



**City of Fairhope  
Planning Commission Agenda  
5:00 PM  
Council Chambers  
June 3, 2019**

1. Call to Order

Karin Wilson  
*Mayor*

2. Approval of Minutes

- May 6, 2019

*Council Members*

Kevin G. Boone

Robert A. Brown

Jack Burrell, ACMO

Jimmy Conyers

Jay Robinson

Lisa A. Hanks, MMC  
*City Clerk*

Michael V. Hinson, CPA  
*City Treasurer*

3. Consideration of Agenda Items:

- A. ZC 19.07 Public hearing to consider the request of Pauline Moyd to rezone property from RA Residential Agriculture to PUD (Planned Unit Development). The property is located on the southwest corner of the intersection of State Hwy. 181 and Bay Meadows Avenue, at 19401 St. Hwy. 181, to be known as Live Oak Estates.  
**PPIN #: 15078**
- B. ZC 19.08 Public hearing to consider the request of the City of Fairhope Planning and Zoning Department for an amendment to Article V. Special Districts and Uses in the Zoning Ordinance to establish a Greeno Road Corridor Overlay District.
- C. SD 19.19 Public hearing to consider the request of Martinet Family Trust for plat approval of Martinet Subdivision, a 2-lot minor division. The property is located on the south side of the intersection of Cains Lane and Laraway Lane.  
**PPIN #: 236255**
- D. SD 19.23 Public hearing to consider the request of Rivers and Mandy Calvert for Preliminary and Final plat approval of Calvert Family Subdivision, a 4-lot subdivision. The property is located at the southwest corner of the intersection of River Park Road and Meadow Road.  
**PPIN #: 33864**
- E. SD 19.25 Public hearing to consider the request of Riverwood Estates, LLC for Preliminary plat approval of River Place, a 23-lot subdivision. The project is located on the west side of River Park Road just south of County Road 32.  
**PPIN #: 30354**
- F. SD 19.26 Public hearing to consider the request of Taylor D. Wilkins, III, for plat approval for Gayfer and Bishop Subdivision, a 3-lot minor division. The project is located on the northwest corner of the intersection of Gayfer Road and Bishop Road.  
**PPIN #: 109947**

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

[www.fairhopeal.gov](http://www.fairhopeal.gov)

*Printed on recycled paper*

- G. SD 19.27 Public hearing to consider the request of TH Fairhope Falls 2018, LLC for Final plat approval of Fairhope Falls, Phase Two, a 34-lot subdivision. The project is located on the south side of County Road 48 and west of Fish River.  
**PPIN #: 2846, 39102 and 286553**
- H. SD 19.28 Public hearing to consider the request of The Verandas, LLC for Final plat approval of The Verandas, Phase 4, a 32-lot subdivision. The project is located on the southwest corner of the intersection of State Hwy. 104 and Lawrence Road.  
**PPIN #: 377688**
- I. UR 19.15 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 1,932 linear foot of underground fiber optic cable. The project will run along Fairhope Avenue, N. School Street, Equality Street, N. Bancroft Street, Pine Street and N. Section Street.
- J. UR 19.16 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 636 linear foot of underground fiber optic cable. The project will run along S. Summit Street, St. James Street, and S. Bayview Street to service Knoll Flats at 72 Fairhope Avenue.
- K. UR 19.17 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 1,231 linear foot of underground cable and conduit. The project will run from 8 S. Summit Street to 50 S. Bayview Street, via St. James Street.
- L. UR 19.18 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 630 linear foot of underground fiber optic cable road crossings. The project will run throughout Fox Hollow, Phase 2.

