE

Authorized Agent Information

Plat must be signed by the property owner before acceptance by the City of Fairhope

Name of Authorized Agent: Dave Hassen Phone Number: (615) 449-8840
 Address: 29000 US HWY 98, Building C Ste. 201
 City: Daphne State: AL Zip: 36526
 Contact Person: Dave Hassen

Surveyor/Engineer Information

Name of Firm: KIMLEY HORN AND ASSOCIATES Phone Number: (772) 794 - 4100
 Address: 189 SOUTH ORANGE AVE, STE 1000
 City: ORLANDO State: FL Zip: 32801
 Contact Person: Matthew Gillespie

Plat Fee Calculation:

Subdivision Plat (5 or more lots) - \$2000 base fee plus
 \$150.00 per lot/unit

$\$2,000 + (\$150 \times 5 \text{ units}) = \$2,750$

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

ALDI, Inc. by: David Hassen
 Property Owner/Leaseholder Printed Name

September 13, 2021
 Date

[Signature]
 Signature

Fairhope Single Tax Corp. (If Applicable)
Reuben E. Davidson, III
FSTC Secretary

Summary of Request:

The applicant is FST, ALDI, Inc. Dave Hassen with Kimley Horn and Associates is the Authorized agent for the project. This application is for a 5-unit Multiple Occupancy Project containing approximately 7 acres and is located at the northeast corner of the intersection of County Road 48 and State Highway 181, to be known as the ALDI Subdivision. The property is unzoned Baldwin County but lies within the Planning Jurisdiction of Fairhope and is being reviewed as a Multiple Occupancy Project (MOP) under the City of Fairhope’s Subdivision Regulations. This application is for preliminary approval. If approved an application for final MOP approval must be submitted to close out the project and record any necessary documents.

Comments:

- Traffic Study: A full traffic study was conducted and recommends three driveways:
 - Proposed Site Driveway 1
 - On the site, construct a full-movement stop-controlled driveway with one (1) ingress lane entering the site and two (2) egress lanes exiting the site, per the site plan.
 - Proposed Site Driveway 2
 - On the site, construct one (1) ingress lane entering the site and one (1) egress lane exiting the site, per the site plan.
 - Proposed Site Driveway 3
 - On the site, construct one (1) ingress lane entering the site, per the site plan.

All recommended traffic improvements shall be installed prior to Final MOP approval and will require appropriate permits through ALDOT and Baldwin County Highway Department (BCHD).

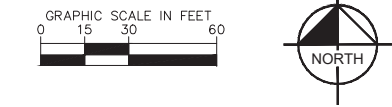
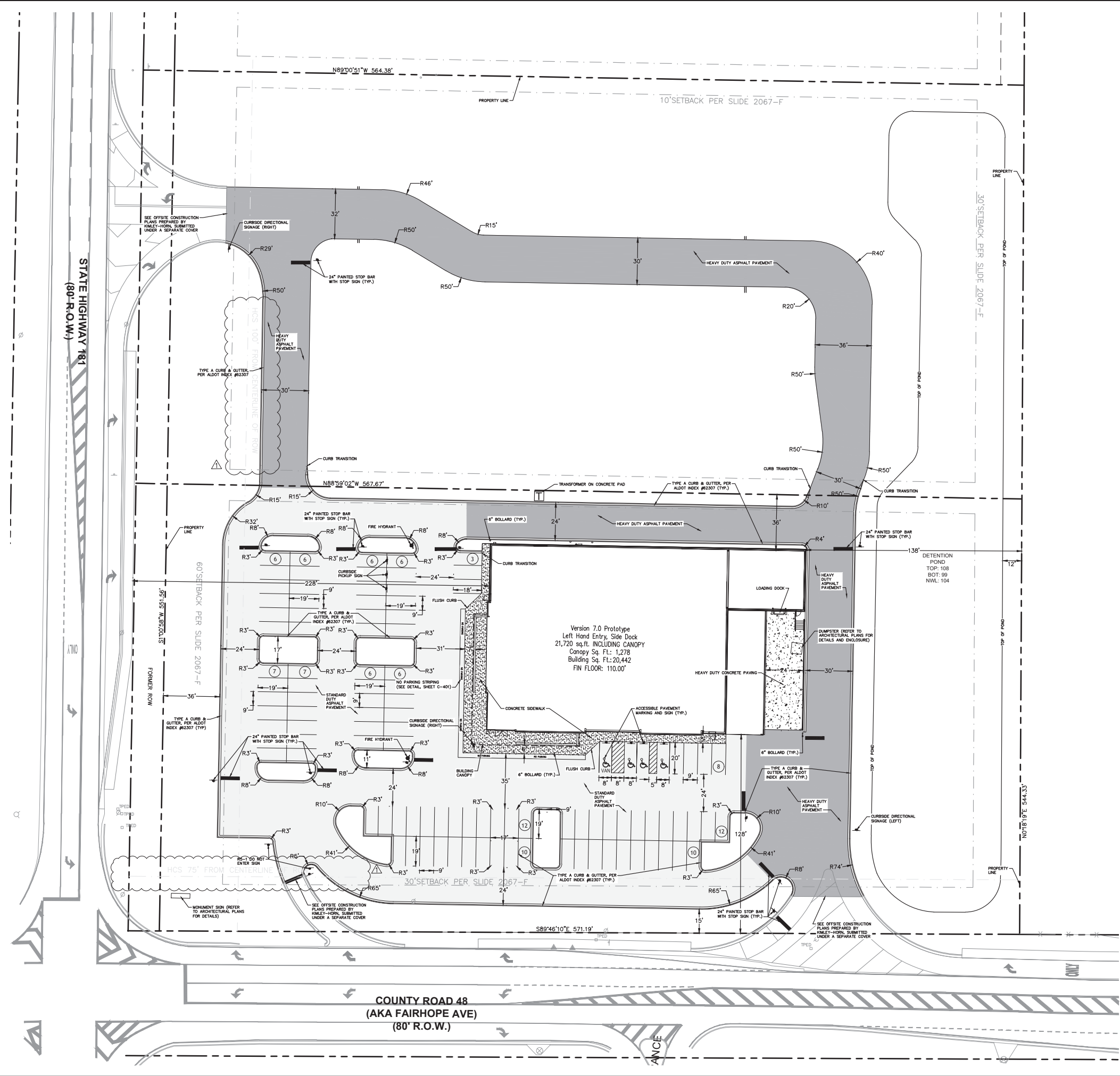
- Drainage: Water will be collected in a series of inlets, underground drainage pipes, and ditches. The underground drainage will discharge into the proposed wet pond on the east side of the property. Once capacity of the wet pond is reached, the stormwater will be conveyed to an existing ditch on the northside of the property. Post-development flow is less than pre-development flow.
 - Drainage entering ALDOT and BCHD ROW’s will also be reviewed by those authorities.
 - Drainage study accounted for future development and any deviation may require an engineer to verify the adequacy of the installed drainage network.
- Landscaping as shown on landscaping plans shall all be installed before application for final MOP.
- 10% greenspace is required resulting in 30,000 SF. 20,000 SF will be provided with the construction of the first unit. The remainder shall be installed with final build out.
- Sidewalks along Fairhope Avenue and HWY 181 as shown on pedestrian plan shall be installed before application for final MOP.
- Utilities:
 - Electric – Baldwin EMC
 - Gas, Water, Sewer – Fairhope, required upgrades and any required easements have been discussed. Any Aid to Construction will be required at time of permitting.
 - Garbage will be Baldwin County Solid Waste or a private company.

Staff Recommendation:

Approve with the following conditions:

1. Future Development shall contain a minimum of 9,717 SF designated as greenspace that does not include portions of land used for drainage.
2. The plat for the property shall be amended to satisfy Baldwin County Comments.
3. Applicant shall provide a signed Memorandum of Transmittal from Baldwin County.

Plotted By: Dincer, Sara Sheet Set: ALDI Fairhope Layout: C-300 SITE PLAN September 15, 2021 05:13:45pm Y:\VRB_DEVA\ALDI\6 - Fairhope\CADD\PlanSheets\C-300 SITE PLAN.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

---	PROPERTY LINE
- - -	BUILDING SETBACK
⊕	PARKING STALL COUNT
T	TRANSFORMER PAD
+	SIGN
•	BOLLARD
⊕	FIRE HYDRANT
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING POWER POLE
→	EXISTING PAVEMENT MARKING
▭	STANDARD DUTY ASPHALT PAVEMENT
▭	HEAVY DUTY ASPHALT PAVEMENT
▭	HEAVY DUTY CONCRETE PAVEMENT
▭	CONCRETE SIDEWALK

SITE DATA

ADDRESS: NEC FAIRHOPE AVE AND STATE HIGHWAY 181, FAIRHOPE, AL
 ZONING DISTRICT: NO ZONING (BALDWIN COUNTY)

SITE AREA:
 NORTH SIDE: 144,756 S.F. (3.23 AC.)
 SOUTH SIDE: 155,045 S.F. (3.56 AC.)
 TOTAL SITE AREA: 299,801 S.F. (6.79 AC.)

PROPOSED SITE COVERAGE:

SITE AREA:	155,045 S.F.	(3.56 AC)	100.00%
BUILDING AREA:	21,720 S.F.	(0.50 AC)	14.04%
IMPERVIOUS AREA:	104,748 S.F.	(2.41 AC)	67.56%
PERVIOUS AREA:	50,299 S.F.	(1.15 AC)	32.44%

FUTURE SITE COVERAGE:

SITE AREA:	144,756 S.F.	(3.23 AC)	100.00%
IMPERVIOUS AREA:	97,504 S.F.	(2.23 AC)	67.36%
PERVIOUS AREA:	47,252 S.F.	(1.00 AC)	32.64%

BUILDING SETBACKS:

	REQUIRED	PROVIDED
NORTH	10'	35.79'
EAST	30'	137.97'
SOUTH	30'	126.46'
WEST	60'	228.23'

PARKING CALCULATION:
 1 SPACE PER 200 SF (20,442 SF) = 103 SPACES

PARKING SUMMARY:

STANDARD	101
ACCESSIBLE	4
TOTAL	105

No.	PER MOP CITY COMMENTS	REVISIONS	DATE	BY

Kimley»Horn
 •• 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801
 PHONE: 407-898-1511
 WWW.KIMLEY-HORN.COM CA 00000511

PROFESSIONAL

MATTHEW S. GILLESPIE, P.E.
ALABAMA LICENSE NUMBER 34176

LICENSED PROFESSIONAL

147670008
9/15/2021
SCALE AS SHOWN
DESIGNED BY MSG
DRAWN BY SHD
CHECKED BY MSC

SITE PLAN

ALDI FAIRHOPE
 PREPARED FOR
ALDI INC.
 ALABAMA
 CITY OF FAIRHOPE



Plotted By: D:\Projects\Aldi\Fairhope\Layout\C-000 COVER SHEET September 15, 2021 05:12:20pm Y:\VRB_LDEV\ALDI\Fairhope\CADD\PlanSheets\C-000 COVER SHEET.dwg
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VICINITY
N.T.S.

PROJECT LOCATION

CONSTRUCTION PLANS

FOR

ALDI FAIRHOPE

LOCATED IN

CITY OF FAIRHOPE, ALABAMA

NE CORNER OF COUNTY HWY 48 AND STATE HWY 181
FAIRHOPE, AL 36532
SECTION 14, TOWNSHIP 6S, RANGE 2E
PARCEL ID: 248109
9/15/2021



AERIAL PHOTOGRAPH
N.T.S.

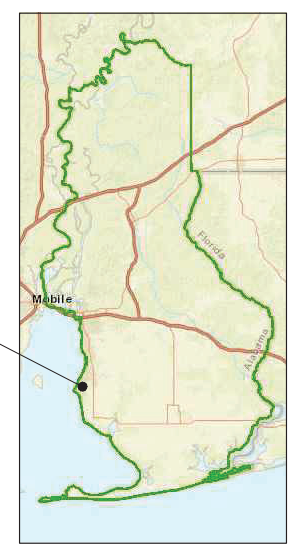
PROJECT LOCATION

PROJECT TEAM

- | | |
|--|--|
| <p>APPLICANT
ALDI, INC. OF ALABAMA
2800 POST OAK BLVD., SUITE 4200
HOUSTON, TX 77056
(931) 205-8364
DAVE.HASSEN@ALDI.US</p> | <p>CIVIL ENGINEER
MATTHEW S. GILLESPIE, P.E.
KIMLEY-HORN AND ASSOCIATES, INC.
189 SOUTH ORANGE AVENUE, SUITE 1000
ORLANDO, FLORIDA 32801
(407) 898-1511</p> |
| <p>GEOTECHNICAL CONSULTANT
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ECS SOUTHEAST, LLP
133 W. OXMOOR ROAD, SUITE 205
BIRMINGHAM, AL 35209
(205) 588-509
DMARSH@ECSLIMITED.COM</p> | <p>LANDSCAPE ARCHITECT
RAY STRYCHALSKI, P.L.A.
KIMLEY-HORN AND ASSOCIATES, INC.
445 20TH STREET, SUITE 200
VERO BEAC, FL 32960
(7772) 794-4100</p> |
| <p>SURVEYOR
WILLIAM LAWLER
LAWLER AND COMPANY, INC.
2879 CLAUDIA LANE
THEODORE, AL 36582
(251) 661-9411
FAX: (251) 661-9177
WILL@LAWLERPLS.COM</p> | <p>ENVIRONMENTAL CONSULTANT
LORI PARKER
ECS SOUTHEAST, LLP
133 W. OXMOOR ROAD, SUITE 205
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(615) 885-4983
LPARKER@ECSLIMITED.COM</p> |

LIST OF CONTACTS

- | | | |
|---|---|---|
| <p>STORMWATER
ERIK CORTINAS
CITY OF FAIRHOPE ALABAMA
555 S SECTION ST. FAIRHOPE, AL 36533
(251) 990-0141</p> | <p>ENGINEERING
ERIK CORTINAS
CITY OF FAIRHOPE ALABAMA
555 S SECTION ST. FAIRHOPE, AL 36533
(251) 990-0141</p> | <p>ELECTRIC PROVIDER
BRIAN SEALS
BALDWIN EMC
21801 UNIVERSITY LANE
ORANGE BEACH, AL 36561
(251) 989-0154
BRIAN.SEALS@BALDWINEMC.COM</p> |
| <p>WATER
TIM MANUEL
FAIRHOPE WATER & WASTEWATER
300 N CHUCH STREET
FAIRHOP, AL 36532
PHONE: (251) 620-7147
FAX: (251) 990-0193</p> | <p>BUILDING DIVISION
ERIK CORTINAS
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(251) 990-0141</p> | <p>NATURAL GAS PROVIDER
TERRY HOLEMAN
FAIRHOPE GAS DEPARTMENT
555 S. SECTION STREET
FAIRHOPE, AL 36533
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TERRY.HOLEMAN</p> |
| <p>SANITARY SEWER
FAIRHOPE WATER & SEWER DEPARTMENT
555 S. SECTION STREET
FAIRHOPE, AL 36533
(251) 928-8003</p> | <p>PLANNING AND ZONING
MARY BOOTH
BALDWIN COUNTY PLANNING AND ZONING
22251 PALMER STREET
ROBERTSDALE, AL 36567 972-8531
MBOOTH@BALDWINCOUNTYAL.GOV</p> | <p>ALDOT
MIKE SMITH
ALABAMA DEPARTMENT OF TRANSPORTATION
P.O. BOX 303050
MONTGOMERY, AL 36130
(251) 470-8273
SMITHMI@DOT.STATE.AL.US</p> |



PROJECT LOCATION
(CITY OF FAIRHOPE)

INDEX OF SHEETS

SHEET NUMBER	SHEET TITLE
C-000	COVER SHEET
C-001	GENERAL NOTES
C-100	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1
C-101	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2
C-102	EROSION CONTROL DETAILS
C-200	EXISTING CONDITIONS AND DEMOLITION PLAN
C-300	SITE PLAN
C-400	PAVING, GRADING AND DRAINAGE PLAN
C-401	PAVING, GRADING AND DRAINAGE DETAILS
C-402	PAVING, GRADING AND DRAINAGE DETAILS
C-403	PAVING GRADING AND DRAINAGE DETAILS
C-500	UTILITY PLAN
C-501	UTILITY PLAN
C-502	UTILITY DETAILS
C-600	LIFT STATION PLAN



Matthew S. Gillespie, P.E. State of Alabama
Professional Engineer, License No. 34176

This item has been electronically signed and sealed by Matthew S. Gillespie, P.E. using a Digital Signature.

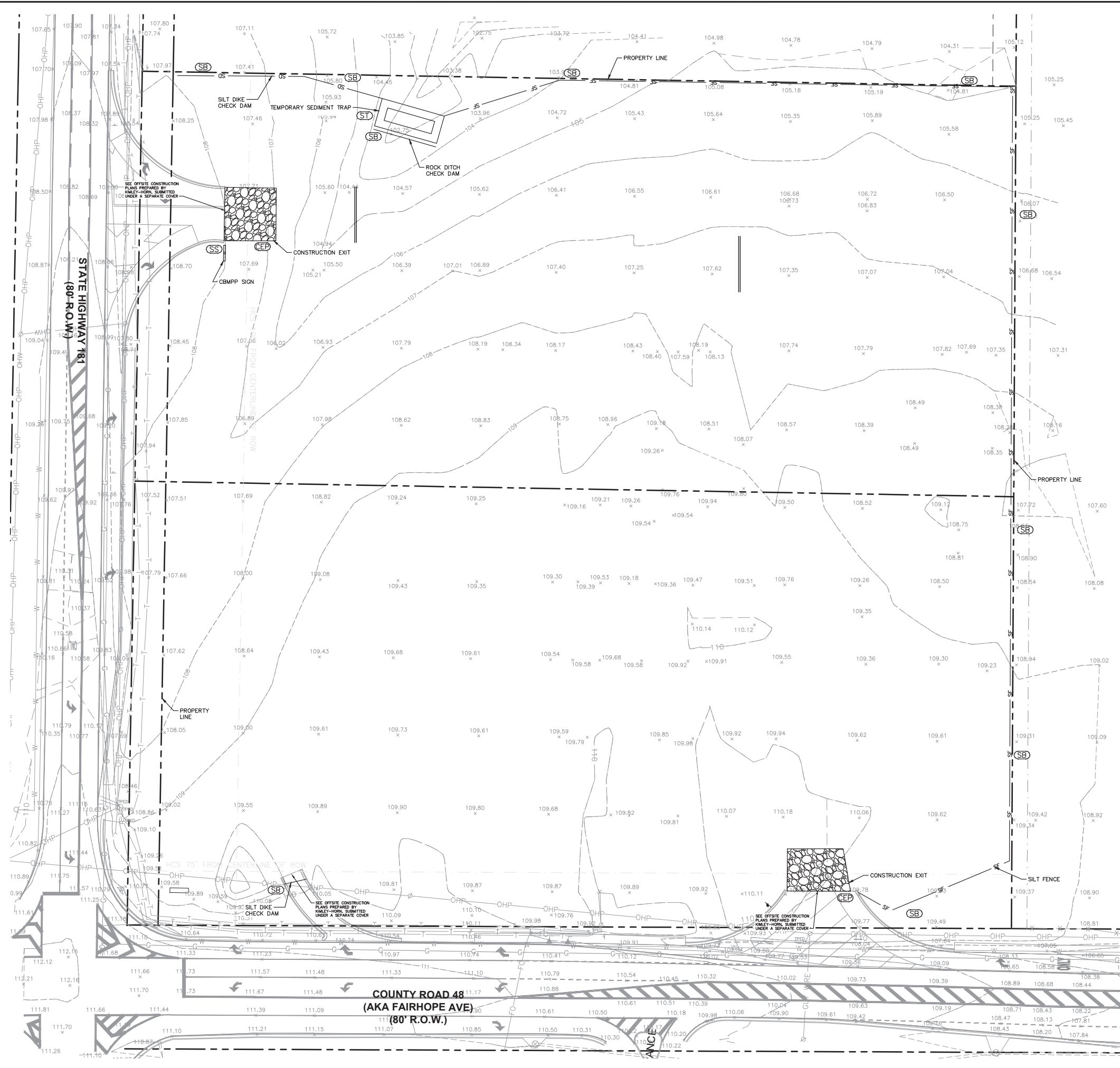
Printed copies of this document are not considered signed & sealed and the signature must be verified on any electronic copies.



PREPARED BY:
Kimley»Horn

<p>Kimley»Horn ••2021 KIMLEY-HORN AND ASSOCIATES, INC. 189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801 PHONE: 407-898-1511 WWW.KIMLEY-HORN.COM CA 00000511</p>	<p>COVER SHEET</p>
<p>LICENSED PROFESSIONAL MATHIEW S. GILLESPIE, P.E. ALABAMA LICENSE NUMBER 34176</p>	<p>KHA PROJECT 147670008 DATE 9/15/2021 SCALE AS SHOWN DESIGNED BY MSG DRAWN BY SHD CHECKED BY MSG DATE:</p>
<p>ALDI FAIRHOPE PREPARED FOR ALDI INC. CITY OF FAIRHOPE ALABAMA</p>	<p>SHEET NUMBER C-000</p>
<p>PER WOP CITY COMMENTS No. _____ DATE _____</p>	<p>REVISIONS</p>

Plotted By: D:\Projects\2021\100 Erosion and Sediment Control\Plan Phase 1 - September 15, 2021 05:12:57pm Y:\WB\LD\VA\LD\16 - Fairhope\CADD\Plan Sheets\C-100 Erosion and Sediment Control\PLAN.dwg
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GRAPHIC SCALE IN FEET
0 15 30 60

NORTH

LEGEND

- PROPERTY LINE
- SILT FENCE
- SILT DIKE
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED STORM DRAINAGE INLET
- EXISTING SPOT GRADE
- EXISTING CONTOUR
- TEMPORARY SEDIMENT TRAP
- SEDIMENT BARRIER
- CBMPP INFORMATION SIGN
- INLET PROTECTION
- CONSTRUCTION EXIT PAD

EROSION & SEDIMENTATION CONTROL

- STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
- ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
- CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
- MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
- REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND, WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
- PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- STABILIZATION MEASURES (SEED & MULCH, TRIM WHERE INDICATED) SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO CASES:
 - WHERE THERE IS SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE OR WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
 - ALL EROSION CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY DURING PROLONGED RAINFALL DAILY CHECKING IS NECESSARY. DOCUMENTATION OF ALL CHECKS AND CORRECTIVE MEASURES SHALL BE KEPT AT THE PROJECT.
- CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT REFUELING IN ACCORDANCE WITH ALDECS STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING THE PRECONSTRUCTION MEETING.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST IN ACCORDANCE WITH ADEM GUIDELINES. CONTRACTOR TO IDENTIFY STAGING AREAS AND INCORPORATE INTO EROSION CONTROL PLAN IN ACCORDANCE WITH BMP'S.
- PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISK OF SPILL AND SPILLS DISCHARGING INTO STORMWATER RUNOFF.
- SEE ADDITIONAL EROSION CONTROL NOTES ON SHEET C-101.

BMP'S CONSIST OF PERMANENT FEATURES DESIGNED TO MINIMIZE POLLUTANT DISCHARGES, INCLUDING SEDIMENT, FROM THE SITE AFTER CONSTRUCTION HAS BEEN COMPLETED.

BMP'S UTILIZED ON THIS PROJECT CONSIST OF SILT FENCE, DIVERSION DYKES, INLET PROTECTION, SEDIMENT BASINS, CONSTRUCTION EXIT

NOTES:

- CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
- CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.
- PLAN ASSUMES SITE HAS BEEN PREVIOUSLY CLEARED AND PREPARED, AND CONSTRUCTION OF MASTER INFRASTRUCTURE IS EITHER COMPLETED OR UNDERWAY.

SEQUENCE OF CONSTRUCTION:

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

PHASE 1:

- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PADS (CEP) (2), AND INSTALL SILT FENCE.
- CONSTRUCT AND STABILIZE TEMPORARY SEDIMENT TRAP AND DRAINAGE SWALES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
- INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES (DIKES, CHECK DAMS, OUTLET TRAPS, RISER PIPE DISCHARGE POINT, ETC.)
- PREPARE CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE. DEMOLISH TREES IN ACCORDANCE WITH MDC TREE REMOVAL PERMIT.

HALT ALL ACTIVITIES AND CONTACT THE CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH CONSULTANT AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION. SITE PREPARATION SHOULD BE IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION.

ACREAGE SUMMARY	
TOTAL PROJECT AREA	6.79 AC
ON-SITE DISTURBED AREA	6.79 AC
OFF-SITE DISTURBED AREA	0.00 AC
TOTAL DISTURBED AREA	6.97 AC
IMPERVIOUS AREA AT COMPLETION	2.82 AC
PERVIOUS AREA AT COMPLETION	3.97 AC



Kimley»Horn
189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801
PHONE: 407-898-1511
WWW.KIMLEY-HORN.COM CA 0000511

EROSION AND SEDIMENT CONTROL PLAN - PHASE 1

ALDI FAIRHOPE
PREPARED FOR
ALDI INC.

CITY OF FAIRHOPE ALABAMA

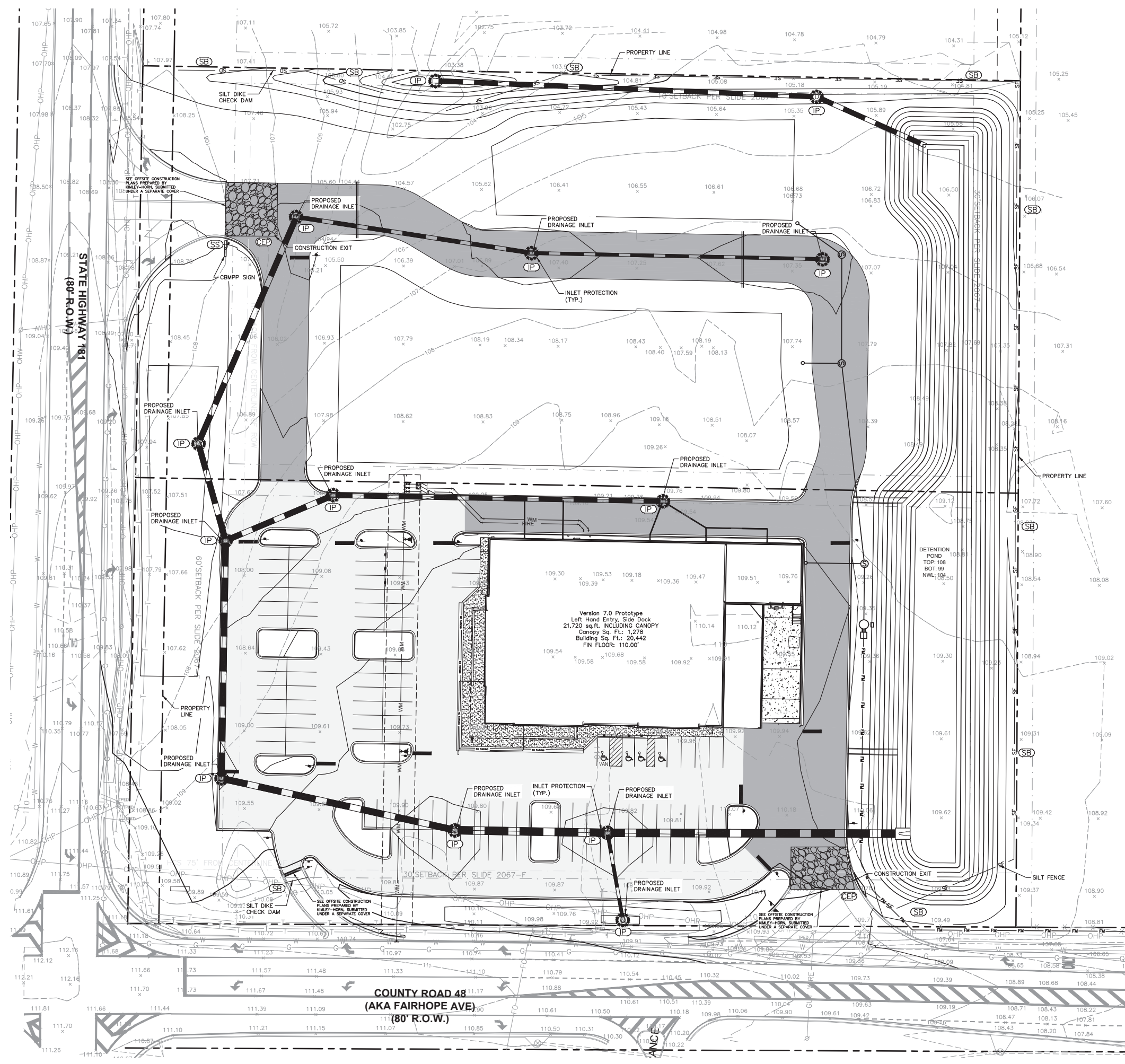
147670008
DATE: 9/15/2021
SCALE: AS SHOWN
DESIGNED BY: MSG
DRAWN BY: SHD
CHECKED BY: MSG

LICENSED PROFESSIONAL
MATTHEW S. GILLESPIE, P.E.
ALABAMA LICENSE NUMBER: 34176

NO. _____
REVISIONS _____
DATE _____

SHEET NUMBER
C-100

Plotted By: D:\d\c\01 - Fairhope - Layout\C-101 EROSION AND SEDIMENT CONTROL PLAN PHASE 2 - September 15, 2021 05:13:01pm Y:\WEB\LEVA\ALDI\6 - Fairhope\CADD\PlanSheets\C-100 EROSION AND SEDIMENT CONTROL PLAN.dwg
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GRAPHIC SCALE IN FEET
 0 15 30 60

NORTH

LEGEND

	PROPERTY LINE
	SILT FENCE
	SILT DIKE
	PROPOSED STORM DRAINAGE PIPE
	PROPOSED STORM DRAINAGE INLET
	EXISTING SPOT GRADE
	EXISTING CONTOUR
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- REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND, WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
- PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- STABILIZATION MEASURES (SEED & MULCH, TRIM WHERE INDICATED) SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO CASES.
 - WHERE THERE IS SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE OR WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
 - ALL EROSION CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY DURING PROLONGED RAINFALL DAILY CHECKING IS NECESSARY. DOCUMENTATION OF ALL CHECKS AND CORRECTIVE MEASURES SHALL BE KEPT AT THE PROJECT.
- CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT REFUELING IN ACCORDANCE WITH ALDECS STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING THE PRECONSTRUCTION MEETING.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST IN ACCORDANCE WITH ADEM GUIDELINES. CONTRACTOR TO IDENTIFY STAGING AREAS AND INCORPORATE INTO EROSION CONTROL PLAN IN ACCORDANCE WITH BMP'S.
- PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISK OF SPILL AND SPILLS DISCHARGING INTO STORMWATER RUNOFF.

BMPs CONSIST OF PERMANENT FEATURES DESIGNED TO MINIMIZE POLLUTANT DISCHARGES, INCLUDING SEDIMENT, FROM THE SITE AFTER CONSTRUCTION HAS BEEN COMPLETED.

BMPs UTILIZED ON THIS PROJECT CONSIST OF SILT FENCE, DIVERSION DYKES, INLET PROTECTION, SEDIMENT BASINS, CONSTRUCTION EXIT

NOTES:

- CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
- CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.
- PLAN ASSUMES SITE HAS BEEN PREVIOUSLY CLEARED AND PREPARED, AND CONSTRUCTION OF MASTER INFRASTRUCTURE IS EITHER COMPLETED OR UNDERWAY.

SEQUENCE OF CONSTRUCTION:

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

PHASE 2:

- HALT ALL ACTIVITIES AND CONTACT THE CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH CONSULTANT AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION. SITE PREPARATION SHOULD BE IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION.

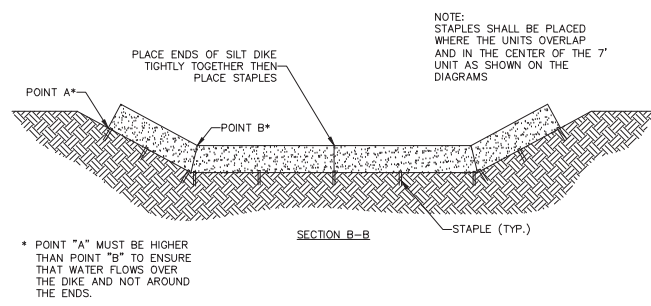
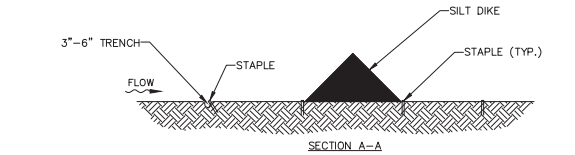
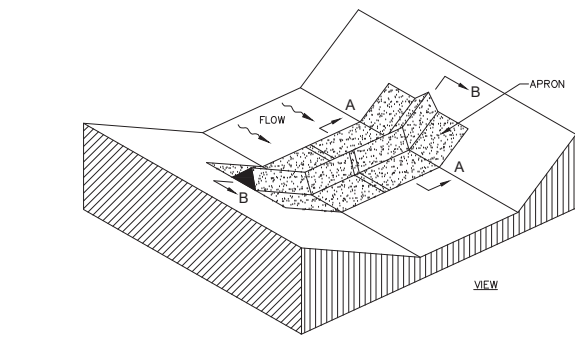
ACREAGE SUMMARY

TOTAL PROJECT AREA	6.79 AC
ON-SITE DISTURBED AREA	6.79 AC
OFF-SITE DISTURBED AREA	0.00 AC
TOTAL DISTURBED AREA	6.79 AC
IMPERVIOUS AREA AT COMPLETION	2.82 AC
PERVIOUS AREA AT COMPLETION	3.97 AC

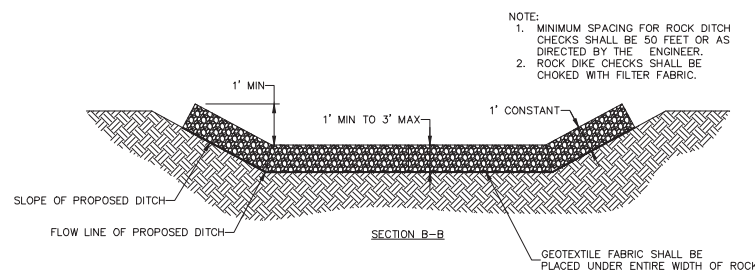
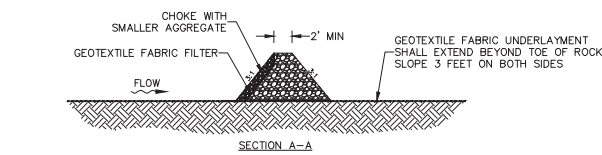
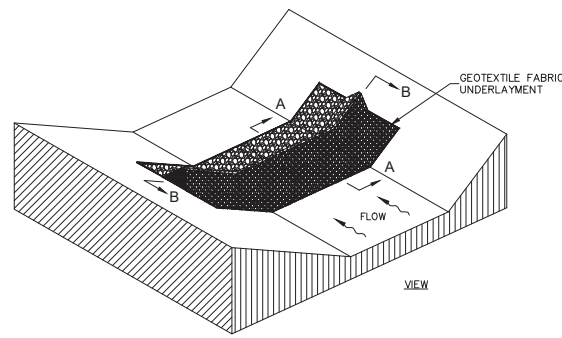
Know what's below.
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ALDI FAIRHOPE PREPARED FOR ALDI INC.		KIMLEY-HORN AND ASSOCIATES, INC. 189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801 PHONE: 407-898-1511 WWW.KIMLEY-HORN.COM CA 0000511	LICENSED PROFESSIONAL 147670008 DATE 9/15/2021 SCALE AS SHOWN DESIGNED BY MSG DRAWN BY SHD CHECKED BY MSC	PROJECT EROSION AND SEDIMENT CONTROL PLAN - PHASE 2	CITY OF FAIRHOPE ALABAMA
	SHEET NUMBER C-101				
	NO. _____ DATE _____				
	REVISIONS				
	BY _____ DATE _____				

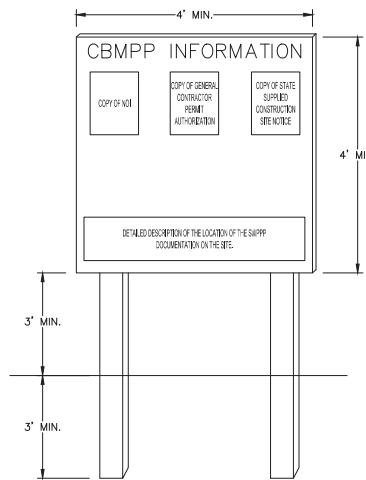
Plotted By: D:\Projects\2021\102 Erosion Control Details\102 Erosion Control Details.dwg September 15, 2021 05:13:14pm Y:\VBB_LDEVA\ALDI\6 - Fairhope\GADD\PlanSheets\102 Erosion Control Details.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



(SB) SILT DIKE CHECK DAM
N.T.S.

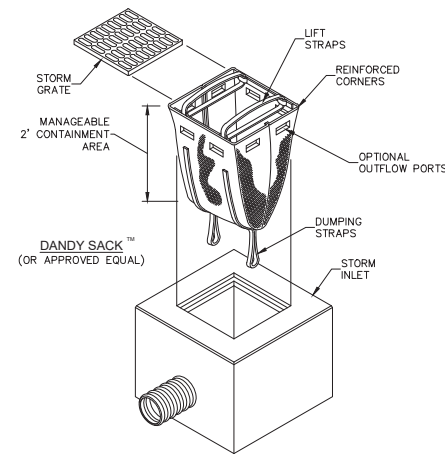


(SB) ROCK DITCH CHECK DAM
N.T.S.

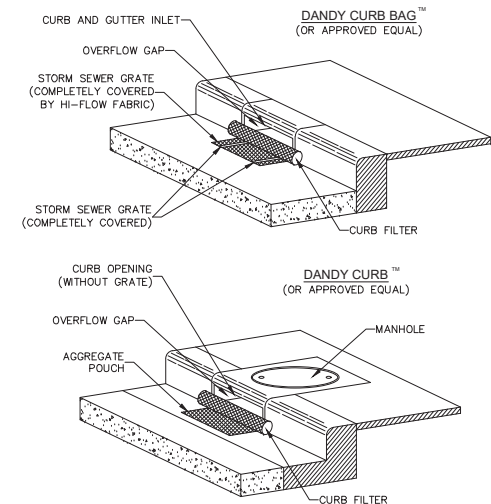


(SS) CBMPP INFORMATION SIGN
N.T.S.

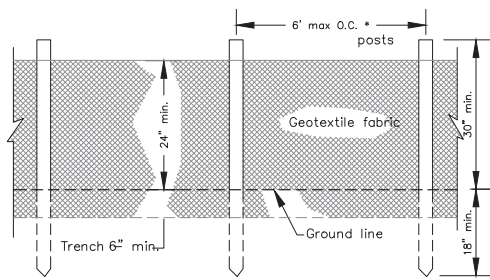
- NOTES:
- "CBMPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.
 - SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).
 - THE CBMPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 - ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 - CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
 - SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS CBMPP INFORMATION SIGN.



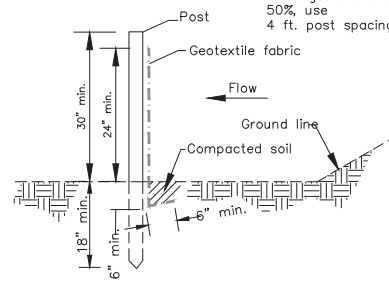
(IP) INLET INSERT
N.T.S.



(IP) CURB INLET SEDIMENT CONTROL
N.T.S.

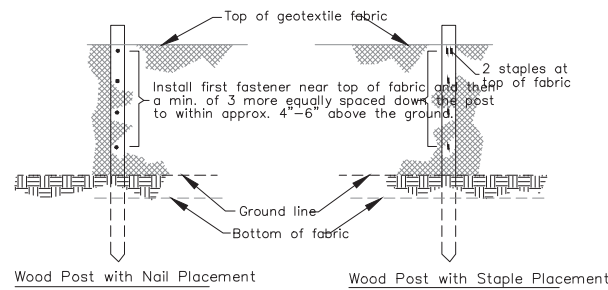


FRONT VIEW
(Not to scale)

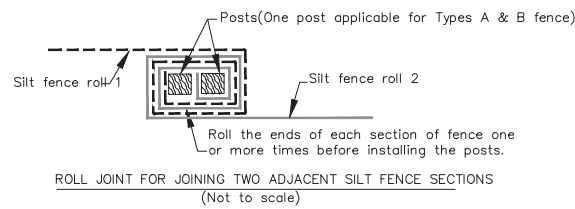


SIDE VIEW
(Not to scale)

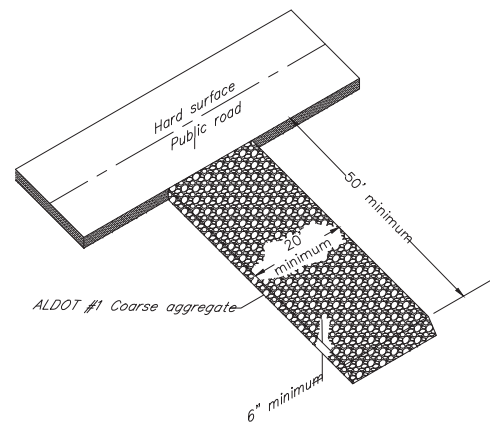
(SB) SEDIMENT BARRIER - SILT FENCE
N.T.S.



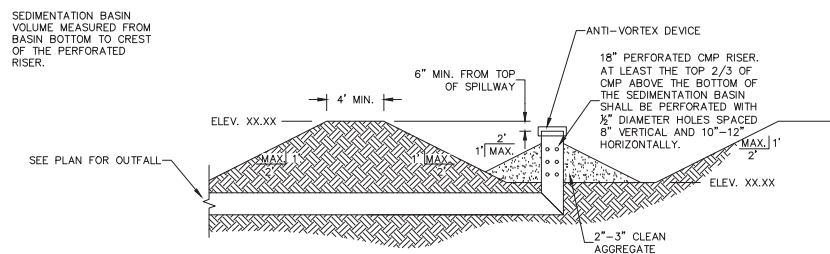
FASTENERS FOR SILT FENCES
(Not to scale)



ROLL JOINT FOR JOINING TWO ADJACENT SILT FENCE SECTIONS
(Not to scale)



(CEP) CONSTRUCTION EXIT PAD
N.T.S.



(ST) SEDIMENT BASIN WITH PIPE OUTLET
N.T.S.

NO.	REVISIONS	DATE	BY

Kimley-Horn
 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801
 PHONE: 407-898-1511
 WWW.KIMLEY-HORN.COM CA 00000511

LICENSED PROFESSIONAL
 MATTHEW S. GILLESPIE, P.E.
 ALABAMA LICENSE NUMBER 34176

KHA PROJECT	147670008
DATE	9/15/2021
SCALE	AS SHOWN
DESIGNED BY	MSG
DRAWN BY	SHD
CHECKED BY	MSC
DATE:	

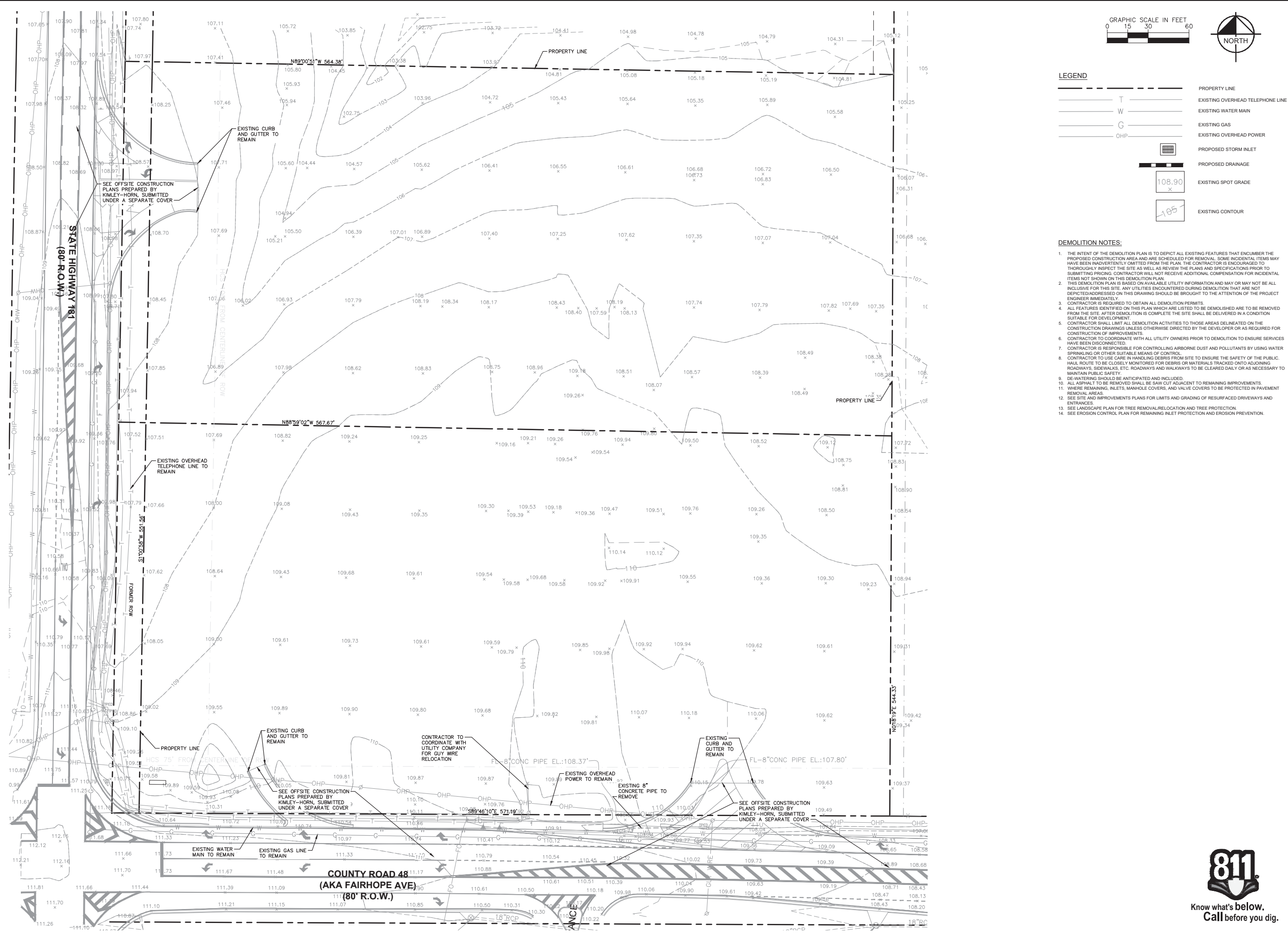
EROSION CONTROL DETAILS

ALDI FAIRHOPE
 PREPARED FOR ALDI INC.
 ALABAMA
 CITY OF FAIRHOPE
 SHEET NUMBER C-102



Know what's below.
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Plotted By: D:\diner, Sara - Sheet Set: ALDI Fairhope Layout: C-200 EXISTING CONDITIONS AND DEMOLITION PLAN - September 15, 2021 05:13:28pm Y:\WEB_IDE\VALDING - Fairhope\CADD\PlanSheets\C-200 EXISTING CONDITIONS AND DEMOLITION PLAN.dwg
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LEGEND