4. Old/New Business

5. Adjourn



# Planning Commission

June 3, 2019

## Zoning Change: RA to PUD

### Case: ZC 19.07 Live Oak Estates

**Project Name:**  
Live Oak Estates

**Project Type:**  
Zoning Change From R-A Residential/Agriculture District To PUD-Planned Unit Development

**Jurisdiction:**  
City of Fairhope

**PPIN Number:**  
15078

**General Location:**  
Southwest corner of Bay Meadows Ave and ST. HWY 181

**Project Acreage:**  
Approximately 38 acres

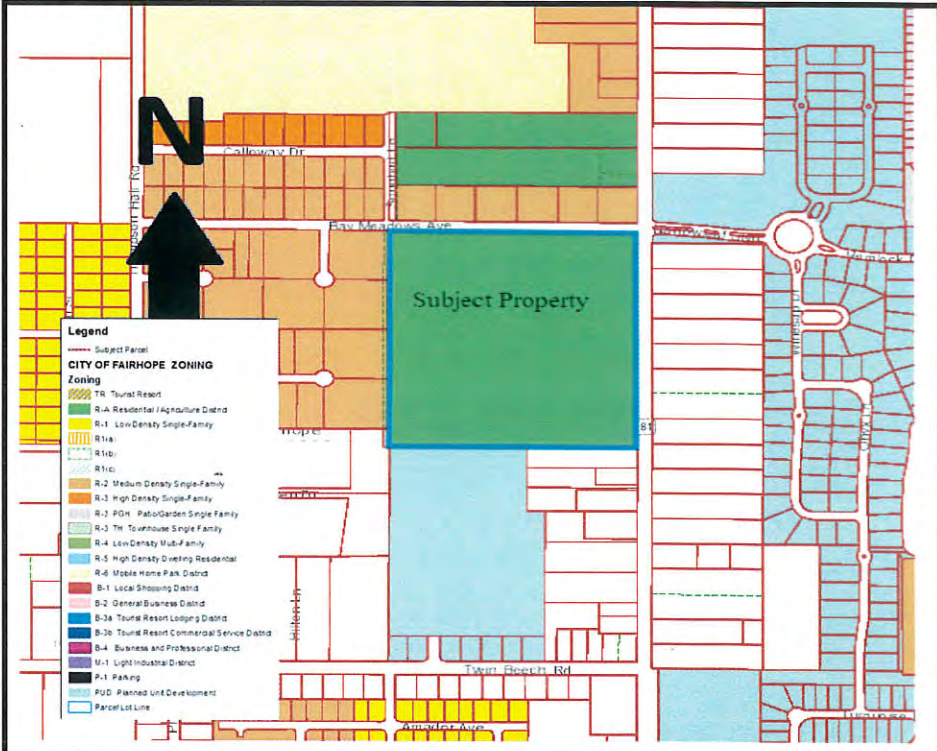
**Engineer:**  
Mullins, LLC

**Applicant:**  
Mullins, LLC, Joe Rector, PS

**School District:**  
Fairhope Elementary  
Fairhope Intermediate  
Fairhope Middle  
Fairhope High

**Recommendation:**  
Approve with conditions

**Reviewed by:**  
Mike Jeffries, QCI  
Planning Technician



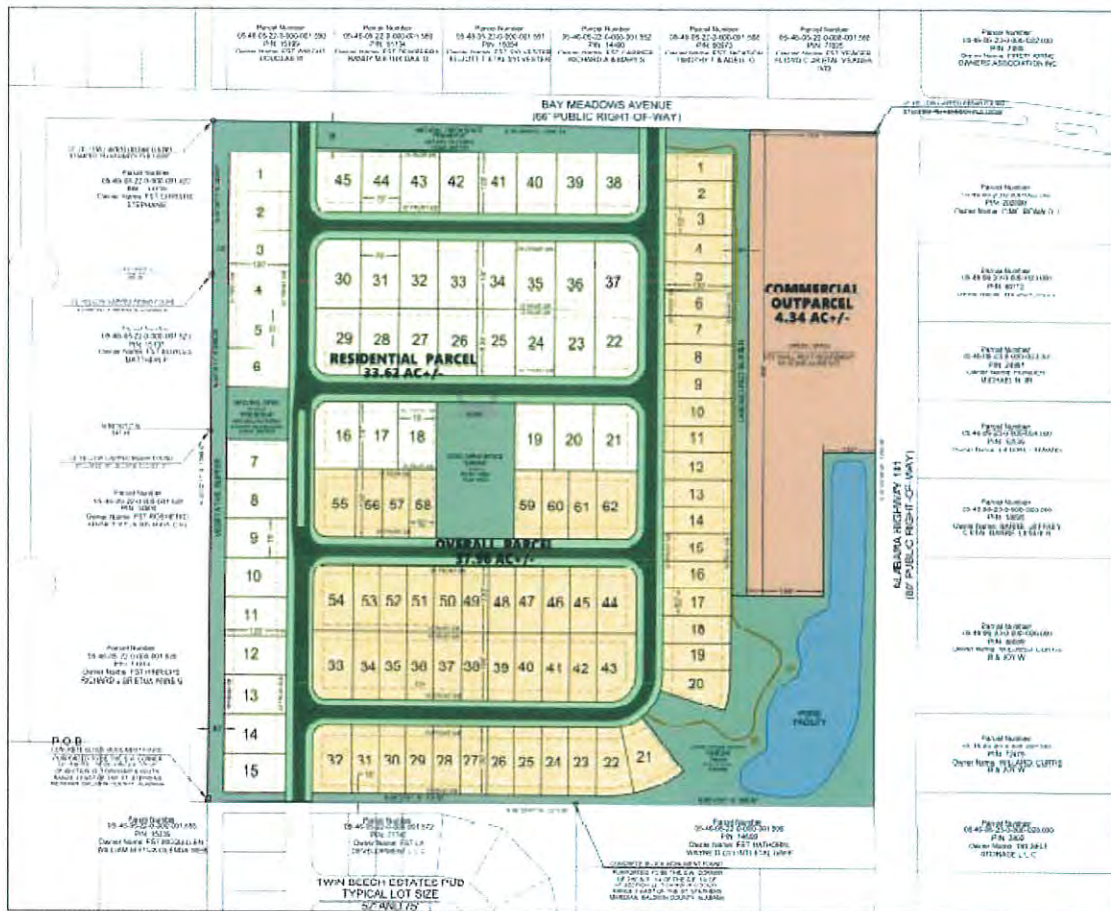