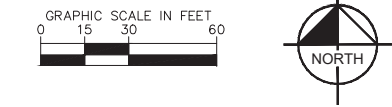
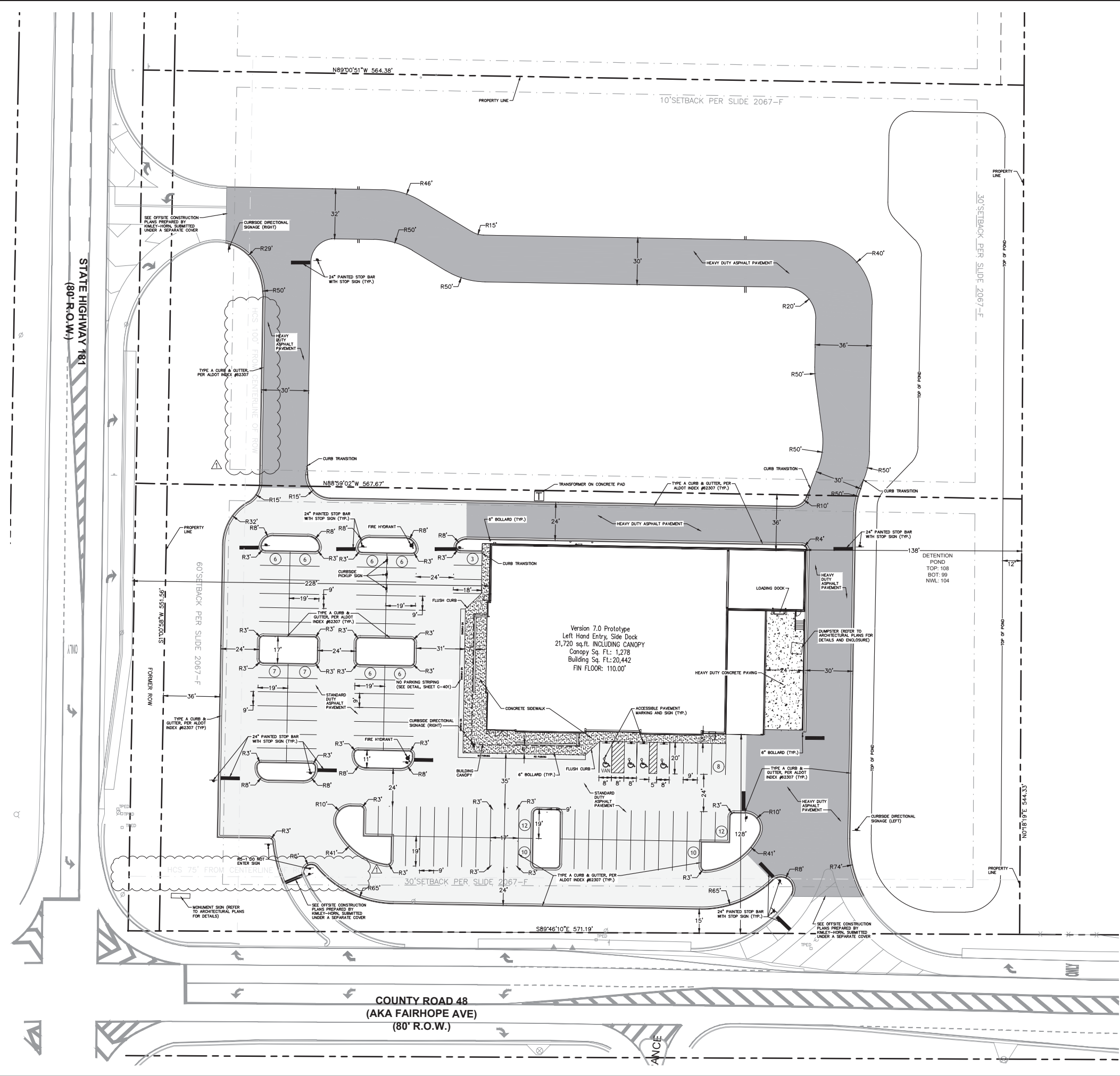
---	PROPERTY LINE
T	EXISTING OVERHEAD TELEPHONE LINE
W	EXISTING WATER MAIN
G	EXISTING GAS
OHP	EXISTING OVERHEAD POWER
[Symbol]	PROPOSED STORM INLET
[Symbol]	PROPOSED DRAINAGE
108.90	EXISTING SPOT GRADE
105	EXISTING CONTOUR

- DEMOLITION NOTES:**
1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT ALL EXISTING FEATURES THAT ENCLUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
 2. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
 3. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
 4. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
 5. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS Delineated ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
 6. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO DEMOLITION TO ENSURE SERVICES HAVE BEEN DISCONNECTED.
 7. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
 8. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
 9. DE-WATERING SHOULD BE ANTICIPATED AND INCLUDED.
 10. ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
 11. WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS.
 12. SEE SITE AND IMPROVEMENTS PLANS FOR LIMITS AND GRADING OF RESURFACED DRIVEWAYS AND ENTRANCES.
 13. SEE LANDSCAPE PLAN FOR TREE REMOVAL/RELOCATION AND TREE PROTECTION.
 14. SEE EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.

		LICENSED PROFESSIONAL KHA PROJECT 147670008	
		DATE 9/15/2021	
PREPARED FOR ALDI INC.		SCALE AS SHOWN DESIGNED BY MSG	
		DRAWN BY SHD CHECKED BY MSC	
CITY OF FAIRHOPE ALABAMA		SHEET NUMBER C-200	
		DATE	



Plotted By: Dincer, Sara - Sheet Set: ALDI Fairhope - Layout: C-300 SITE PLAN - September 15, 2021 05:13:45pm - Y:\MRB_DEVA\ALDI\Fairhope\CADD\PlanSheets\C-300 SITE PLAN.dwg
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LEGEND

---	PROPERTY LINE
---	BUILDING SETBACK
⊕	PARKING STALL COUNT
T	TRANSFORMER PAD
+	SIGN
⬮	BOLLARD
⊕	FIRE HYDRANT
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING POWER POLE
---	EXISTING PAVEMENT MARKING
▭	STANDARD DUTY ASPHALT PAVEMENT
▭	HEAVY DUTY ASPHALT PAVEMENT
▭	HEAVY DUTY CONCRETE PAVEMENT
▭	CONCRETE SIDEWALK

SITE DATA

ADDRESS: NEC FAIRHOPE AVE AND STATE HIGHWAY 181, FAIRHOPE, AL
 ZONING DISTRICT: NO ZONING (BALDWIN COUNTY)

SITE AREA:
 NORTH SIDE: 144,756 S.F. (3.23 AC.)
 SOUTH SIDE: 155,045 S.F. (3.56 AC.)
 TOTAL SITE AREA: 299,801 S.F. (6.79 AC.)

PROPOSED SITE COVERAGE:

SITE AREA:	155,045 S.F. (3.56 AC)	100.00%
BUILDING AREA:	21,720 S.F. (0.50 AC)	14.04%
IMPERVIOUS AREA:	104,748 S.F. (2.41 AC)	67.56%
PERVIOUS AREA:	50,299 S.F. (1.15 AC)	32.44%

FUTURE SITE COVERAGE:

SITE AREA:	144,756 S.F. (3.23 AC)	100.00%
IMPERVIOUS AREA:	97,504 S.F. (2.23 AC)	67.36%
PERVIOUS AREA:	47,252 S.F. (1.00 AC)	32.64%

BUILDING SETBACKS:

	REQUIRED	PROVIDED
NORTH	10'	35.79'
EAST	30'	137.97'
SOUTH	30'	126.46'
WEST	60'	228.23'

PARKING CALCULATION:
 1 SPACE PER 200 SF (20,442 SF) = 103 SPACES

PARKING SUMMARY:

STANDARD	101
ACCESSIBLE	4
TOTAL	105

No.	PER MOP CITY COMMENTS	REVISIONS	DATE	BY

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 189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801
 PHONE: 407-898-1511
 WWW.KIMLEY-HORN.COM CA 00000511

PROFESSIONAL

MATTHEW S. GILLESPIE, P.E.
ALABAMA LICENSE NUMBER 34176

LICENSED PROFESSIONAL

DATE 9/15/2021
SCALE AS SHOWN
DESIGNED BY MSG
DRAWN BY SHD
CHECKED BY MSC

SITE PLAN

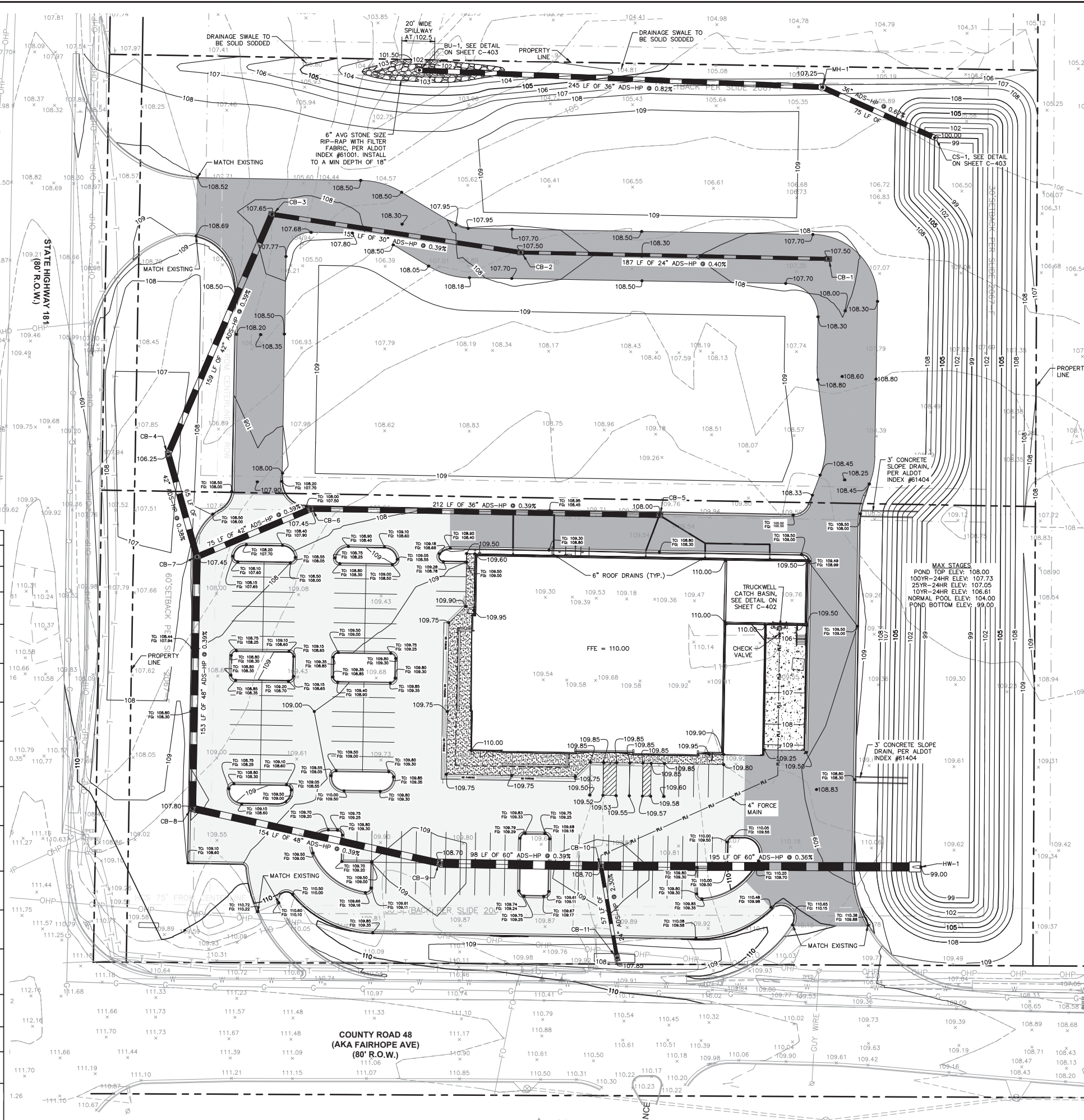
ALDI FAIRHOPE
 PREPARED FOR
ALDI INC.
 ALABAMA
 CITY OF FAIRHOPE

SHEET NUMBER
C-300



Plotted By: Dincer, Sara - Sheet Set: ALDI Fairhope Layout C-400 PAVING, GRADING AND DRAINAGE PLAN - September 15, 2021 05:14:19pm - Y:\WB_LDEV\ALD\6 - Fairhope\CADD\PlanSheets\C-400 PAVING, GRADING AND DRAINAGE PLAN.dwg
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STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
BU-1	BUBBLE-UP STRUCTURE TOP: 102.08 E. INV IN: 97.50
CB-1	TYPE "B" INLET PER ALDOT INDEX #62107 TOP: 107.50 W. INV OUT: 103.50
CB-2	TYPE "B" INLET PER ALDOT INDEX #62107 TOP: 107.50 E. INV IN: 102.75 W. INV OUT: 102.75
CB-3	TYPE "B" INLET PER ALDOT INDEX #62107 TOP: 107.65 E. INV IN: 102.15 SW. INV OUT: 102.15
CB-4	TYPE "B" INLET PER ALDOT INDEX #62111 TOP: 106.63 NE. INV IN: 101.53 S. INV OUT: 101.53
CB-5	TYPE "B" INLET PER ALDOT INDEX #62107 TOP: 108.00 SE. INV IN: 104.00 S. INV IN: 104.00 W. INV OUT: 102.40
CB-6	TYPE "B" INLET PER ALDOT INDEX #62107 TOP: 107.45 E. INV IN: 101.57 SW. INV OUT: 101.57
CB-7	TYPE "B" INLET PER ALDOT INDEX #62107 TOP: 107.45 NE. INV IN: 101.28 N. INV IN: 101.28 S. INV OUT: 101.28
CB-8	TYPE "B" INLET PER ALDOT INDEX #62107 TOP: 107.80 N. INV IN: 100.68 E. INV OUT: 100.68
CB-9	TYPE "B" INLET PER ALDOT INDEX #62107 TOP: 108.70 N. INV IN: 100.08 E. INV OUT: 100.08
CB-10	TYPE "B" INLET PER ALDOT INDEX #62107 TOP: 108.70 W. INV IN: 99.70 S. INV IN: 99.70 E. INV OUT: 99.70
CB-11	TYPE "C" INLET PER ALDOT INDEX #62111 TOP: 107.85 N. INV OUT: 101.00
CS-1	CONTROL STRUCTURE TOP: 107.00 NW. INV OUT: 100.00
HW-1	SLOPE PAVED HEADWALL PER ALDOT INDEX #61909 TOP: 104.15 W. INV IN: 99.00
MH-1	TYPE "L" MANHOLE PER ALDOT INDEX #62183 TOP: 107.25 SE. INV IN: 99.50 W. INV OUT: 99.50



GRAPHIC SCALE IN FEET
 0 15 30 60

NORTH

LEGEND

- PROPERTY LINE
- PROPOSED STORM DRAINAGE PIPE
- ⊗ PROPOSED STORM DRAINAGE INLET
- ⊙ PROPOSED STORM DRAINAGE MANHOLE
- PROPOSED GRADE SPOTS
- EXISTING GRADE SPOTS
- PROPOSED GRADE CONTOURS
- EXISTING GRADE CONTOURS
- DIRECTIONAL FLOW ARROW

PAVING AND GRADING NOTES:

- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL NOTIFY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEYOR BY A REGISTERED LAND SURVEYOR TO THE DEVELOPER AND ENGINEER FOR REVIEW.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNMENT CODES AND BE CONSTRUCTED TO SAME.
- ALL MATERIALS AND CONSTRUCTION WITHIN THE ALDOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST ALDOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
- CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 30" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE / PAVEMENT MATERIAL IS REMOVED (WHICHEVER IS GREATER) AND BACKFILL WITH CLEAN / DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIALS.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- LANDSCAPE ISLANDS IN PARKING AREA TO BE BERMED 18" ABOVE BACK OF CURB ELEVATION.
- ALL PAVEMENT MARKINGS SHOWN ON SITE PLAN WILL BE PAINTED.

- DRAINAGE NOTES:
- CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
 - CONTRACTOR TO REFER TO ALDOT DESIGN STANDARD FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.
 - ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RINGS AND GRATES.
 - CONTRACTOR TO VERIFY ALL EXISTING UTILITY RINGS AND COVERS ON SITE ARE HEAVY DUTY TRAFFIC RATED. CONTRACTOR TO REPLACE DEFICIENT RINGS AND COVERS WITH HEAVY DUTY TRAFFIC RATED RINGS AND COVERS. CONTRACTOR TO ADJUST RIM ELEVATIONS OF ANY UTILITIES THAT CHANGE IN ELEVATION DURING CONSTRUCTION.
 - ALL CLEAN-OUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.
 - SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK LANDINGS AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMPS SHALL NOT EXCEED 6" IN LENGTH AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 - ROOF DRAIN CONNECTIONS TO DRAINAGE PIPE SHALL BE AS FOLLOWS:
 FOR ADS N-12 CORRUGATED POLYETHYLENE DRAINAGE PIPE USE ADS DUAL WALL FABRICATED REDUCING SADDLE TEE 4"-2" DIAMETER.
 FOR RCP DRAINAGE PIPE MAKE CONNECTION PER ALDOT SPECIFICATIONS
 - NOTIFY CONSULTANT FOR CONNECTION METHOD TO STEEL PIPE.
 - ALL DRAINAGE PIPE JOINTS SHALL BE FILTER FABRIC WRAPPED PER ALDOT SPECIFICATIONS. ALL DRAINAGE PIPE JOINTS NEED TO BE FILTER FABRIC WRAPPED REGARDLESS OF MATERIAL.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF EXISTING UTILITIES SERVING THE STRUCTURE.
 - EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
 - PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. ALL STORM SEWERS SHALL BE LABELED "STORM SEWER".
 - ALL CATCH BASINS WITHIN PROPOSED TRAFFIC AREAS SHALL HAVE BICYCLE PROOF GRATES.
 - CONTRACTOR TO FLUSH AND VACUUM ENTIRE ON-SITE STORM WATER SYSTEM UPON COMPLETION OF PROPOSED WORK.
 - REFER TO DETAIL SHEETS C-401, C-402 AND C-403.

- NOTES:
- EXISTING INFORMATION HAS BEEN TAKEN FROM SURVEY PREPARED BY LAWLER AND COMPANY DATED JANUARY 16, 2020. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD 1985).
 - FLOOD ZONE: AE, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 0100300663M, EFFECTIVE DATE APRIL 19, 2019.

811

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 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801
 PHONE: 407-898-1511
 WWW.KIMLEY-HORN.COM CA 00000511

Licensed Professional
 KHA PROJECT: 147670008
 DATE: 9/15/2021
 SCALE: AS SHOWN
 DESIGNED BY: MSG
 DRAWN BY: SHD
 CHECKED BY: MSG

ALDI FAIRHOPE
 PREPARED FOR
ALDI INC.

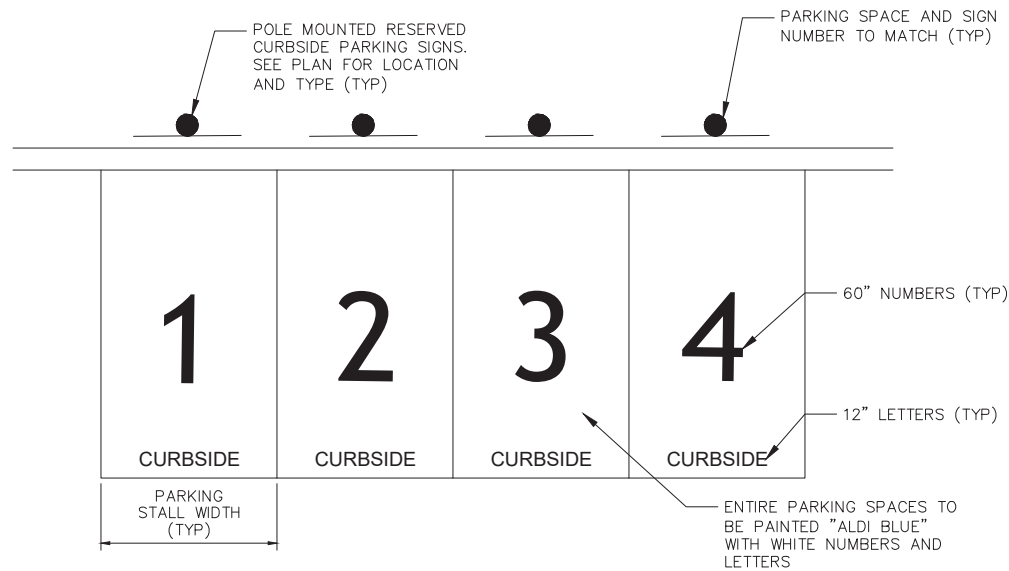
CITY OF FAIRHOPE ALABAMA

SHEET NUMBER
C-400

REVISIONS

No.	REVISIONS	DATE	BY

Plotted By: D:\Inch\Set: ALDI-Fairhope-Layout\C-401 PAVING, GRADING AND DRAINAGE DETAILS September 15, 2021 05:14:25pm X:\VRB_LDE\ALDI\6 - Fairhope\CADD\PlanSheets\C-401 PAVING, GRADING AND DRAINAGE DETAILS.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.

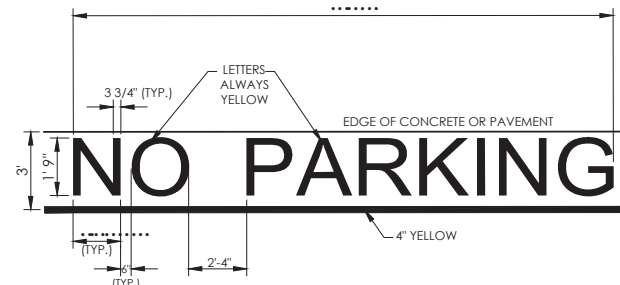
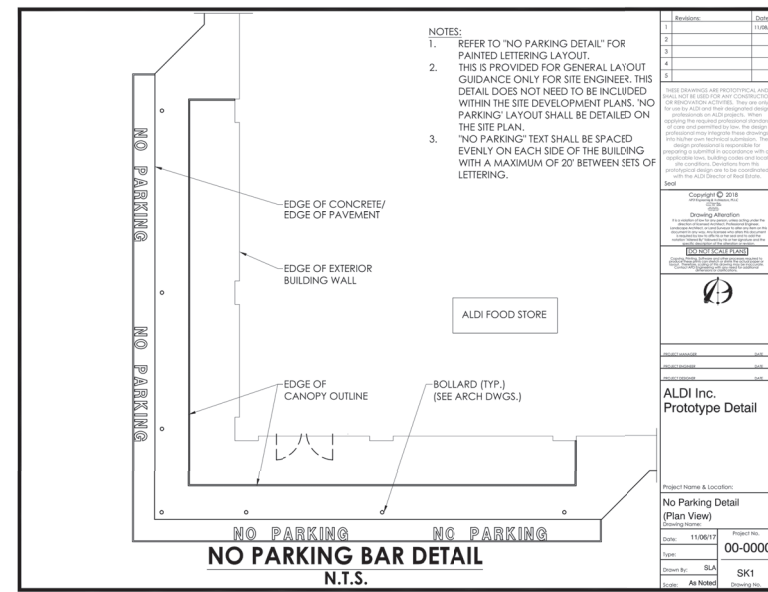


ALDI BLUE CUSTOM COLOR:

CCE COLORANT	OZ	32	64	128
L1-BLUE	-	63	1	1
R3-MAGENTA	-	5	-	1
Y3-DEEP GOLD	-	1	1	-

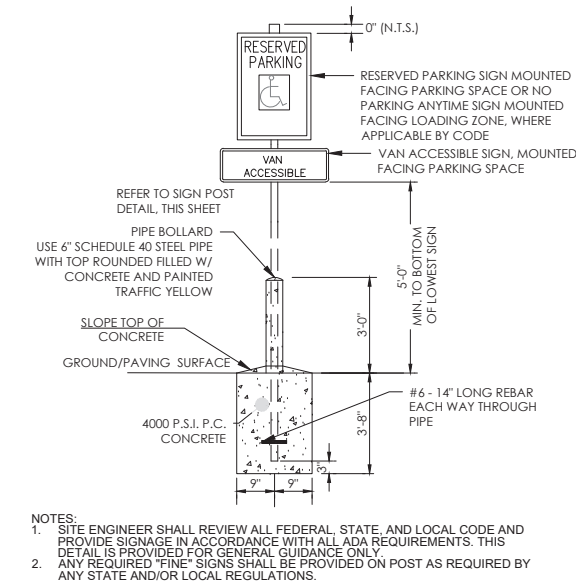
- ARIAL BOLD FONT SHALL BE USED FOR NUMBERS AND LETTERS.
- PAINT SHALL BE SEALMASTERS 'COVER PAVE' OR 'LIQUID THERMOPLASTIC' TRAFFIC MARKING PAINT OR AS APPROVED BY ALDI CM, CONTACT ROCHESTER JET BLACK, GARY ROSBROOK, 585-441-4125 FOR ORDERING.
 - a. COLOR PAVE SHALL BE USED FOR NEW PAVEMENT.
 - b. LIQUID THERMOPLASTIC SHALL BE USED FOR OLDER PAVEMENT THAT HAS BEEN SEALED WITH A COAL TAR SEALER.
- SURFACE PREPARATION SHALL COMPLY WITH MANUFACTURERS REQUIREMENTS.
- SIGNS, NUMBERS AND WORDING TO BE PLACED CENTERED.

CURBSIDE PARKING DETAIL
N.T.S.

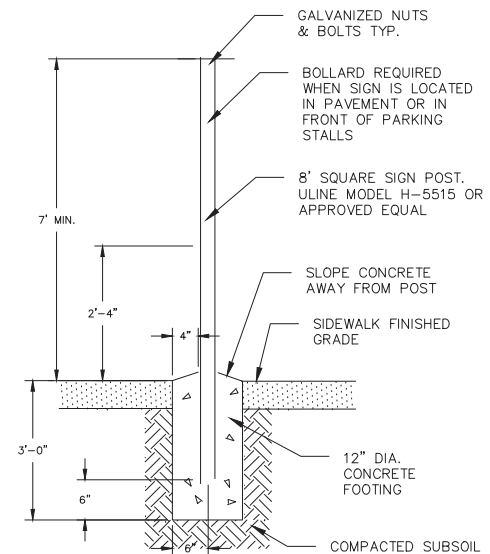


- NOTES**
- CONTRACTOR SHALL APPLY TWO (2) COATS OF PAINT
 - REFER TO SITE PLAN FOR NUMBER AND LOCATION.

NO PARKING LETTERING DETAIL
N.T.S.



ACCESSIBLE SIGN POST INSTALLATION DETAIL
N.T.S.

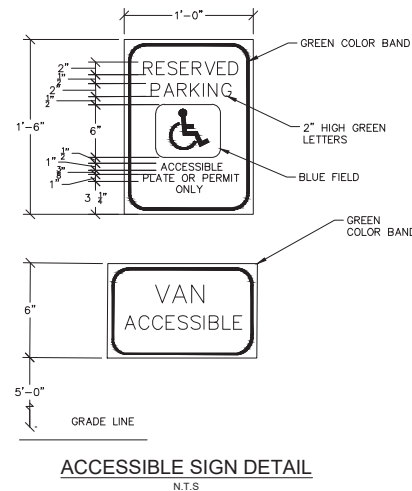


SIGN POST DETAIL
N.T.S.

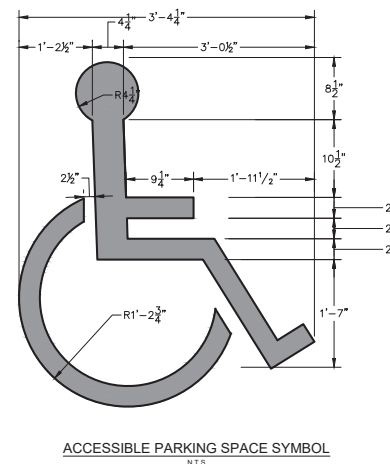
AMERICANS WITH DISABILITIES ACT COMPLIANCE NOTES

- WALKING SURFACES, WHEN ON AN ACCESSIBLE ROUTE SHALL NOT HAVE POST CONSTRUCTION SLOPES EXCEEDING 1:48 (2%) CROSS SLOPE OR 1:20 (5%) RUNNING SLOPE, EXCEPT IN AREAS DESIGNED AS ADA RAMPS.
- WALKING SURFACES, WHEN ON AN ACCESSIBLE ROUTE, CHANGES IN LEVEL OF 1/4 INCH HIGH MAXIMUM ARE PERMITTED TO BE VERTICAL; HOWEVER CHANGES BETWEEN 1/4 INCH AND 1/2 INCH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2 INCH MUST BE RAMPED.
- RAMPS AREAS WITHIN THE ADA ACCESS ROUTE SHALL NOT HAVE POST CONSTRUCTION SLOPES EXCEEDING 1:48 (2%) CROSS SLOPE OR 1:12 (8.3%) RUNNING SLOPE. RAMP LANDING AREAS SHALL NOT EXCEED POST CONSTRUCTION SLOPES GREATER THAN 1:50 (2%) IN ANY DIRECTION. RAMPS MUST HAVE LANDINGS AT THE TOP AND BOTTOM OF EACH RAMP RUN.
- WHERE HANDRAILS ARE PROVIDED, THE CLEAR WIDTH BETWEEN THE HANDRAILS SHALL BE 36 INCH MAXIMUM ON A RAMP RUN.
- ALL ACCESSIBLE AREAS WILL BE CONSTRUCTED WITH SLIP RESISTANT FINISH.
- HANDICAP PARKING AREAS INCLUDING ACCESSIBLE PARKING SPACES AND ACCESS AISLES, SHALL NOT HAVE POST CONSTRUCTION SLOPES EXCEEDING 1:48 (2%) IN ANY DIRECTION.
- HANDICAP PARKING WIDTH SHALL NOT BE LESS THAN 96 INCHES FOR CAR PARKING OR 132 INCHES FOR VAN ACCESSIBLE PARKING. STRIPED ACCESS AISLES BETWEEN PARKING SPACES SHALL NOT BE LESS THAN 60 INCHES WIDE. WIDTHS ARE MEASURED FROM THE CENTER OF PAINTED STRIPE BORDERS. WIDTHS SHOULD BE MEASURED FROM THE EDGE OF ANY PHYSICAL BOUNDARY, SUCH AS A CURB OR EDGE OF PAVEMENT.
- CURB RAMP RUNNING SLOPE SHALL NOT EXCEED 1:12 (8.3%) MAXIMUM. CROSS SLOPE MUST NOT EXCEED 1:48 (2%) MAXIMUM. SIDE FLARES MUST NOT BE STEEPER THAN 1:10 (10%). LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS AND THE LANDING CLEAR LENGTH SHALL BE 36" MINIMUM. LANDINGS AT CURB MUST BE LEVEL IN ALL DIRECTIONS WITH SLOPES NOT EXCEEDING 1:48 (2%) MAXIMUM. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO CURB RAMPS MUST NOT BE STEEPER THAN 1:20 (5%). THE ADJACENT SURFACES AT TRANSITIONS OF CURB RAMPS TO WALKS, GUTTERS, AND STREETS SHALL BE THE SAME LEVEL.

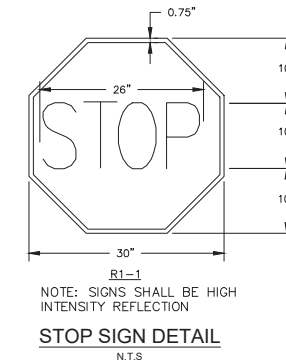
ADA COMPLIANCE NOTES
N.T.S.



ACCESSIBLE SIGN DETAIL
N.T.S.



ACCESSIBLE PARKING SPACE SYMBOL
N.T.S.



STOP SIGN DETAIL
N.T.S.



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PAVING, GRADING AND DRAINAGE DETAILS

ALDI FAIRHOPE
PREPARED FOR
ALDI INC.

SHEET NUMBER
C-401

PROFESSIONAL
MATHEW S. GILLESPIE, P.E.
ALABAMA LICENSE NUMBER 34176

PROJECT
147670008

DATE
9/15/2021

SCALE
AS SHOWN

DESIGNED BY
MSG

DRAWN BY
SHD

CHECKED BY
MSG

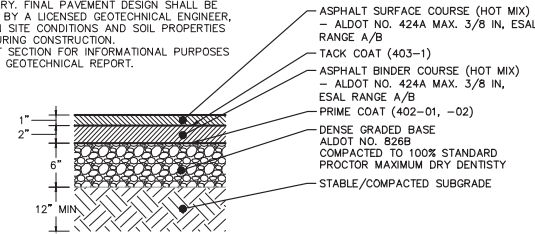
Kimley » Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801
PHONE: 407-898-1511
WWW.KIMLEY-HORN.COM CA 00000511

REVISIONS
BY DATE

CITY OF FAIRHOPE ALABAMA

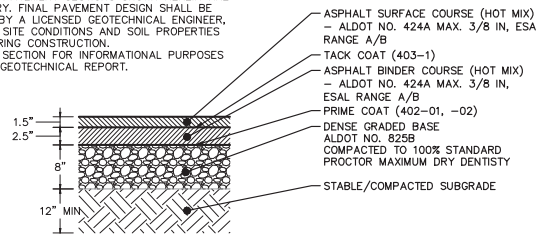
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- NOTES:
 1. SEE GEOTECHNICAL SPECIFICATIONS FOR SUBGRADE REQUIREMENTS.
 2. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH ALDOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
 3. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES FOUND DURING CONSTRUCTION.
 4. PAVEMENT SECTION FOR INFORMATIONAL PURPOSES ONLY SEE GEOTECHNICAL REPORT.



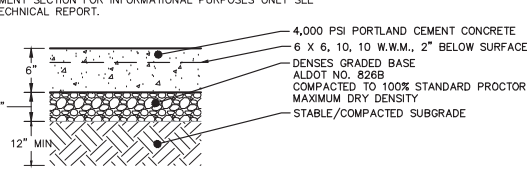
TYPICAL STANDARD DUTY ASPHALT PAVEMENT SECTION
N.T.S.

- NOTES:
 1. SEE GEOTECHNICAL SPECIFICATIONS FOR SUBGRADE REQUIREMENTS.
 2. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH ALDOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
 3. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES FOUND DURING CONSTRUCTION.
 4. PAVEMENT SECTION FOR INFORMATIONAL PURPOSES ONLY SEE GEOTECHNICAL REPORT.



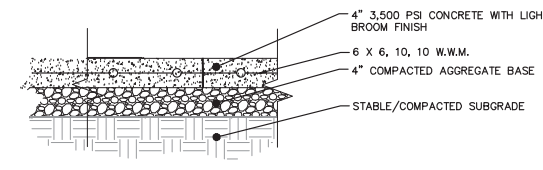
TYPICAL HEAVY DUTY ASPHALT PAVEMENT SECTION
N.T.S.

- NOTES:
 1. SEE GEOTECHNICAL SPECIFICATIONS FOR SUBGRADE REQUIREMENTS.
 2. FIBER MESH REINFORCING CAN BE SUBSTITUTED FOR W.M.M. APPLICATION RATES SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 3. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH ALDOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
 4. BROOM FINISH SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.
 5. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES FOUND DURING CONSTRUCTION.
 6. PLACE EXPANSION JOINTS AT A MAXIMUM OF 75' O.C.
 7. PLACE CONTROL JOINTS AT A MAXIMUM OF 15' O.C.
 8. PAVEMENT SECTION FOR INFORMATIONAL PURPOSES ONLY SEE GEOTECHNICAL REPORT.

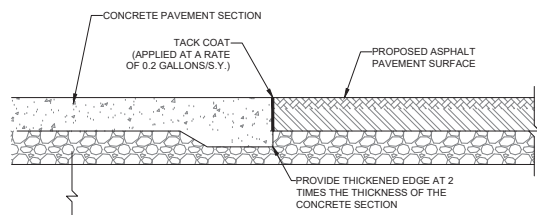


TYPICAL CONCRETE PAVEMENT SECTION
N.T.S.

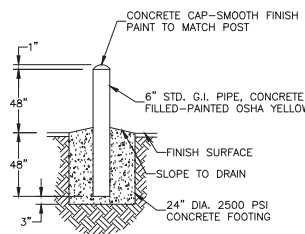
- NOTES:
 1. SEE GEOTECHNICAL SPECIFICATIONS FOR SUBGRADE REQUIREMENTS.
 2. FIBER MESH REINFORCING CAN BE SUBSTITUTED FOR W.M.M. APPLICATION RATES SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 3. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH ALDOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
 4. LIGHT BROOM FINISH SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.



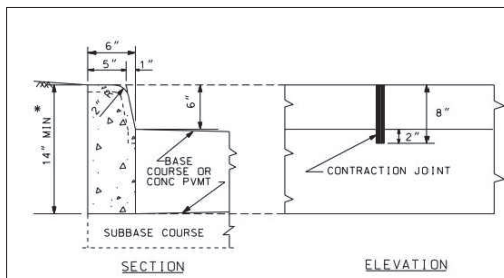
CONCRETE SIDEWALK
N.T.S.



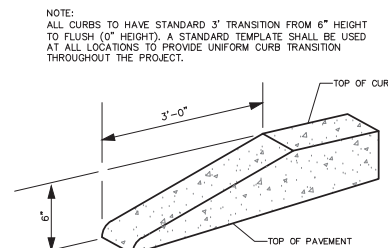
CONCRETE TO ASPHALT DETAIL
N.T.S.



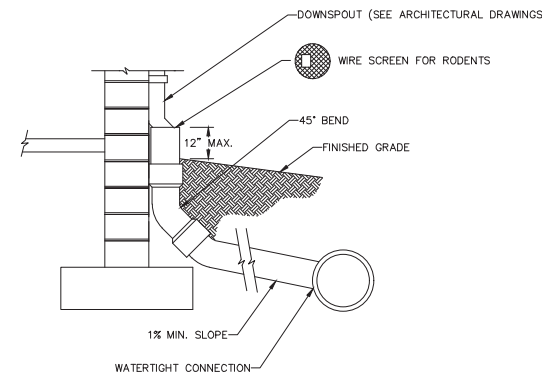
PIPE BOLLARD
N.T.S.



TYPE A CURB
N.T.S.

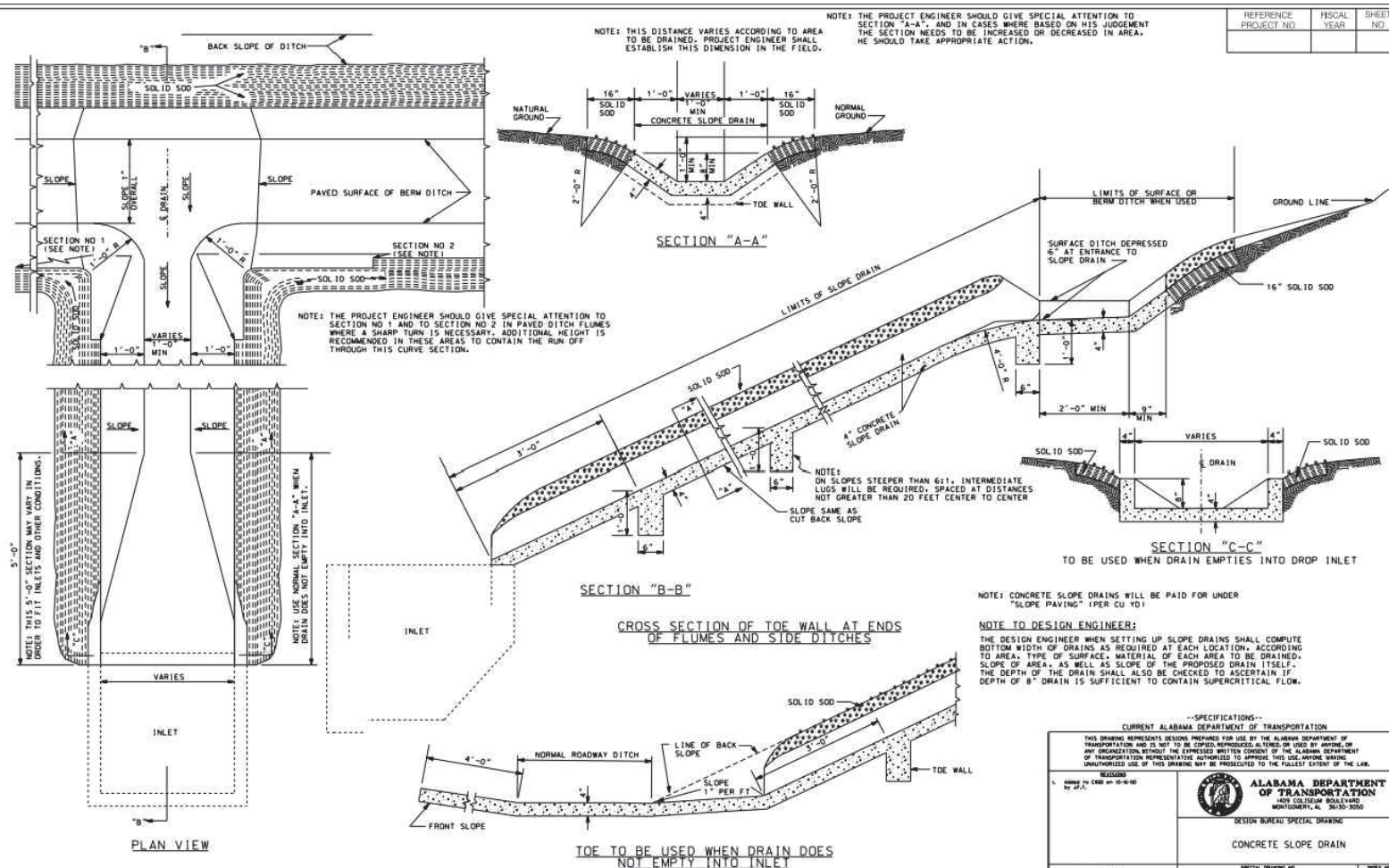


CURB TERMINUS TRANSITION DETAIL
N.T.S.



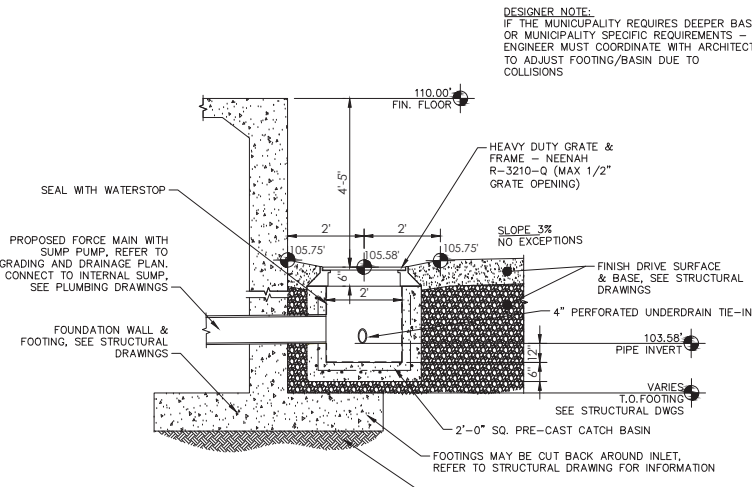
- NOTES:
 1. PIPE MUST BE SCHEDULE 40 PVC.
 2. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.

DOWNSPOUT COLLECTOR DETAIL
N.T.S.



NOT TO SCALE

ALABAMA DEPARTMENT OF TRANSPORTATION
 CONCRETE SLOPE DRAIN
 SPECIAL DRAWING NO. SD-614
 DATE 08/11/10



TRUCKWELL CATCH BASIN
(with int. sump pump)
N.T.S.