**Summary of Request:**

The applicant is requesting a re-zoning of approximately 38 acres from R-A Residential/Agriculture to a PUD-Planned Unit Development. The property is located at the southwest corner of Bay Meadows Ave and ST. HWY 181. The applicant is proposing 107 single family dwelling units on approximately 33.62 acres and the remainder approximately 4.34 acres is reserved for a future commercial parcel requiring a standalone site-plan. The requested density is 3.18 units per acre.

**Current Conditions:**

The subject property currently has three structures and is predominately previously farmed land.

The site plan below was provided pursuant to the Fairhope Zoning Ordinance, Article II.C.2(a) which says in part "Initiation – Review of (preliminary) site plans accompanying a zoning map amendment shall be reviewed according to the zoning amendment procedures."



**Comments:**

**Fairhope Zoning Ordinance**

**Article II.C(e).**

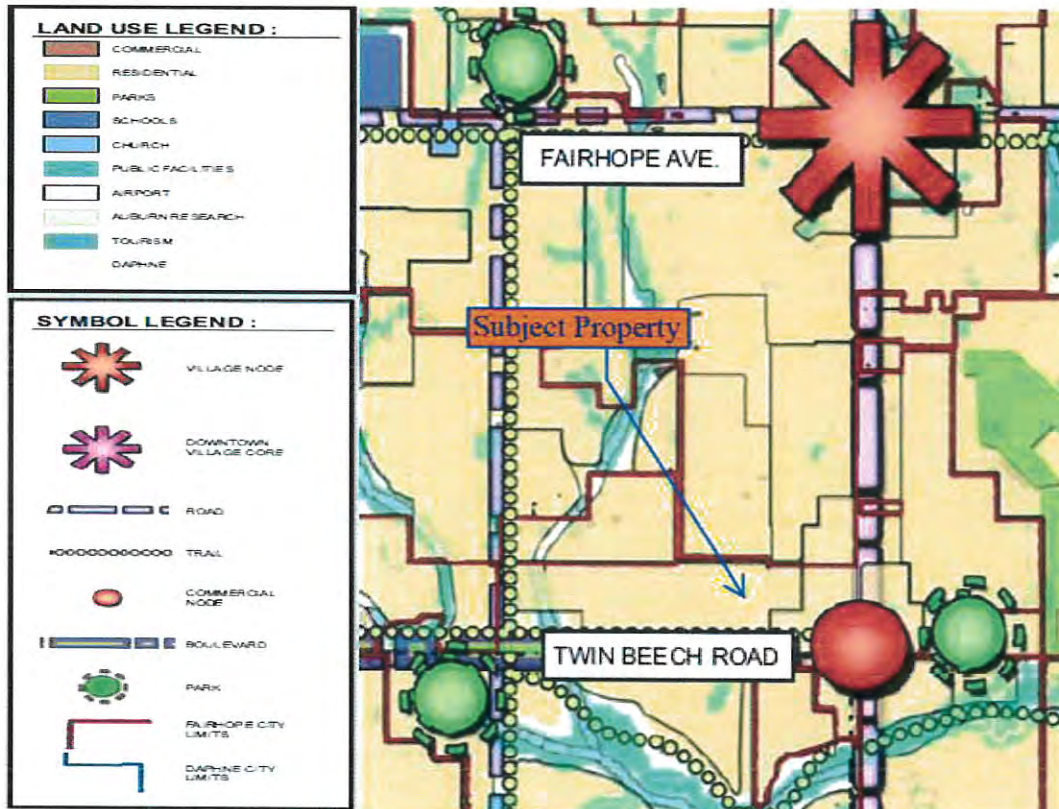
**Criteria – The application shall be reviewed based on the following criteria:**