No.	REVISIONS	DATE	BY

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 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801
 PHONE: 407-898-1511
 WWW.KIMLEY-HORN.COM CA 0000511

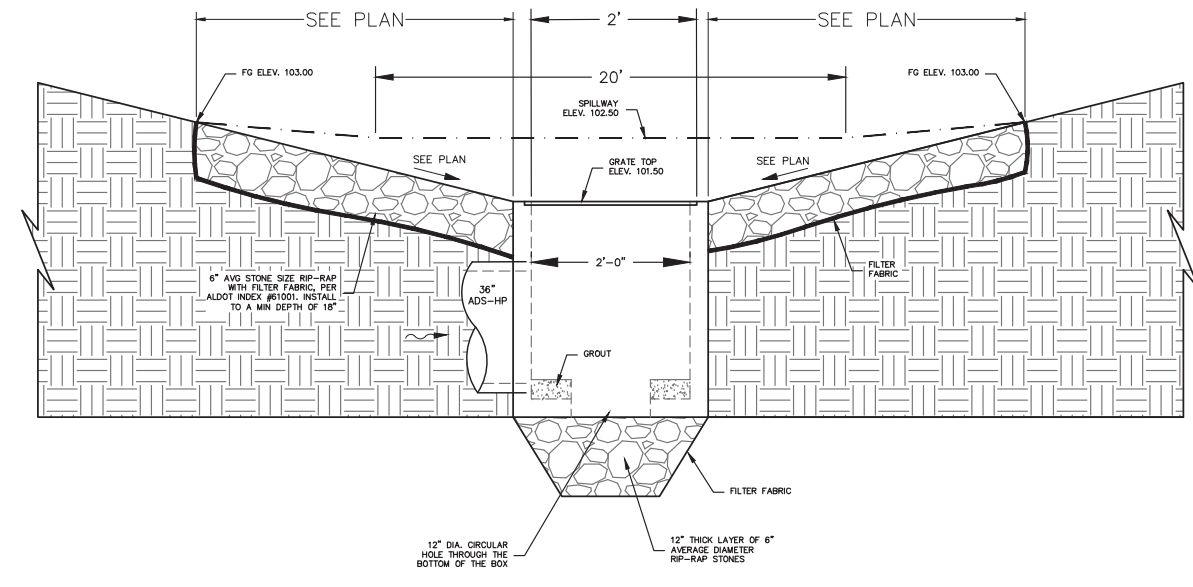
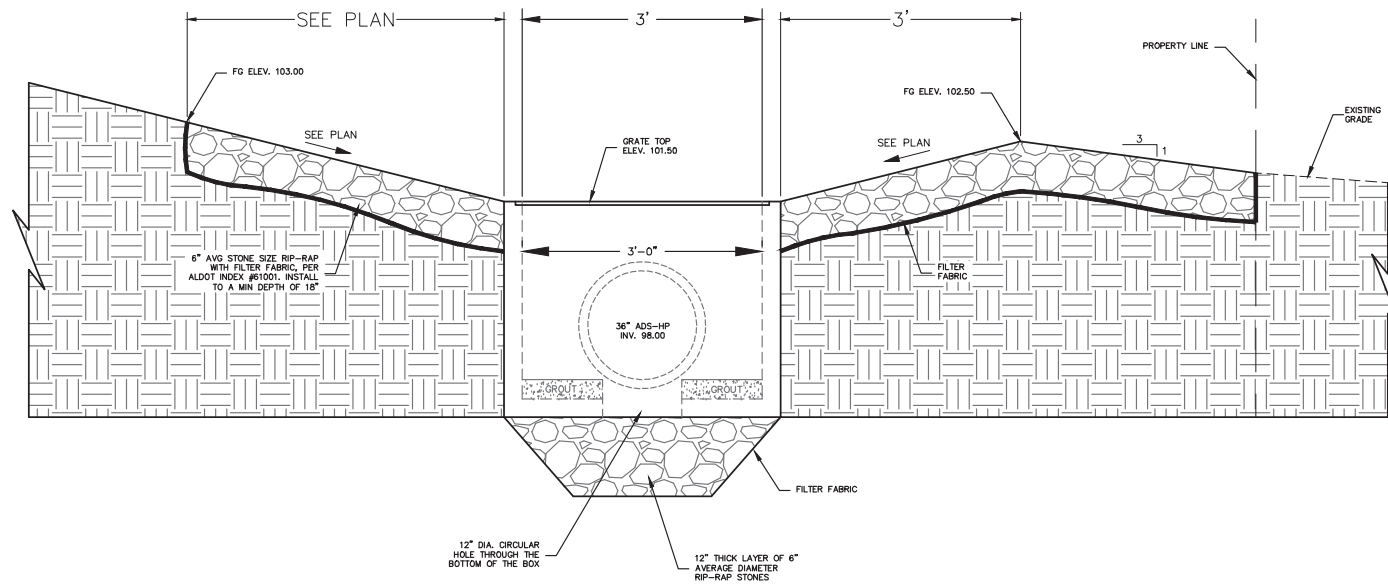
LICENSED PROFESSIONAL
 MATTHEW S. GILLESPIE, P.E.
 ALABAMA LICENSE NUMBER 34176
 KHA PROJECT 147670008
 DATE 9/15/2021
 SCALE AS SHOWN
 DESIGNED BY MSG
 DRAWN BY SHD
 CHECKED BY MSG

PAVING, GRADING AND DRAINAGE DETAILS

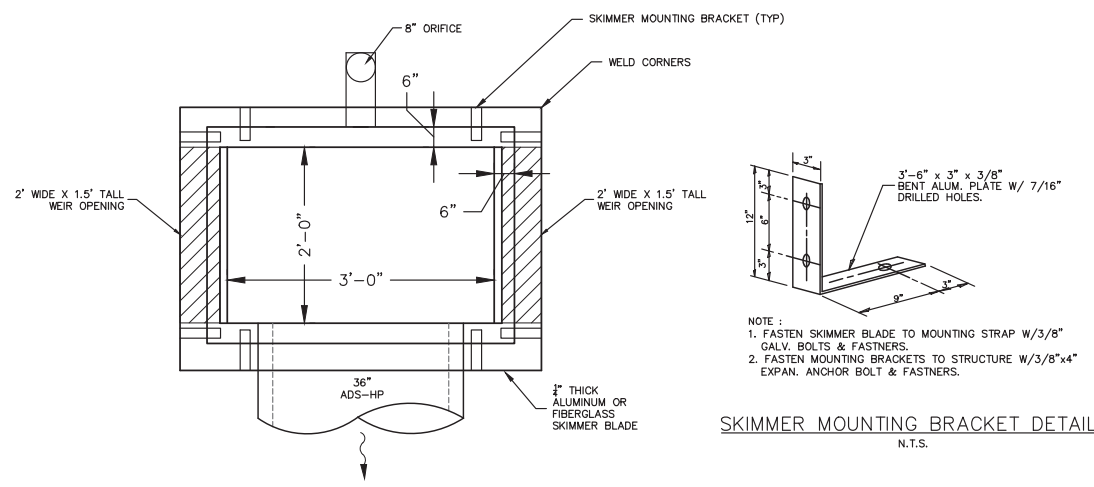
ALDI FAIRHOPE
 PREPARED FOR ALDI INC.
 CITY OF FAIRHOPE, ALABAMA
 SHEET NUMBER C-402



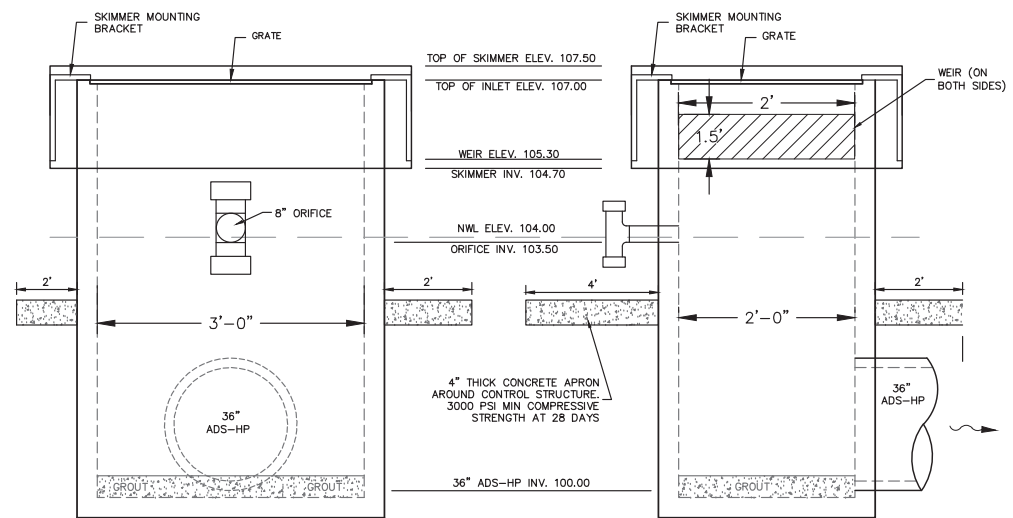
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BUBBLE-UP STRUCTURE "BU-1" DETAIL
 MODIFIED INLET
 ALDOT INDEX #62107
 N.T.S.



SKIMMER MOUNTING BRACKET DETAIL
 N.T.S.



CONTROL STRUCTURE "CS-1" DETAIL
 MODIFIED INLET
 ALDOT INDEX #62107
 N.T.S.

DETENTION POND MAX STAGES

POND TOP ELEV:	108.00
100YR-24HR ELEV:	107.73
25YR-24HR ELEV:	107.05
10YR-24HR ELEV:	106.61
NORMAL POOL ELEV:	104.00
POND BOTTOM ELEV:	99.00



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 189 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801
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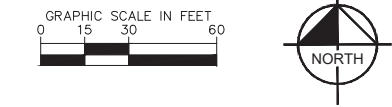
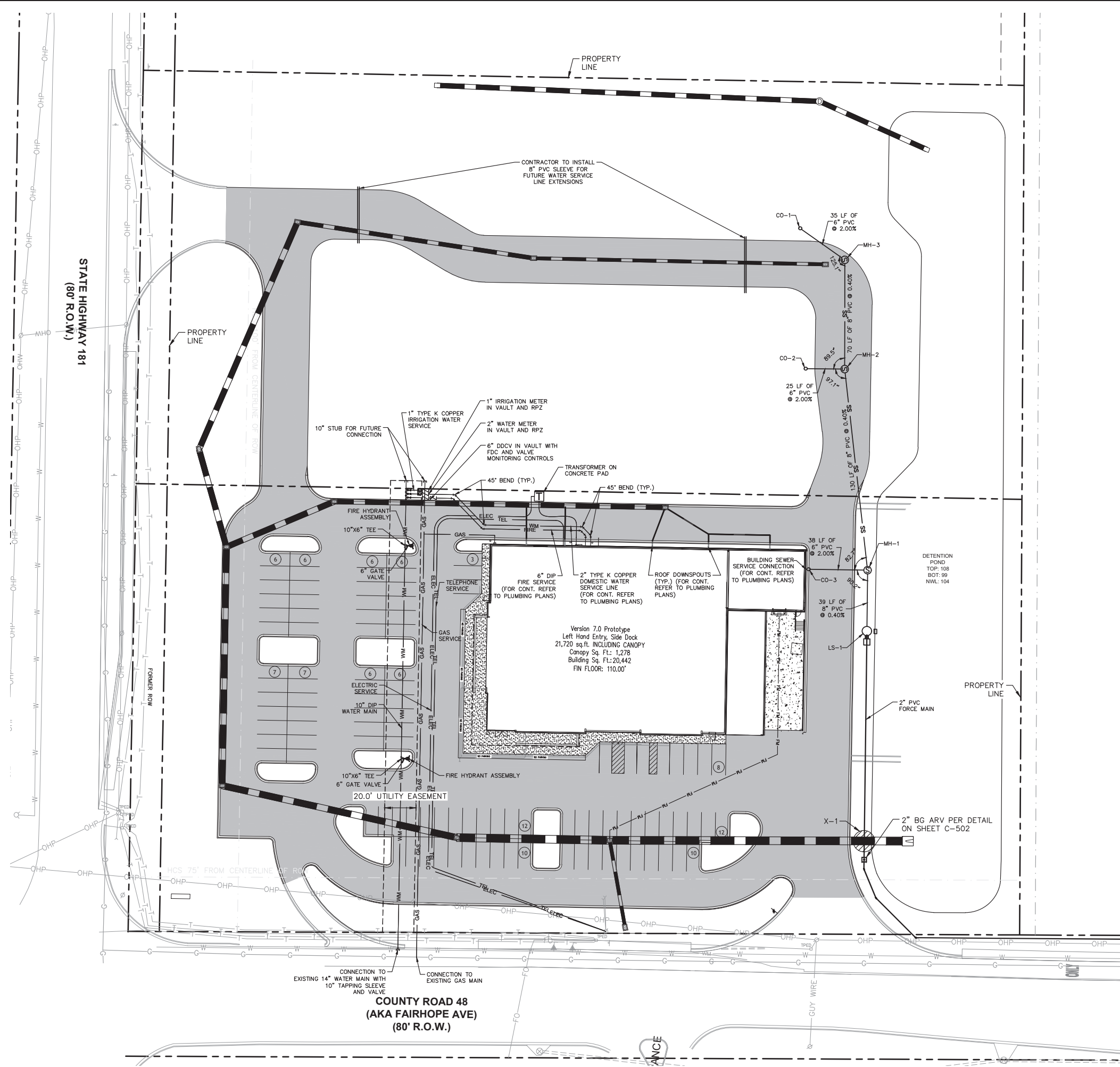
KHA PROJECT	147670008
DATE	9/15/2021
SCALE	AS SHOWN
DESIGNED BY	MSG
DRAWN BY	SHD
CHECKED BY	MSC
DATE	

**PAVING GRADING
 AND DRAINAGE
 DETAILS**

ALDI FAIRHOPE
 PREPARED FOR
ALDI INC.
 ALABAMA
 CITY OF FAIRHOPE

SHEET NUMBER
C-403

Plotted By: Dina, Sara Sheet Set: ALDI Fairhope Layout: C-500 UTILITY PLAN September 15, 2021 05:15:07pm X:\MR_LDEV\ALDI\6 - Fairhope\CADD\PlanSheets\C-500 UTILITY PLAN.dwg
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LEGEND

	PROPERTY LINE
	DOMESTIC WATER LINE
	EXISTING WATER LINE
	SANITARY SEWER LINE
	EXISTING SANITARY SEWER MAIN
	PROPOSED STORM DRAINAGE
	PROPOSED GAS LINE
	EXISTING GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXISTING OVERHEAD POWER LINE
	TRANSFORMER
	PROPOSED PIPE BEND
	PROPOSED METER AND RPZ ASSEMBLY
	PROPOSED GATE VALVE
	PROPOSED DOUBLE DETECTOR CHECK VALVE
	FIRE HYDRANT ASSEMBLY

- UTILITY NOTES:**
- THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
 - THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF SUCH PRIOR TO THE START OF CONSTRUCTION.
 - A MINIMUM OF 10' SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREES UNLESS ROOT BARRIER IS INSTALLED.
 - GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW.
 - FIRE SERVICES TO BE CONSTRUCTED USING DR14 PVC PIPE UNLESS OTHERWISE NOTED.
 - 6" SANITARY SEWER LATERALS MUST MAINTAIN A 1.04% MINIMUM SLOPE TO ENSURE PROPER FLOW.
 - CONTRACTOR SHALL ADJUST EXISTING VALVES AND OTHER APPURTENANCES TO FINAL GRADE. ALL SURFACE UTILITIES TO REMAIN SHALL HAVE TRAFFIC-RATED LIDS IN PAVEMENT AREAS.
 - THE MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER LINES AND SANITARY SEWER LINES IS 10 FEET. THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER LINES AND SANITARY SEWER LINES IS 2 FEET.
 - ALL UTILITY TRENCHES SHALL BE BACKFILLED WITH SUITABLE FILL AND COMPACTED PER ASTM D-698 TO 95% OF THE MAXIMUM DRY DENSITY WITH 3% OF OPTIMUM MOISTURE CONTENT IN 6" LOOSE LIFTS. CONTRACTOR SHALL USE CRUSHED CONCRETE OR CR610 FOR BEDDING AND BACKFILL UNDER PAVEMENT.
 - WHERE UNSUITABLE SOILS ARE ENCOUNTERED FOR BEDDING OR BACKFILLING PURPOSES, SOIL OR A WELL GRADED STONE SHALL BE USED TO BED AND BACKFILL THE UTILITY.
 - SANITARY SEWER LATERAL PIPE MAY BE SCHEDULE 40 PVC OR DUCTILE IRON PIPE.
 - ALL FITTINGS SHALL BE MECHANICAL JOINT TYPE.
 - CONTRACTOR SHALL MAINTAIN 3 FEET MINIMUM COVER ON WATER LINES.
 - THRUST BLOCKS SHALL BE INSTALLED ON ALL BENDS IN WATER PIPE 3" OR GREATER IN DIAMETER.

SANITARY SEWER STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
CO-1	CLEAN OUT TOP: 108.78 SE. INV OUT: 103.78
CO-2	CLEAN OUT TOP: 108.65 E. INV OUT: 104.50
CO-3	CLEAN OUT TOP: 109.42 E. INV OUT: 102.40
LS-1	LIFT STATION TOP: 109.11 N. INV IN: 101.34
MH-1	SANITARY MANHOLE TOP: 108.78 W. INV IN: 101.64 N. INV IN: 102.08 S. INV OUT: 101.50
MH-2	SANITARY MANHOLE TOP: 108.20 N. INV IN: 102.70 W. INV IN: 104.00 S. INV OUT: 102.60
MH-3	SANITARY MANHOLE TOP: 107.92 NW. INV IN: 103.08 S. INV OUT: 102.98

UTILITY CROSSINGS:
 X-1 TOP OF STRM PIPE: 104.33
 BOTTOM OF SSWR PIPE: 105.95
 CLEARANCE: 1.62'

Needed Fire Flow (NFF)
 per NFPA 1 Uniform Fire Code Handbook, 2012 Edition

Building Fire Area=	21,720
Building Type (per NFPA 220) =	V(000)
Associated Min. Required Fire Flow=	4,000
(per Table H.5.1 of the NFPA Uniform Fire Code Handbook)	
Fire Sprinkler - Yes or No=	YES
Minimum Fire Flow Required=	1,000
Fire Flow Provided=	1,500



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 PHONE: 407-898-1511
 WWW.KIMLEY-HORN.COM CA 00000511

ALDI FAIRHOPE
 PREPARED FOR
ALDI INC.

ALABAMA
 CITY OF FAIRHOPE

PROFESSIONAL
 LICENSED PROFESSIONAL
 KHA PROJECT
 147670008

DATE
 9/15/2021

SCALE AS SHOWN
 DESIGNED BY MSG
 DRAWN BY SHD
 CHECKED BY MSG

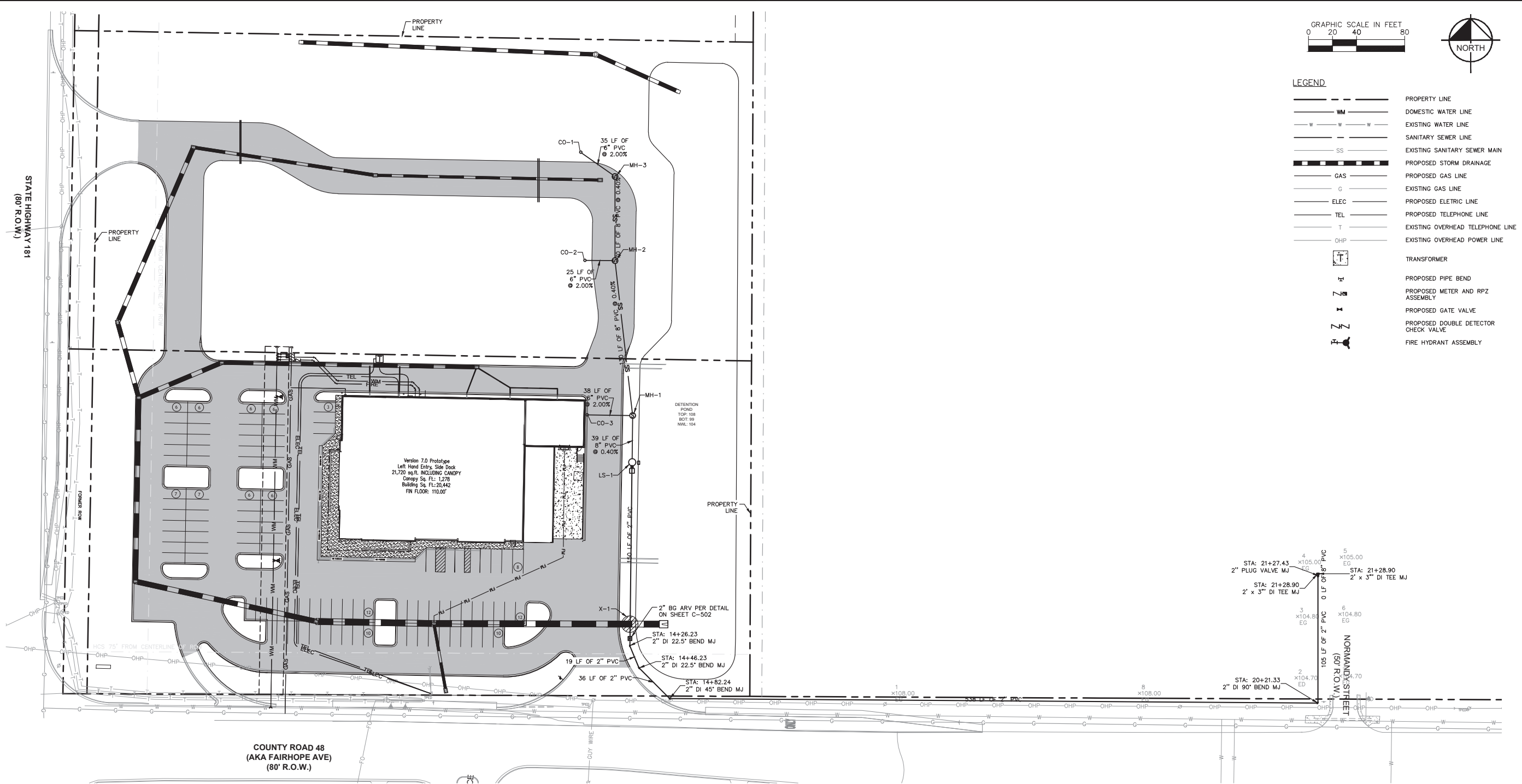
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 06-08-21
 PER WOP CITY COMMENTS
 REVISIONS

DATE
 BY

UTILITY PLAN

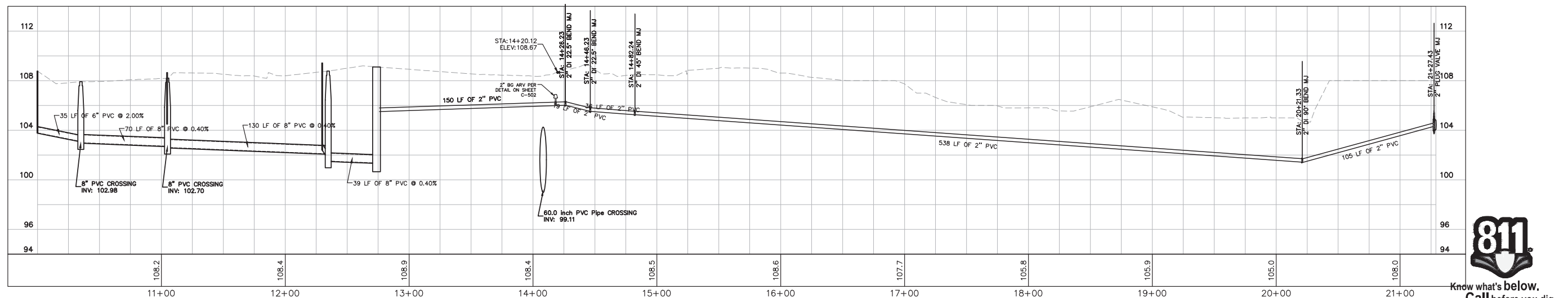
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C-500

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LEGEND

- PROPERTY LINE
- DOMESTIC WATER LINE
- EXISTING WATER LINE
- SANITARY SEWER LINE
- EXISTING SANITARY SEWER MAIN
- PROPOSED STORM DRAINAGE
- PROPOSED GAS LINE
- EXISTING GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING OVERHEAD POWER LINE
- TRANSFORMER
- PROPOSED PIPE BEND
- PROPOSED METER AND RPZ ASSEMBLY
- PROPOSED GATE VALVE
- PROPOSED DOUBLE DETECTOR CHECK VALVE
- FIRE HYDRANT ASSEMBLY



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LICENSED PROFESSIONAL
 MATTHEW S. GILLESPIE, P.E.
 ALABAMA LICENSE NUMBER 34176

KHA PROJECT 147670008
 DATE 9/15/2021
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 DRAWN BY SHD
 CHECKED BY MSC DATE: _____

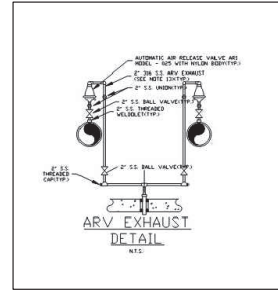
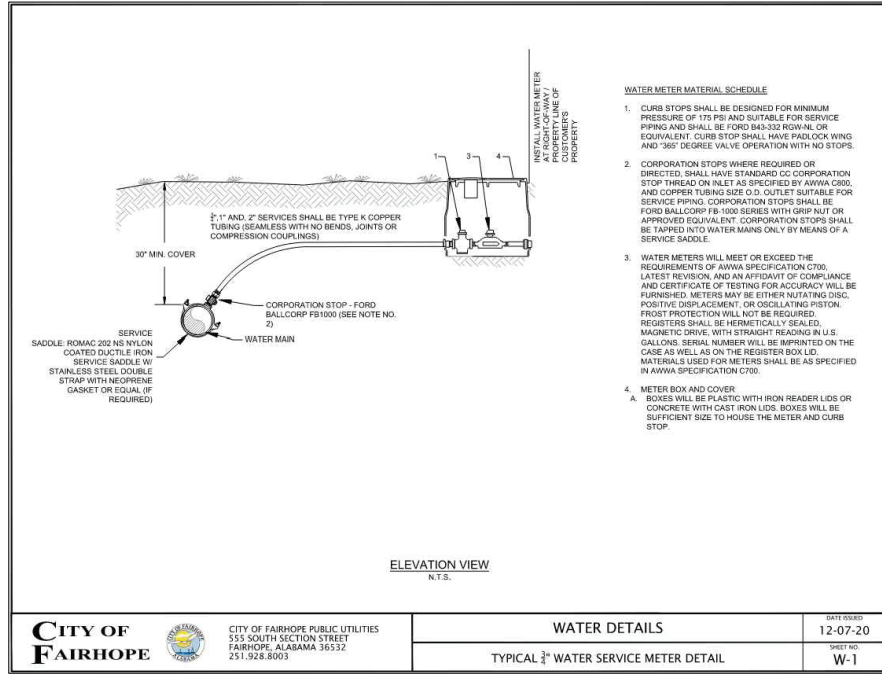
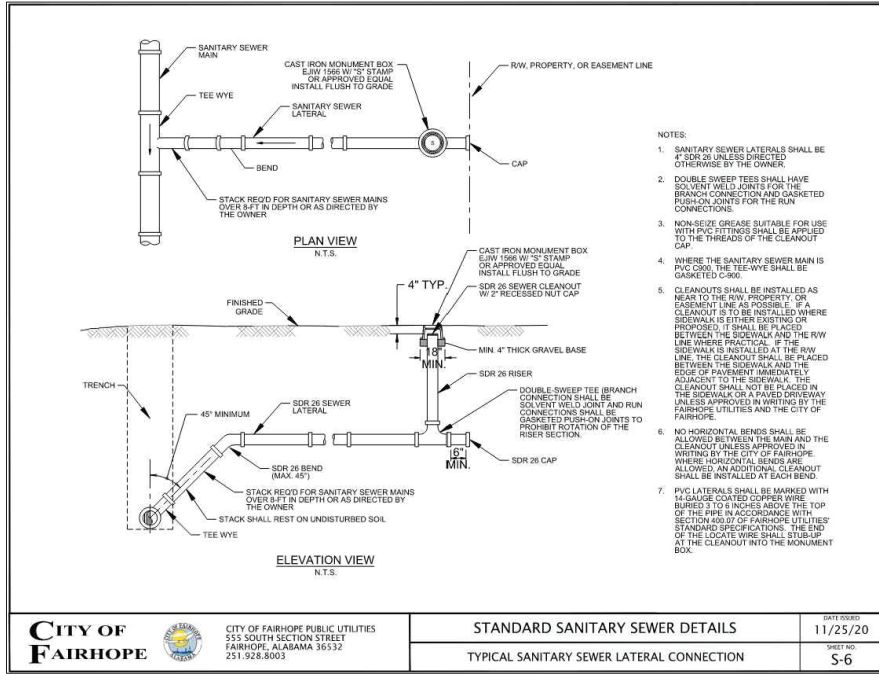
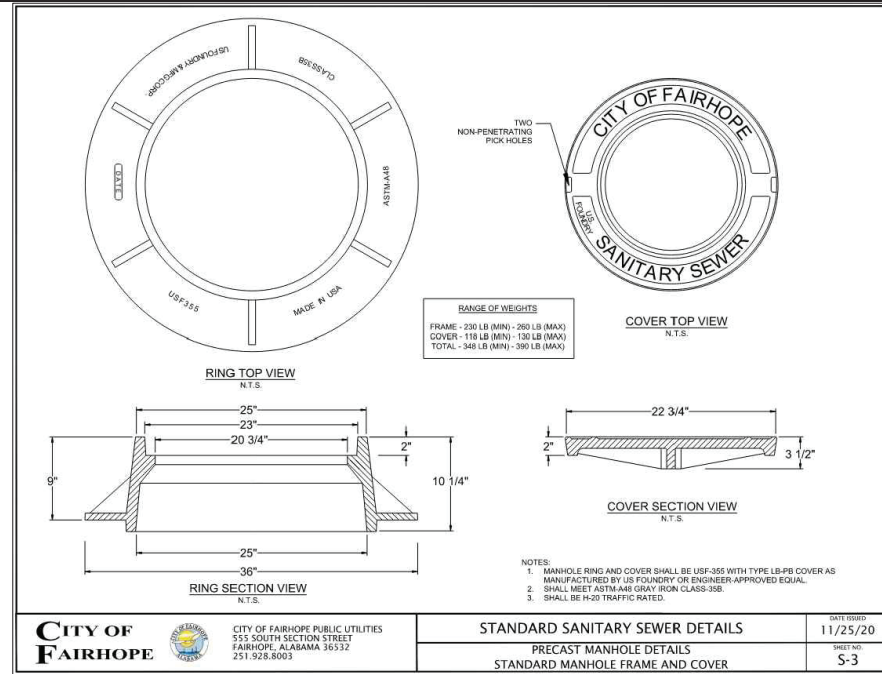
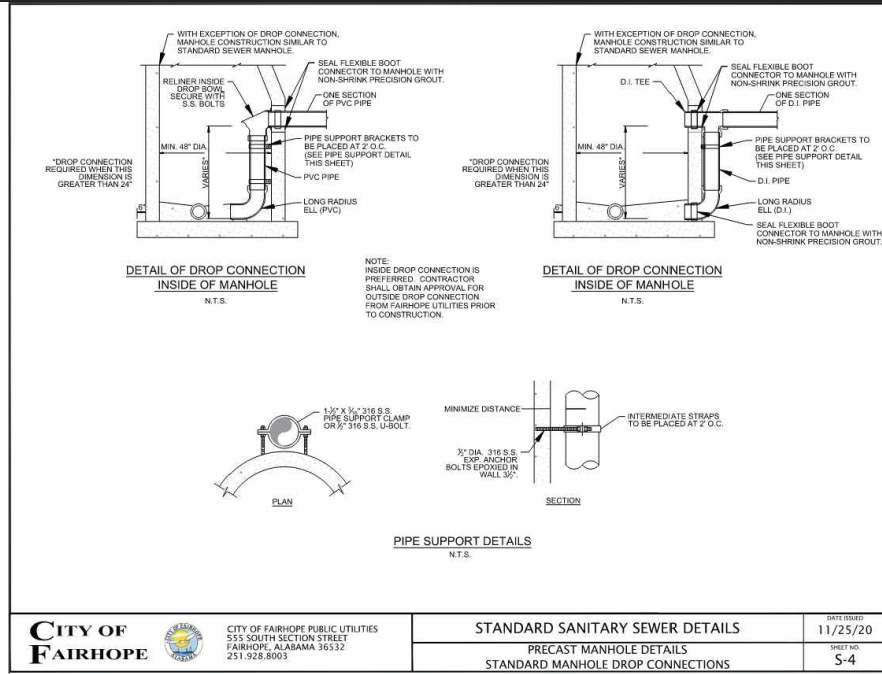
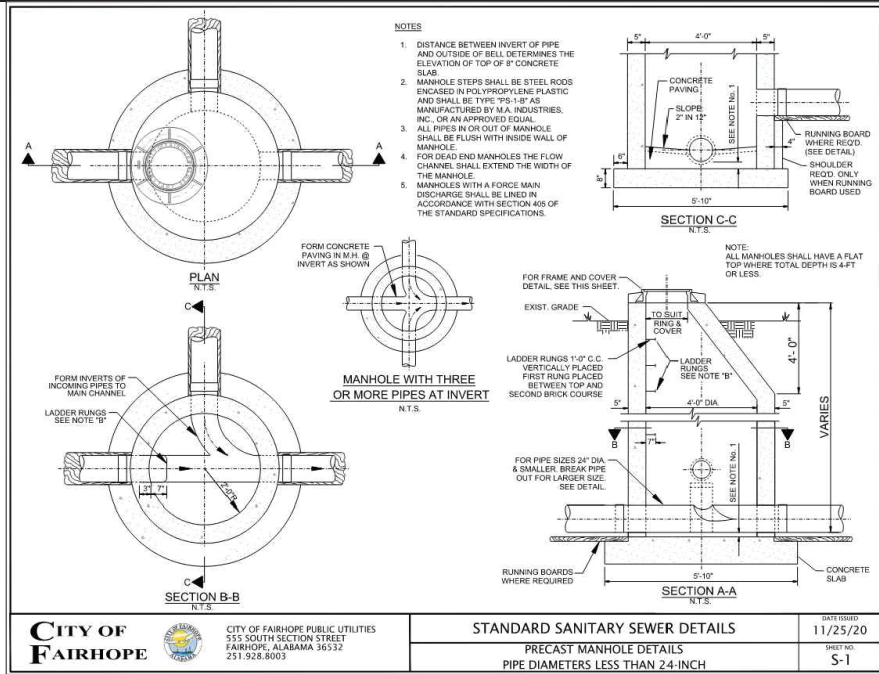
UTILITY PLAN

ALDI FAIRHOPE PREPARED FOR ALDI INC.
 ALABAMA
 CITY OF FAIRHOPE

SHEET NUMBER C-501

NO. BY DATE REVISIONS

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UTILITY DETAILS

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SCALE: AS SHOWN
DESIGNED BY: MSG
DRAWN BY: SHD
CHECKED BY: MSC

LICENSED PROFESSIONAL: MATTHEW S. GILLESPIE, P.E.
ALABAMA LICENSE NUMBER: 34176

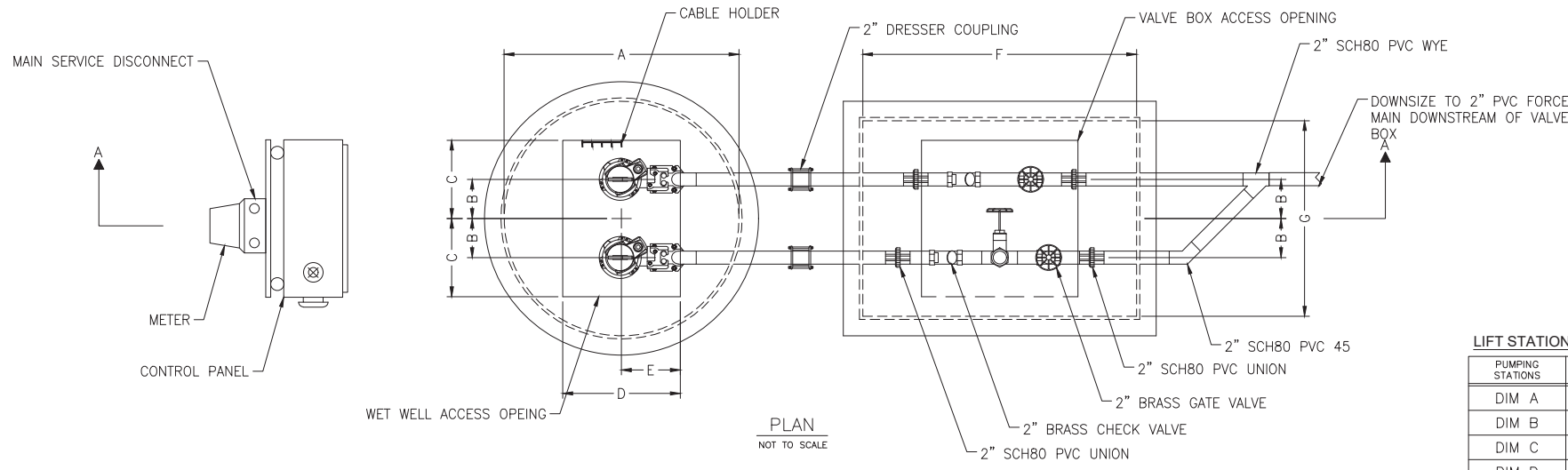
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PREPARED FOR
ALDI INC.

CITY OF FAIRHOPE ALABAMA

SHEET NUMBER
C-502



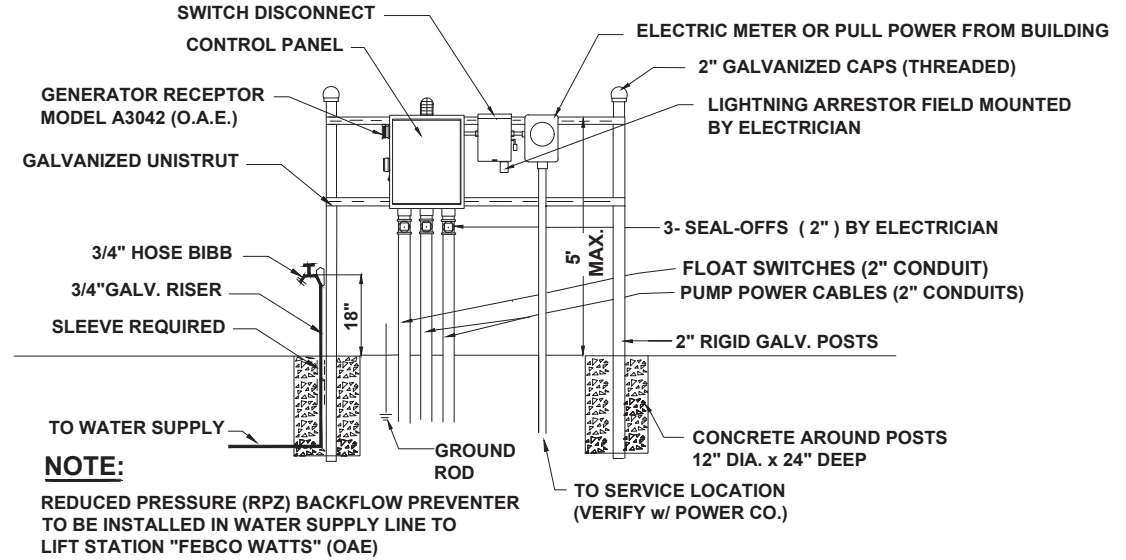
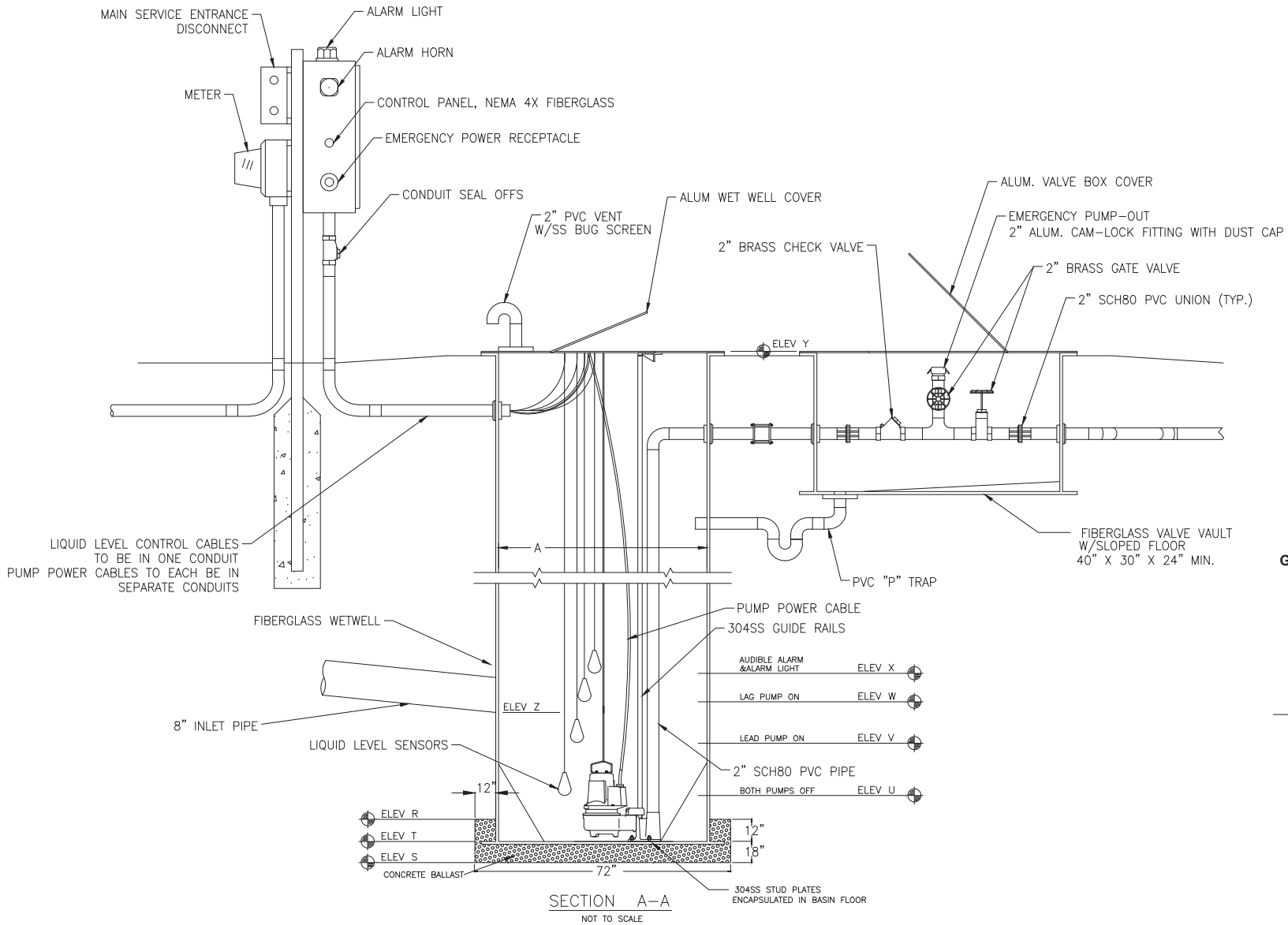
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LIFT STATION DATA

PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.
DIM A	48"	
DIM B	*	
DIM C	*	
DIM D	*	
DIM E	*	
DIM F MIN.	*	
DIM G MIN.	*	
ELEV R		97.34
ELEV S		94.84
ELEV T		96.34
ELEV U		98.34
ELEV V		99.84
ELEV W		100.34
ELEV X		100.84
ELEV Y		109.35
ELEV Z		101.34

* PER PUMP MANUFACTURER



NOTE:
REDUCED PRESSURE (RPZ) BACKFLOW PREVENTER TO BE INSTALLED IN WATER SUPPLY LINE TO LIFT STATION "FEBCO WATTS" (OAE)

No.	REVISIONS	DATE	BY

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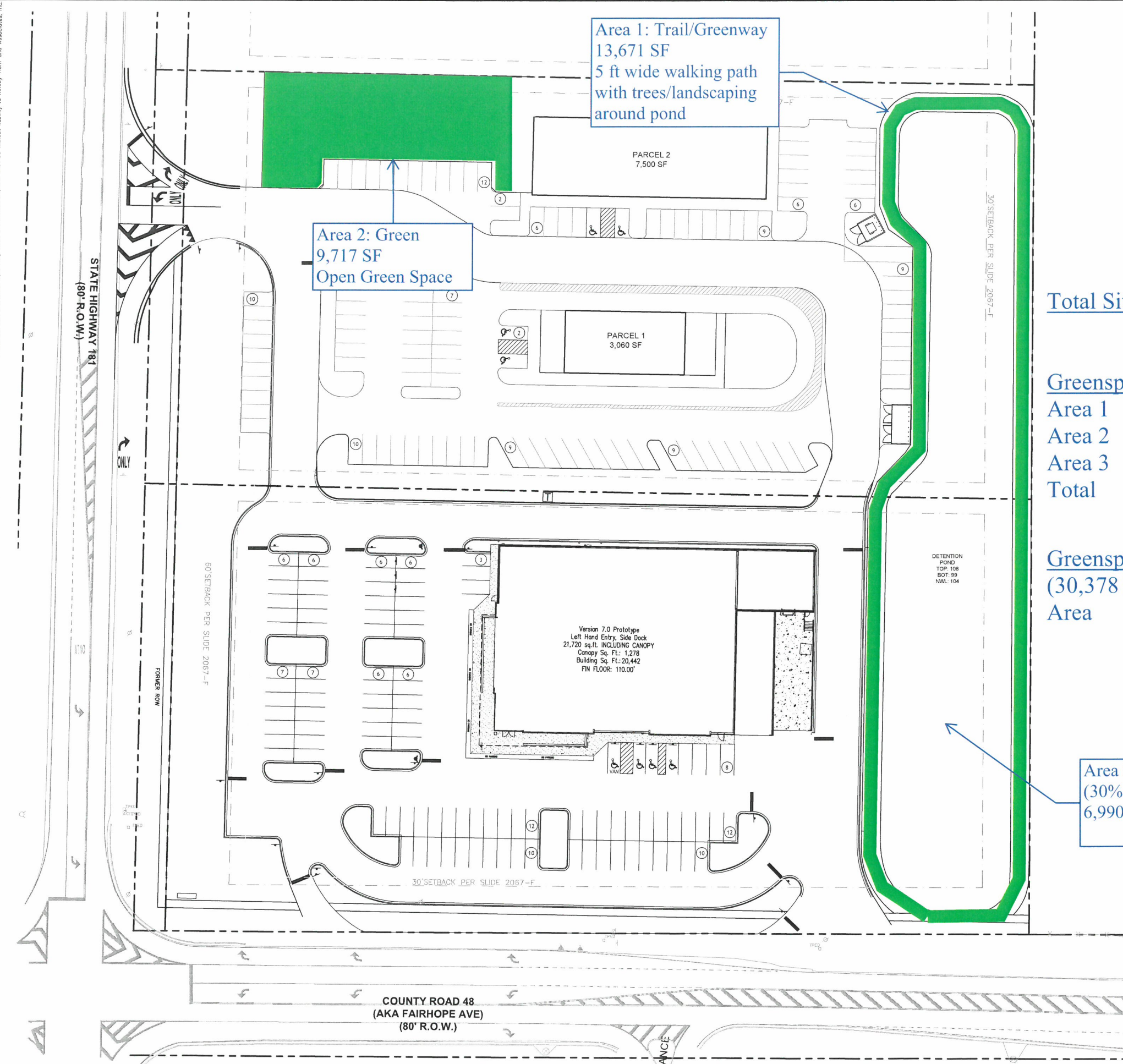
LIFT STATION PLAN

ALDI FAIRHOPE
PREPARED FOR
ALDI INC.

CITY OF FAIRHOPE ALABAMA



Plotted By: Green_Sam_Sheet Set: ALDI Fairhope Layout: C-300 SITE PLAN August 23, 2021 01:57:02pm K:\VRB_LDEV\ALDIN6 - Fairhope\CADD\Exhibit\Production_Crossing.dwg
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Area 1: Trail/Greenway
 13,671 SF
 5 ft wide walking path
 with trees/landscaping
 around pond

Area 2: Green
 9,717 SF
 Open Green Space

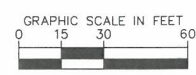
Area 3: Green Space Credit
 (30% of Wet Pond)
 6,990 SF

PARCEL 2
 7,500 SF

PARCEL 1
 3,060 SF

Version 7.0 Prototype
 Left Hand Entry, Side Dock
 21,720 sq.ft. INCLUDING CANOPY
 Canopy Sq. Ft.: 1,278
 Building Sq. Ft.: 20,442
 FIN FLOOR: 110.00'

DETENTION
 POND
 TOP: 108
 BOT: 99
 NWL: 104



Total Site Area 299,801 SF

Greenspace Summary

Area 1	13,671 SF
Area 2	9,717 SF
Area 3	6,990 SF
Total	30,378 SF

Greenspace Calculation

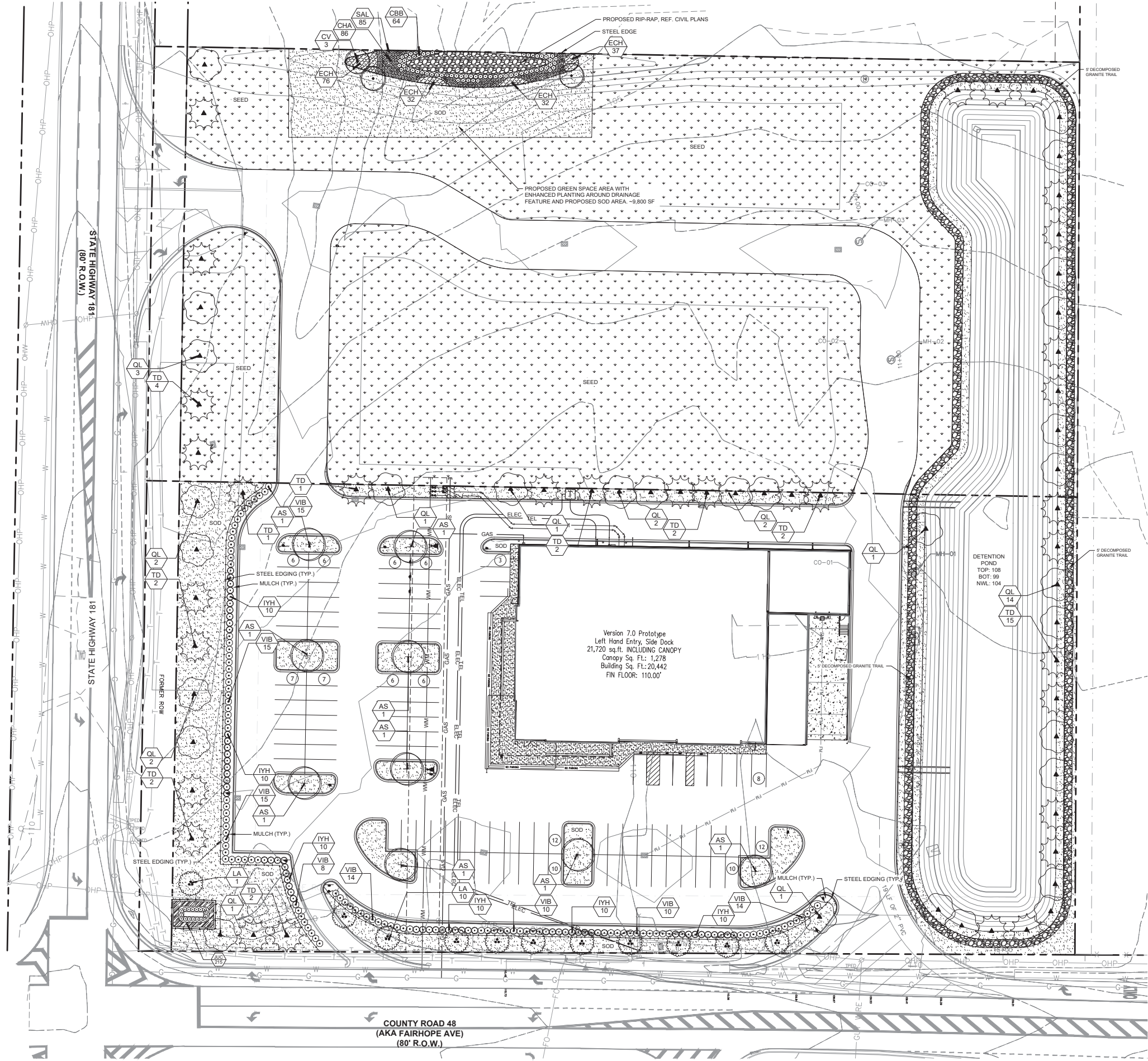
$(30,378 \text{ SF}) / (299,801 \text{ SF}) = 10.13\%$ of Total Area



Know what's below.
 Call before you dig.

GREENSPACE EXHIBIT	Kimley»Horn <small>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 188 SOUTH ORANGE AVENUE, STE 1000, ORLANDO, FL 32801 PHONE: 407-888-1511 WWW.KIMLEY-HORN.COM CA 00000511</small>	LICENSED PROFESSIONAL _____ DATE: 8/2/2021 SCALE: AS SHOWN DESIGNED BY: MSC DRAWN BY: SHD CHECKED BY: MSC	ALABAMA CITY OF FAIRHOPE SHEET NUMBER	ALDI FAIRHOPE PREPARED FOR ALDI INC.
KHA PROJECT 147570008	DATE 8/2/2021	SCALE AS SHOWN	DESIGNED BY MSC	DRAWN BY SHD
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KHA PROJECT: 147670008
 DATE: 07/29/2021
 SCALE: AS SHOWN
 DESIGNED BY: BMG
 DRAWN BY: BMG
 CHECKED BY: MER

STATE OF ALABAMA
 TROY L. WILSON
 LANDSCAPE ARCHITECT
 9/14/2021

PLANTING PLAN

ALDI - FAIRHOPE, AL
 PREPARED FOR
ALDI
 BALDWIN COUNTY ALABAMA

SHEET NUMBER
LP1.01



Stormwater Management Report
for Baldwin County, Alabama

ALDI Grocery Store

Baldwin County, Alabama

Prepared by:

Kimley-Horn and Associates, Inc.
189 South Orange Avenue, Suite 1000
Orlando, Florida 32801
(407) 409-7007

CA#00000511

Matthew S. Gillespie, P.E. State of Alabama
Professional Engineer, License No. 34176

This item has been electronically signed and
sealed by Matthew S. Gillespie, P.E. using
a Digital Signature.

September 15, 2021

Printed copies of this document are not
considered signed & sealed and the
signature must be verified on any electronic
copies.

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Matthew S. Gillespie, P.E.
AL P.E. # 34176

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6	COLLECTION SYSTEM.....	8
7	SUMMARY.....	9

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FEMA FIRM MAP	APPENDIX C
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PRE-DEVELOPMENT MODEL CALCULATIONS	APPENDIX F
POST-DEVELOPMENT MODEL CALCULATIONS	APPENDIX G
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ALDI Grocery Store, Baldwin County, AL

DRAINAGE SUMMARY

1 EXECUTIVE SUMMARY

The proposed project consists of a 21,720 SF ALDI Grocery Store located near the NE quadrant of the intersection of Alabama Highway 181 and Baldwin County Highway 48 (also known as Fairhope Avenue) in Baldwin County, Alabama. The lot currently consists of undeveloped pastureland and woods with existing driveways and structures. The project is bordered to the north by a small commercial building, 4U Roofing, and undeveloped land, to the east by residential property, to the west by Alabama Highway 181, and to the south by Baldwin County Highway 48.

With the proposed development, new stormwater management facilities will be constructed to serve the project providing treatment and attenuation before discharging into the existing onsite ditch located on the north edge of the property. Treatment will be provided via a wet detention pond located on the east side of the property. The calculations performed to accompany this report compare the pre- and post-development discharge for the 2-year, 5-year, 10-year, 25-year, and 100-year 24-hour design storms. Design parameters have been addressed in accordance with the requirements of Section 7-18 (Ordinance No. 1281) of the City of Fairhope Municipal Code and per Article V Section F (Section 8 (a.), (1), and (2)) of the Stormwater Standards of the City of Fairhope Subdivision Regulations.

2 EXISTING CONDITIONS

The project site is a ±6.79 AC pasture and woodland property. The lot currently consists of undeveloped pastureland/woods and existing driveways and structures, which slope generally to the northern property line. Under existing conditions, the stormwater runoff drains offsite via overland/sheet flow to the north edge of the property and ultimately discharges to an existing onsite ditch. There is also an existing roadside ditch in the Alabama Highway 181 right-of-way on the northwest corner of the property and the Baldwin County Highway 48 right-of-way on the southeast corner. Appendix F details the pre-development conditions of the site.

3 PROPOSED CONDITIONS

This development utilizes the existing onsite ditch to the north, the existing Alabama Highway 181 roadside ditch to the northwest, the existing Baldwin County Highway 48 roadside ditch to the southeast and an onsite 0.84 AC wet detention pond. The impervious area increases from the pre-development conditions. Underground drainage pipes will be installed to collect and convey the stormwater to the wet detention pond that will be constructed along the east side of the property. When the capacity of the wet detention pond is reached, the stormwater is conveyed to the existing onsite ditch. The proposed wet detention pond has been designed to remove 80% TSS per Article V Section F of the Stormwater Standards of the City of Fairhope Subdivision Regulations. Appendix G details the post-development conditions of the site.

4 WATER QUANTITY

The post-development discharge rates for the existing onsite ditch located on the north edge on the site are greater than the pre-development rates for the 5-year and 10-year 24-hour design storms. The post-development discharge rates for the existing Alabama Highway 181 roadside ditch are slightly greater for each of the design storms, but closely mimic the pre-developed condition. For the existing Baldwin County Highway 48 roadside ditch, post-development discharge rates are lower for each of the design storms. The provided treatment volume of the wet detention pond at the elevation of the weir is approximately 0.695 AC-FT. When staging from storm events exceeds the provided treatment volume, stormwater will flow over the bypass weir, set at elevation 105.2', and discharge to the existing onsite ditch to the north. This information and corresponding calculations are shown in Appendix E. The onsite stormwater system has been analyzed for the 2-year, 5-year, 10-year, 25-year, and 100-year 24-hour rainfall events. The discharge is below the allowable discharge rate for the 2-year, 25-year, and 100-year storm events. The individual analyses with required rainfall amounts and durations are given in the drainage models in the appendix. Rainfall amounts are summarized as follows:

<i>Storm Event</i>	<i>Rainfall (in.)</i>
2 year – 24 hour	5.94
5 year – 24 hour	7.54
10 year – 24 hour	9.07
25 year – 24 hour	11.50
50 year – 24 hour	13.60
100 year – 24 hour	15.90

The tables below show a summary of the pre- and post-development runoff conditions for the property.

To North Existing Ditch			
Storm	<u>PRE</u> Peak Outflow (CFS)	<u>POST</u> Peak Outflow (CFS)	Δ
2YR-24HR	13.85	8.65	-5.20
5YR-24HR	19.93	16.37	-3.56
10YR-24HR	25.90	23.87	-2.03
25YR-24HR	35.49	33.66	-1.83
100YR-24HR	52.95	50.63	-2.32
*Total peak outfall to downstream existing drainage ditch along the north side of the property.			
To Alabama Highway 181			
Storm	<u>PRE</u> Peak Outflow (CFS)	<u>POST</u> Peak Outflow (CFS)	Δ
2YR-24HR	0.70	0.91	0.21
5YR-24HR	0.94	1.18	0.24
10YR-24HR	1.17	1.43	0.26
25YR-24HR	1.54	1.83	0.29
100YR-24HR	2.20	2.55	0.35
*Total peak outfall to the northwest corner of the site to existing Hwy 81 roadside ditch.			
To Baldwin County Highway 48			
Storm	<u>PRE</u> Peak Outflow (CFS)	<u>POST</u> Peak Outflow (CFS)	Δ
2YR-24HR	1.75	0.91	-0.84
5YR-24HR	2.41	1.16	-1.25
10YR-24HR	3.04	1.40	-1.64
25YR-24HR	4.04	1.78	-2.26
100YR-24HR	5.85	2.46	-3.39
*Total peak outfall to the southeast corner of the site to existing Hwy 48 roadside ditch.			

Wet Pond Stages					
Storm Interval	Top of Pond	Post-Dev Peak Stage	Freeboard (FT)	Peak Inflow (CFS)	Peak Outflow (CFS)
2YR-24HR	108.00	105.88	2.12	24.15	15.96
5YR-24HR	108.00	106.29	1.71	31.44	15.96
10YR-24HR	108.00	106.61	1.39	38.49	22.48
25YR-24HR	108.00	107.05	0.95	49.40	31.50
100YR-24HR	108.00	107.73	0.27	68.68	47.41

Section 7-18 (Ordinance No. 1281) of the City of Fairhope Municipal Code requires that peak flows from the 25-year design storm be retained onsite. The proposed system allows for peak flow rates from the design storms displayed above to be attenuated and provides discharge rates below the required conditions. Also, the Stormwater Standards of the City of Fairhope Subdivision Regulations requires conditions for “Streambank Protection”. The proposed system results in a post-development discharge for the 2-year 24-hour storm event that is lower than the discharge for the pre-development conditions.

5 WATER QUALITY

Water quality treatment has been provided for the entire contributing drainage area less the roof and water surface. There is a layer of clay underneath the surface of the site that prohibits effective percolation. Treatment has been provided for the first 1.8 inches of runoff across the site area.

An increase in the impervious area of approximately 5.10 AC from the existing conditions was considered in the stormwater modeling. This increase in impervious area accounts for the conditions at the completion of the project as well as future development. The Drainage Basin Summary in Appendix E displays this information.

ALDI Building Area =	0.50 AC
Proposed Pavement =	1.91 AC
Future Impervious =	2.23 AC
Total Impervious Area =	4.64 AC

Proposed Pervious =	1.15 AC
Future Pervious =	1.00 AC
Total Pervious Area =	2.15 AC

Total ALDI Development Area =	6.79 AC
--------------------------------------	----------------

Impervious Offsite Area =	1.04 AC
Pervious Offsite Area =	0.49 AC
Total Offsite Contributing Area =	1.53 AC

<u>Total Analyzed Area =</u>	<u>8.32 AC</u>
-------------------------------------	-----------------------

Required Treatment

$$WQ_v = (P * R_v * A)/12$$

$$R_v = 0.015 + (0.0092 * 61.9\% \text{ Impervious}) = 0.584$$

$$WQ_v = (1.8\text{IN} * 0.584 * 8.32\text{AC})/12$$
$$= \mathbf{0.73 \text{ AC-FT}}$$

Total Treatment Provided = 0.73 AC-FT

The treatment volume stays detained in the proposed wet detention pond. Calculations for the pond water balance and treatment is provided in Appendix G.

6 COLLECTION SYSTEM

The proposed storm sewer collection system was designed in accordance with the 25-year 24-hour storm event; therefore, the drainage pipes and structures were designed to handle the rainfall intensity of 11.50"/hr.

Catch Basin CB-11 has additional storage volume above the inlet top. CB-11 is located in a lawn area within the roadside swale of Baldwin County Highway 48. A summary of the collection system stages is displayed below.

COLLECTION SYSTEM STAGES				
25YR-24HR STORM EVENT				
Inlet	Top of Inlet (Elev.)	Peak Storm Event Stage (Elev.)	Freeboard (FT)	Peak Storm Event Flow (CFS)
CB-1	107.85	107.65	0.20	3.74
CB-2	108.70	107.59	1.11	7.62
CB-3	108.70	107.51	1.19	10.02
CB-4	108.00	107.49	0.51	18.51
CB-5	107.80	107.48	0.32	8.46
CB-6	107.45	107.43	0.02	9.07
CB-7	107.45	107.42	0.03	29.87
CB-8	107.50	107.29	0.21	32.46
CB-9	107.50	107.15	0.35	35.35
CB-10	107.65	107.10	0.55	40.34
CB-11	106.25	107.11	-0.86	2.48

7 SUMMARY

The stormwater management system proposed under this application meets the criteria outlined in Section 7-18 (Ordinance No. 1281) of the City of Fairhope Municipal Code and Article V Section F of the Stormwater Standards of the City of Fairhope Subdivision Regulations for the 2-year, 5-year, 10-year, 25-year, and 100-year 24-hour design storms. The proposed stormwater wet detention pond provides water quality treatment for 1.8 inches of runoff from the drainage area using the formula specified previously with removal of 80% TSS. Stormwater attenuation is provided to reduce the peak discharge in a majority of storm events to that below the pre-development conditions. Thus, authorization is requested to construct the proposed ALDI Grocery Store project.

ENGINEER'S CERTIFICATE

I, Matthew S. Gillespie, the undersigned, a Registered Professional Engineer in the State of Alabama holding Certificate Number PE 34176, hereby certify that I have reviewed the design herein which was done under my direct control and supervision and that, to the best of my professional knowledge and to the best of my belief, conforms to the requirements of Section 7-18 of the City of Fairhope Municipal Code, Article V Section F of the Stormwater Standards of the City of Fairhope Subdivision Regulations, and to all other rules, regulations, laws, and ordinances applicable to my design.

Matthew S. Gillespie, PE #34176

Date

Name of Project: ALDI Fairhope, AL

Plans which are certified consist of Page C-000 thru C-600, each of which bears my seal and signature.



Traffic Impact Study

ALDI Fairhope

Fairhope, Alabama

Report Prepared:

August 2021

Prepared for:

ALDI Fairhope

For Submittal to:

The City of Fairhope

Prepared by:

Kimley»»Horn

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Traffic Impact Study

ALDI Fairhope

Fairhope, Alabama

Report Prepared:

August 2021

Prepared for:

ALDI Fairhope

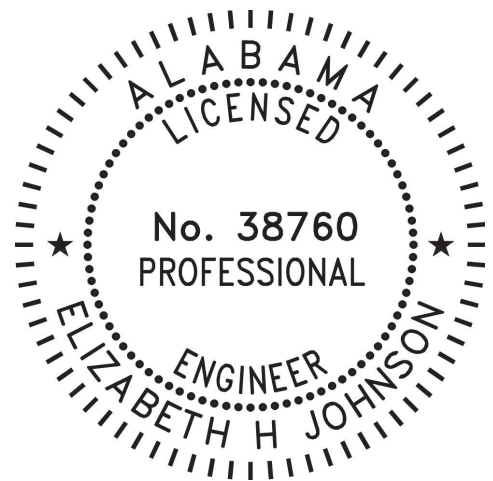
For Submittal to:

The City of Fairhope

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1.0 INTRODUCTION

This report presents the analysis of the anticipated traffic impacts associated with the *ALDI Site* development, which is expected to be completed in 2022 (referred to herein as “build-out year”). This study evaluates the impact of constructing a 20,442 SF supermarket, a 3,060 SF fast food restaurant, and a 7,500 SF commercial parcel. The site is located to the east of AL 181 and north of CR 48/Fairhope Avenue in the City of Fairhope, Baldwin County, Alabama.

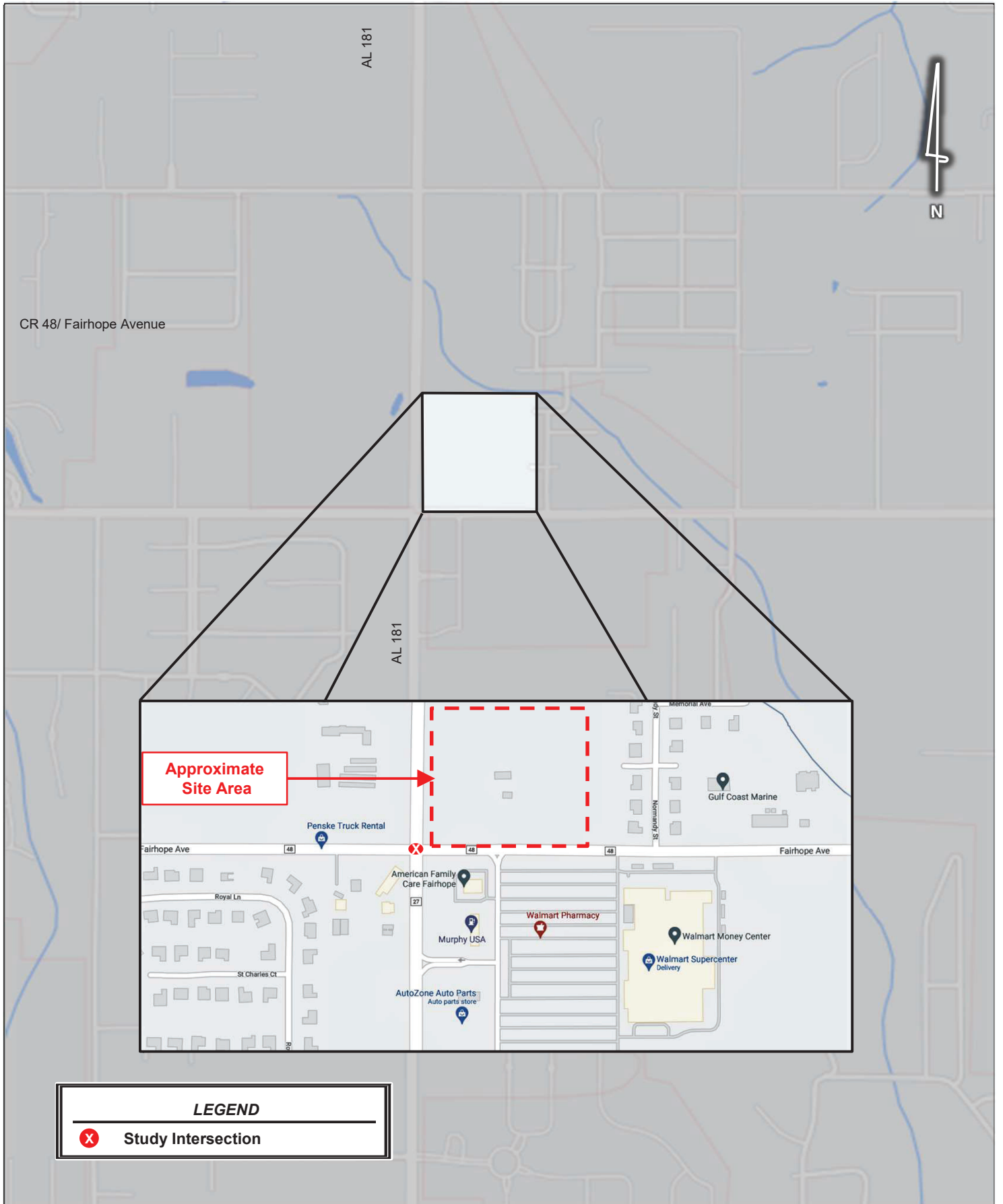
Figure 1 provides a location map of the project site. **Figure 2** provides an aerial image that captures the project site and the study roadway network. A site plan is also included in **Appendix A**.

2.0 STUDY AREA DETERMINATION

The study area consists of the following existing intersection:

1. AL 181 at CR 48/Fairhope Avenue (signalized)

For purposes of the traffic impact study, CR 48/ Fairhope Avenue considered to have an east-west orientation. AL 181 is considered to have a north-south orientation.





Approximate
Site Area

3.0 EXISTING TRAFFIC CONDITIONS

3.1 ROADWAY CONDITIONS

The roadways within the study network have the following characteristics:

AL 181 is a three-lane, minor arterial roadway with a 35-mph posted speed limit. ALDOT counts taken along AL 181 indicate an annual average daily traffic (AADT) of approximately 14,000 vehicles per day in 2020.

CR 48/Fairhope Avenue is a two-lane, minor arterial roadway with a 35-mph posted speed limit. ALDOT counts taken along CR48/Fairhope Avenue (east and west) indicate an annual average daily traffic (AADT) of approximately 10,000 vehicles per day in 2020.

3.2 VEHICULAR VOLUMES

Vehicle peak hour turning movement counts were performed at the following study intersections:

1. AL 181 at CR 48/Fairhope Avenue (signalized)

The peak hour turning movement counts during the AM period (7:00 – 9:00) and PM period (4:00 – 6:00) were performed on Tuesday, July 27th, 2021. The AM and PM peak hours for the intersection are listed below in **Table 1**. The peak hour traffic counts were used to perform the analysis presented in this report.

Additionally, a 24-Hour volume count was performed along AL-181 and CR 48/Fairhope Avenue.

Table 1: Intersection Peak Hours		
Intersection	AM Peak Hour	PM Peak Hour
1. AL 181 at CR 48/Fairhope Avenue (signalized)	7:15 AM – 8:15 AM	4:30 PM – 5:30 PM

The complete traffic count data is provided in **Appendix B**.

3.3 EXISTING VOLUME ADJUSTMENT

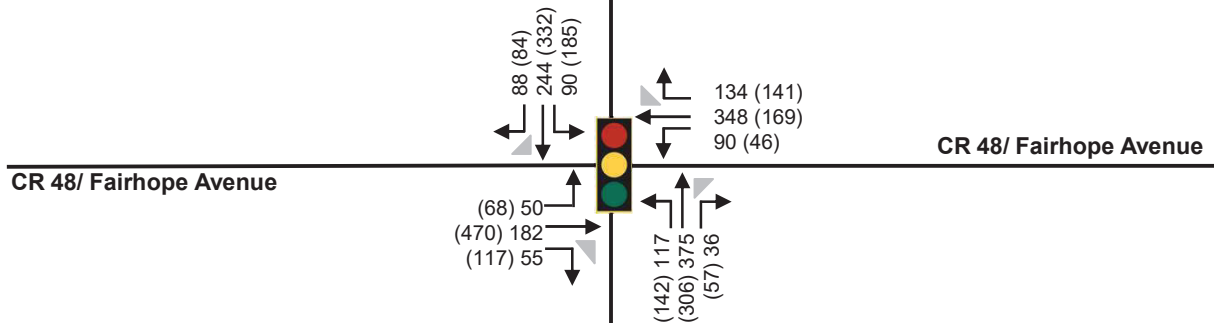
Due to COVID-19’s widespread impact on traffic conditions and the impact of collecting traffic counts during summer season, the Average Daily Traffic (ADT) volumes collected in 2021 and Annual Average Daily Traffic (AADT) volumes from ALDOT’s Alabama Traffic Data collected in January 2020 were used to compare typical traffic volumes in the vicinity of the project site.

The volume comparison is shown in tabular format in **Table 2**.

Table 2: Traffic Count Comparison and Adjustment Calculations										
Count Station	Location	ALDOT					Collected			
		2020 AADT	ADT Date	ADT	AM Peak	PM Peak	2021 ADT	AM Peak	PM Peak	
6008	AL 181 at CR 48/Fairhope Avenue	14,000	1/8/2020	14,250	1,109	1,206				
		Estimated 2021 AADT w/ Growth Factor		14,535	1,131	1,230	13,161	889	1,009	
Difference Calculations		ADT			AM Peak			PM Peak		
		Vol	Percent	Factor	Vol	Percent	Factor	Vol	Percent	Factor
6008	AL 181 at CR 48/Fairhope Avenue	-1,374	-10%	1.1	-242	-21%	1.3	-221	-18%	1.2

As a result of the volume comparison, it was determined that an adjustment factor of 1.1 should be used for all roadways during the AM and PM peak. The complete traffic count data is provided in **Appendix B**.

Figure 3 illustrates the Estimated 2021 traffic conditions for the AM and PM peak hours and the existing roadway geometry.



Peak Hours	
AM	7:15 AM – 8:15 AM
PM	4:30 PM – 5:30 PM

LEGEND	
	Existing Laneage
XX	AM Peak Hour Traffic Volume
((XX))	PM Peak Hour Traffic Volume
	Existing Traffic Signal

4.0 PROJECTED BACKGROUND (NON-PROJECT) TRAFFIC

Projected background (non-project) traffic is defined as the expected traffic on the roadway network in the future year(s) absent the *ALDI Site* development. The Existing 2021 peak hour traffic volumes were increased by 2% for one (1) year to account for the expected background growth in traffic through year 2022 build-out of the project. **Figure 4** illustrates the Projected 2022 No-Build traffic volumes for the AM and PM peak hours.

5.0 PROJECT TRAFFIC

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the proposed development and the distribution and assignment of that traffic through the study roadway network. This traffic impact study evaluated the impacts of adding the new trips generated by the proposed *ALDI Site* development.

5.1 PROJECT SITE ACCESS

Access to the site will be provided via three (3) proposed site driveways, which are shown on the proposed site plan in **Appendix A**. A brief description of the site driveways are as follows:

- Proposed Site Driveway 1 – a proposed full-movement, side-street stop-controlled driveway, approximately 470 feet north of the intersection of AL 181 at CR 48/Fairhope Avenue (Intersection 1), with one (1) ingress lane entering the site and two (2) egress lanes exiting the site.
- Proposed Site Driveway 2 – a proposed right-in right-out, side-street yield-controlled driveway, approximately 420 feet east of the intersection of AL 181 at CR 48/Fairhope Avenue, with one (1) ingress lane entering the site and one (1) egress lane exiting the site.
- Proposed Site Driveway 3 – a proposed right-in, side-street driveway, approximately 150 feet east of AL 181, with one (1) ingress lane entering the site.

The proposed site driveways provide vehicular access to the entire development. Internal private roadways throughout the site provide access to the building and all parking facilities. Refer to the site plan in **Appendix A** for a visual representation of vehicular access and circulation throughout the proposed development.

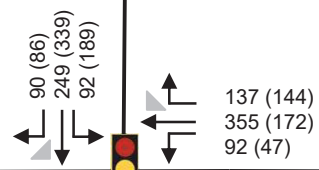


AL 181

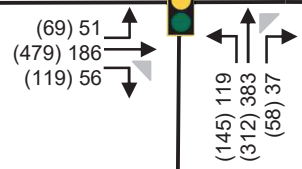
Site Driveway 1
(Proposed)

Site Driveway 3
(Proposed)

Site Driveway 2
(Proposed)




CR 48/ Fairhope Avenue



Peak Hours
AM 7:15 AM – 8:15 AM
PM 4:30 PM – 5:30 PM

LEGEND

- Existing Laneage
- XX AM Peak Hour Traffic Volume
- (XX) PM Peak Hour Traffic Volume
-  Existing Traffic Signal

5.2 TRIP GENERATION

Gross trips associated with the proposed development were estimated using the *Institute of Transportation Engineers' (ITE) Trip Generation Manual, 10th Edition, 2017*, using equations where available. Trip generation for the proposed development was calculated based upon the following land uses:

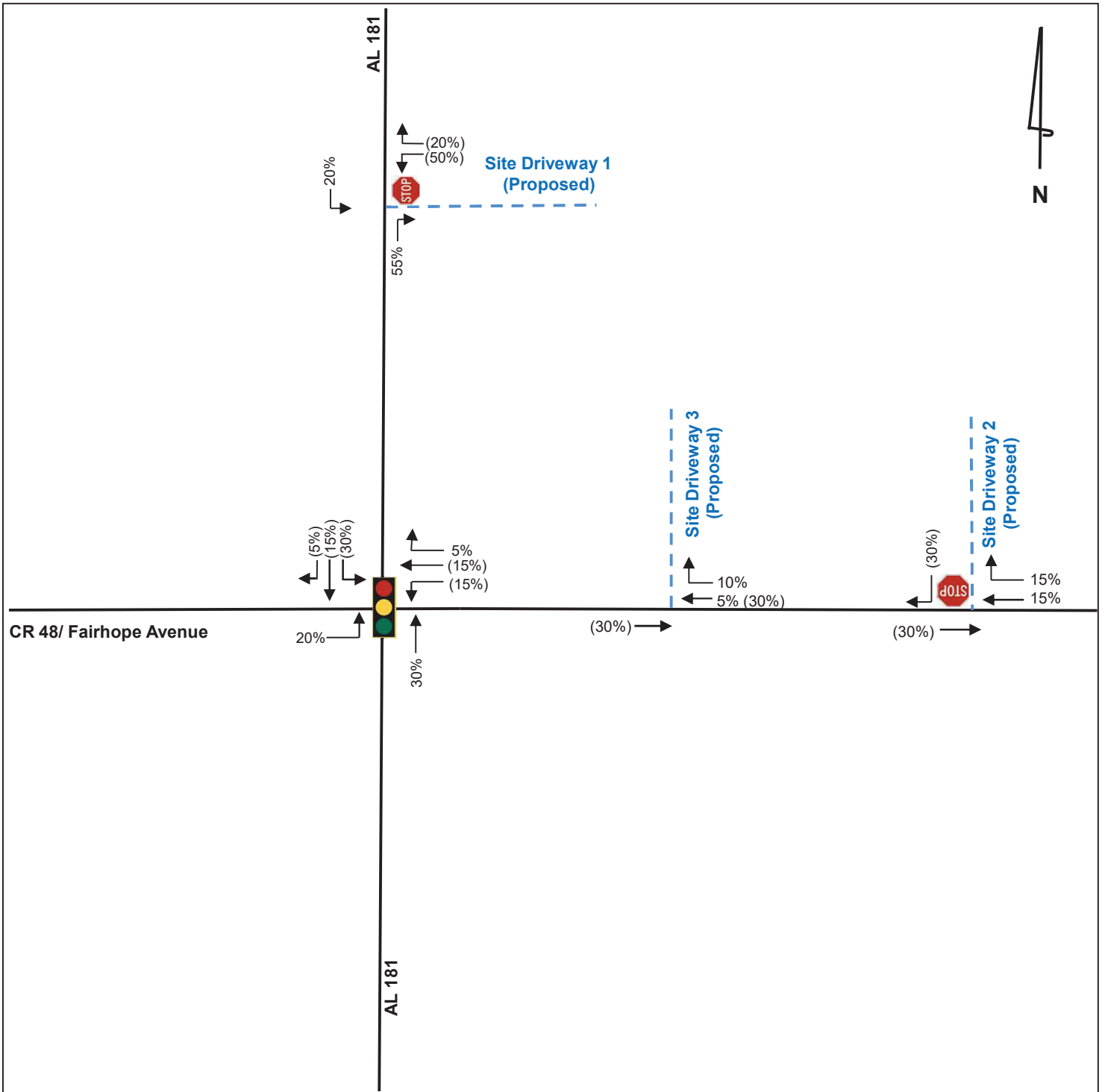
- Land Use 820: Shopping Center
- Land Use 850: Supermarket
- Land Use 932: High Turnover (Sit-Down) Restaurant
- Land Use 934: Fast-Food Restaurant with Drive-Through Window

Table 3 summarizes the trip generation for the proposed development upon full build-out (2022). **Appendix C** provides the detailed trip generation worksheet for the proposed development. Mixed-use and pass-by reductions to gross trips were applied due to the commercial nature of the proposed development. No alternative mode reductions were applied.

Table 3: Project Trip Generation Summary								
Land Use (Intensity)	ITE Code	Density	Daily Traffic		AM Peak Hour		PM Peak Hour	
			Enter	Exit	Enter	Exit	Enter	Exit
Shopping Center	820	3,750 s.f. g.l.a.	71	71	2	2	7	7
Supermarket	850	20,442 s.f.	1,331	1,331	47	31	121	117
High Turnover (Sit-Down) Restaurant	932	3,750 s.f.	210	210	20	17	23	14
Fast-Food Restaurant with Drive-Through Window	934	3,060 s.f.	721	721	63	60	52	48
Total New Trips			2,333	2,333	132	110	203	186

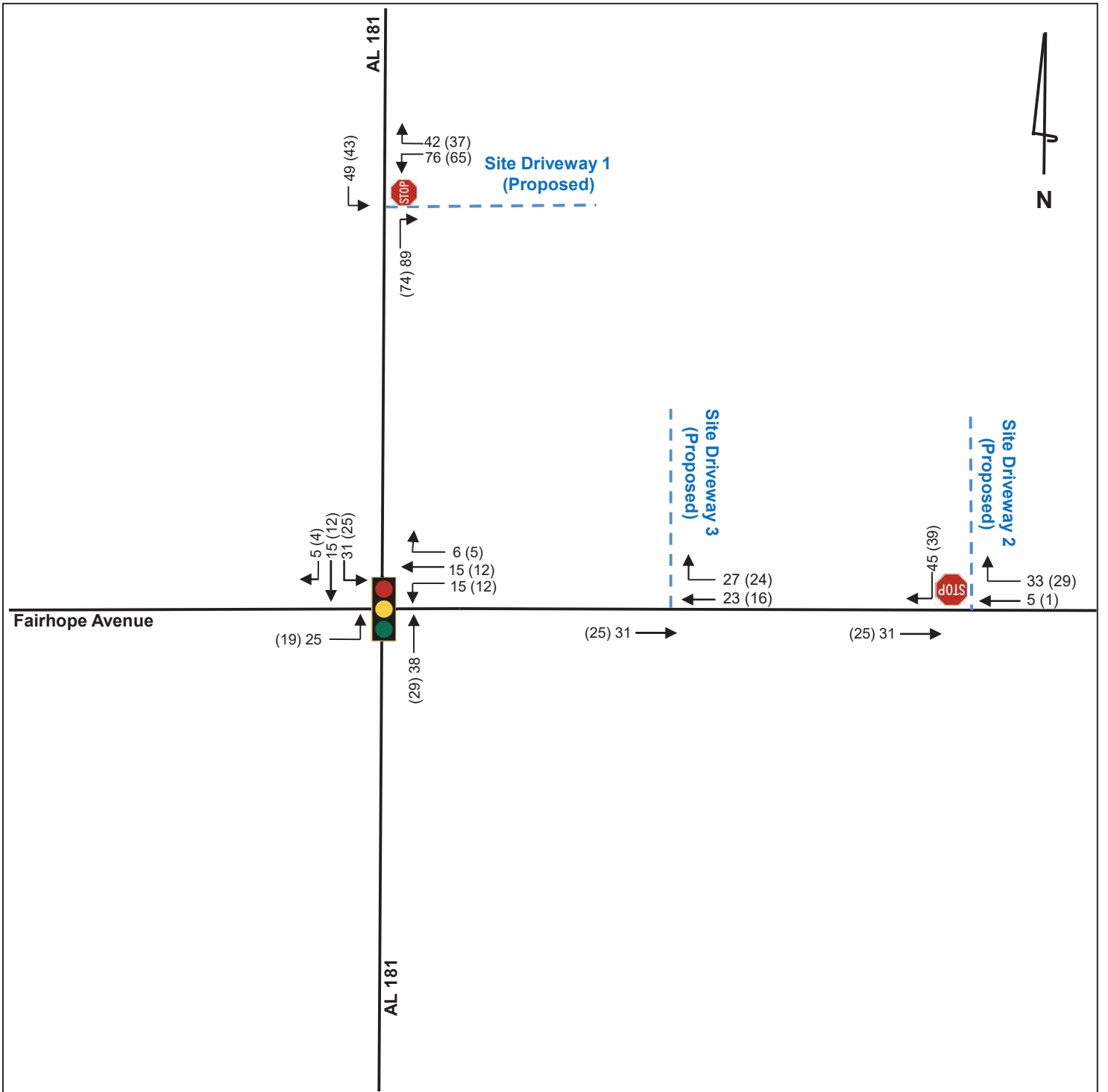
5.3 TRIP DISTRIBUTION AND ASSIGNMENT

The directional distribution and assignment of adding new trips (project trips) related to the proposed development was based on a review of land uses and population densities in the area, existing travel patterns in the area, and engineering judgement. A detailed trip distribution and assignment is shown in **Figure 5**. Based on trip generation from **Table 3** and the anticipated trip distribution, new project trips were assigned to the study roadway network. **Figure 6** illustrates the new project trips distributed throughout the study network. **Figure 7** illustrates the Projected 2022 Build traffic volumes for the AM and PM peak hours. **Appendix D** provides intersection volume worksheets for all study intersections.



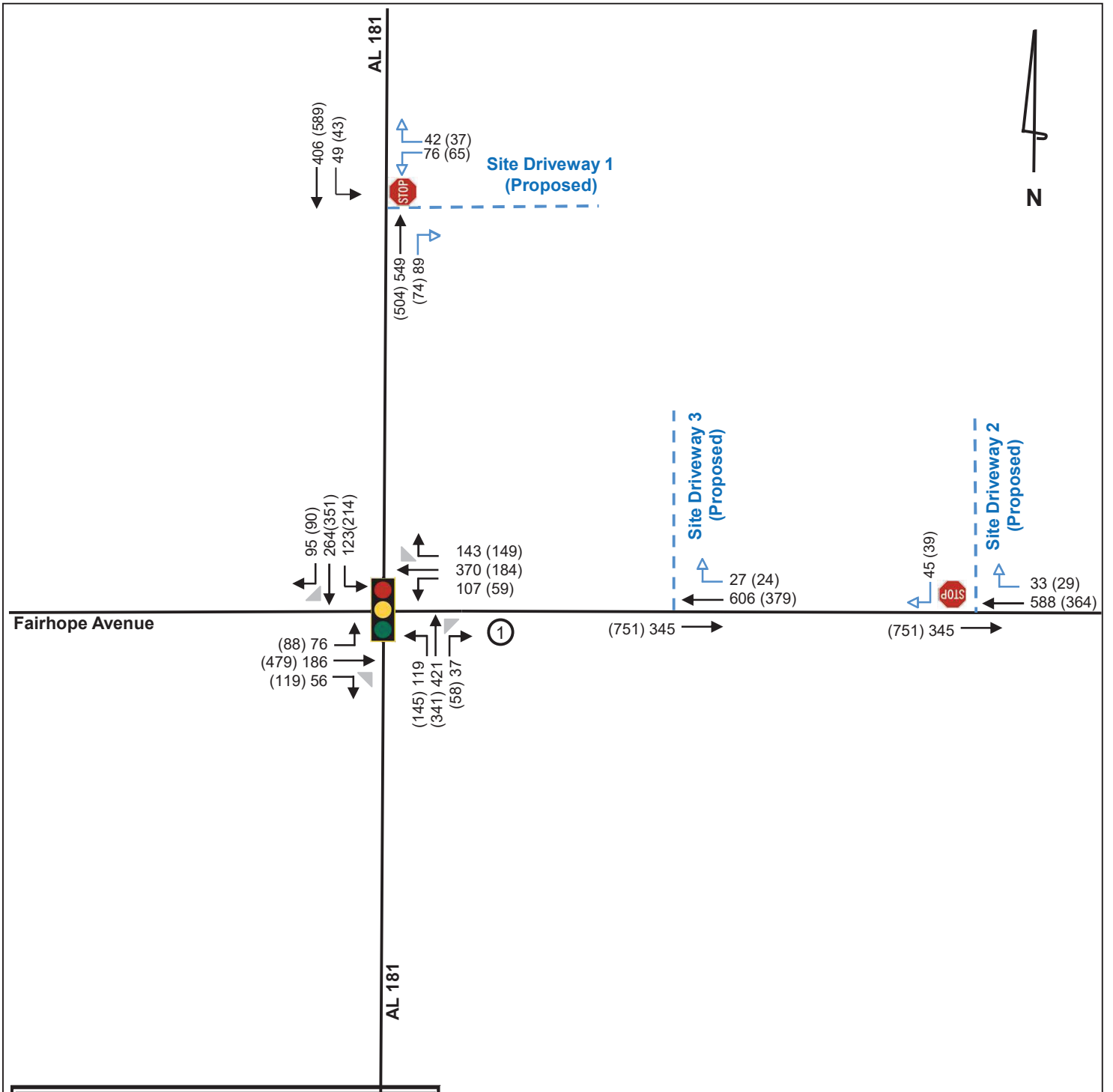
LEGEND

- Turning Movement
- XX % Entering Trips
- (XX) % Exiting Trips
- Existing Traffic Signal
- Proposed Stop Control



LEGEND

- Turning Movement
- XX AM Trip Volumes
- (XX) PM Trip Volumes
- Existing Traffic Signal
- Proposed Stop Control



LEGEND

- Existing Laneage
- Proposed Build Laneage
- XX AM Peak Hour Traffic Volume
- (XX) PM Peak Hour Traffic Volume
- Existing Traffic Signal
- Proposed Stop Control

6.0 LEVEL-OF-SERVICE ANALYSIS

Level-of-service (LOS) determinations were made for the weekday AM and PM peak hours for the study network intersections using *Synchro, Version 11.0*. The program uses methodologies contained in the *6th Edition Highway Capacity Manual* to determine the operating characteristics of an intersection. Capacity is defined as the maximum number of vehicles that can pass over a particular road segment or through a particular intersection within a specified period under prevailing roadway, traffic, and control conditions.

LOS is used to describe the operating characteristics of a road segment or intersection in relation to its capacity. LOS is defined as a qualitative measure that describes operational conditions and motorists' perceptions of a traffic stream. The *Highway Capacity Manual* defines six levels of service, LOS A through LOS F, with A being the best and F the worst.

LOS for unsignalized intersections, with stop control on the minor streets only, are reported for the side-street approaches and major street left-turns. Low levels-of-service for side street approaches are not uncommon, as vehicles may experience delay turning onto a major roadway.

In addition to the Estimated 2021 conditions, an analysis was performed for the AM and PM peak hours under Projected 2022 No-Build and Build traffic conditions. The results of the LOS analysis are summarized for the AM and PM peak hours in **Table 4**. The *Synchro* analysis reports are included in **Appendix E**.

Table 4: Level-of-Service Summary LOS (Delay in Seconds)							
Intersection	Approach/ Movement	Existing 2021		Projected 2022 No-Build		Projected 2022 Build	
		AM Peak	PM Peak	AM Peak	PM Peak	AM Peak	PM Peak
1. AL 181 at CR 48/Fairhope Avenue (<i>signalized</i>)	Overall	D (45.4)	D (49.2)	D (45.8)	D (49.9)	D (49.5)	D (52.4)
2. Proposed Site Driveway 1 at AL 181 (<i>unsignalized</i>)	SBL					A (8.9)	A (8.7)
	WBL					D (32.6)	E (38.5)
3. Proposed Site Driveway 2 at CR 48/Fairhope Avenue (<i>unsignalized</i>)	SBL					B (13.4)	B (10.9)

As shown in **Table 4**, the analyses indicate that all study intersections are projected to operate at an acceptable overall LOS during the AM and PM peak hours under Estimated 2021 conditions, Projected 2022 No-Build conditions, and Projected 2022 Build conditions.

It should be noted that low levels-of-service for side street approaches are not uncommon, as vehicles may experience delay turning onto a major roadway.

7.0 CONCLUSION

This report presented the analysis of the anticipated traffic impacts associated with the ALDI Site development, which is expected to be completed in 2022. This study evaluated the impact of constructing a 20,442 SF supermarket, a 3,060 SF fast food restaurant, and a 7,500 SF commercial parcel. The site is located to the east of AL 181 and north of CR 48/Fairhope Avenue in the City of Fairhope, Baldwin County, Alabama.

The study network, which consisted of one (1) intersection, was analyzed for the weekday AM and PM peak hours under estimated 2021 conditions, Projected 2022 No-Build conditions (one (1) year of background traffic growth at 2% per year), and Projected 2022 Build conditions (Projected 2022 No-Build conditions plus traffic generated by the proposed *ALDI Site* development). The study intersection is expected to operate at an overall acceptable level-of-service under all future conditions.

Under Projected 2022 Build Conditions, the proposed site driveways will operate at acceptable level-of-service

7.1 RECOMMENDATIONS

Based on the results of this traffic impact study, no off-site roadway improvements are recommended.

However, the following improvements are recommended at the site driveways to serve the proposed development:

- Proposed Site Driveway 1
 - On the site, construct a full-movement stop-controlled driveway with one (1) ingress lane entering the site and two (2) egress lanes exiting the site, per the site plan.
- Proposed Site Driveway 2
 - On the site, construct one (1) ingress lane entering the site and one (1) egress lane exiting the site, per the site plan.
- Proposed Site Driveway 3
 - On the site, construct one (1) ingress lane entering the site, per the site plan.