**(1) Compliance with the Comprehensive Plan;**

**Response:**

The requested zoning is a PUD which is intended to encourage innovative development that meets the comprehensive plan goals and is tailored to the unique constraints and conditions of a particular site. The proposed PUD is a multi-use development with most of the property consisting of single-family dwelling units buffered from ST HWY 181 by a future commercial parcel. The subject property

is categorized as residential in the Comprehensive Plan. Therefore, the requested zoning is consistent with the Comprehensive Plan guidance in terms of a residential use. The Comprehensive plan contemplates a commercial node at the intersection of Twin Beech Rd. and ST. HWY. 181. Land uses such as a gas station (nonrepair), bank, small shopping center, drug store, and restaurants are likely candidates at these locations. It also warns that these nodes are only to be at the corners of the intersections and must not be the start of strip commercialization along the corridors. The subject property is located to north of this commercial node. The corridor on St. HWY 181 from Twin Beech Rd to Windmill Rd. is predominately residential except for a storage facility approximately 300' south of the subject property. The location of the commercial parcel is isolated by Bay Meadows Ave to the north, ST. HWY. 181 to the east, retention/detention to the south, and residential housing to the west preventing the expansion and creation of strip commercialization.



**(2) Compliance with the standards, goals, and intent of this ordinance;**

**Response:**

The purpose of this district is intended to encourage innovative development that meets comprehensive plan goals and is tailored to the unique constraints and conditions of a particular site. This district allows flexibility in uses, designs, and building layouts as opposed to other zoning districts to better serve community needs.

District Two lot sizes.	Min. Lot Area/ Allowed Units Per Acre (UPA)	Min. Lot Width	Setbacks				Max. total lot coverage by principle structure	Max. height
			Front	Rear	Side	Street side		
PUD	6760	52'	20'	15'	6'	20'	40%	30'
PUD	9000	75'	20'	15'	7.5'	20'	40%	30'

If the rezoning is approved, any subsequent subdivision plat must conform to the above standards which will be included on the site plan. The dimensions table reflects a minimum lot width of 52' and 75'. There are 62 lots that are 52' wide and 45 lots that are 75'.

The commercial parcel will be subject to a stand alone site plan at time of development.

**(3) The character of the surrounding property, including any pending development activity;**

**Response:**

The proposed PUD will utilize lots that are 75'X120', 75X130' and 52'X130' in width. The reduction on the 75'X120" lots allows for extra buffering along Bay Meadows Ave protecting existing large oak trees and extra buffering to the west.

The lots were designed to match the sizes of the recently approved Twin Beech Estates adjacent to south. The property on the west side is zoned R-2 which has a minimum lot size of 10,500sq ft or approximately .25 acres; however, the lots are currently approximately 2.3 acres with single-family dwelling units. The difference in lot sizes is remedied by a 30' natural vegetative buffer. The north end of the property adjacent to Bay Meadows Ave. is proposed to have a natural buffer of 50' that will aid in a visual and sound barrier as well as preserve the oak trees previously mentioned. The adjacent properties on the north side of Bay Meadows are zoned R-2 and approximately 1.0 acre. The properties adjacent to the subject property on the east side are made up of various sized unincorporated unzoned parcels. The commercial parcel and retention/detention pond will be located on this side providing a transition from commercial use to residential use coming from ST HWY 181. A 30' landscape buffer will separate the commercial development from the residential development.

A Density Compatibility Analysis is a planning and zoning tool that is utilized to examine the surrounding areas to get a snapshot of the current density. A ¼ mile buffer is drawn around the subject property using the buffer tool within KCS Fairhope Map Viewer. In order to arrive at an average development density for all adjacent areas and surrounding neighborhoods, a weighted average is utilized so that though the actual or allowable development density remains constant, the weighted average will be in terms of the *actual acreage* of the development within the buffer area.

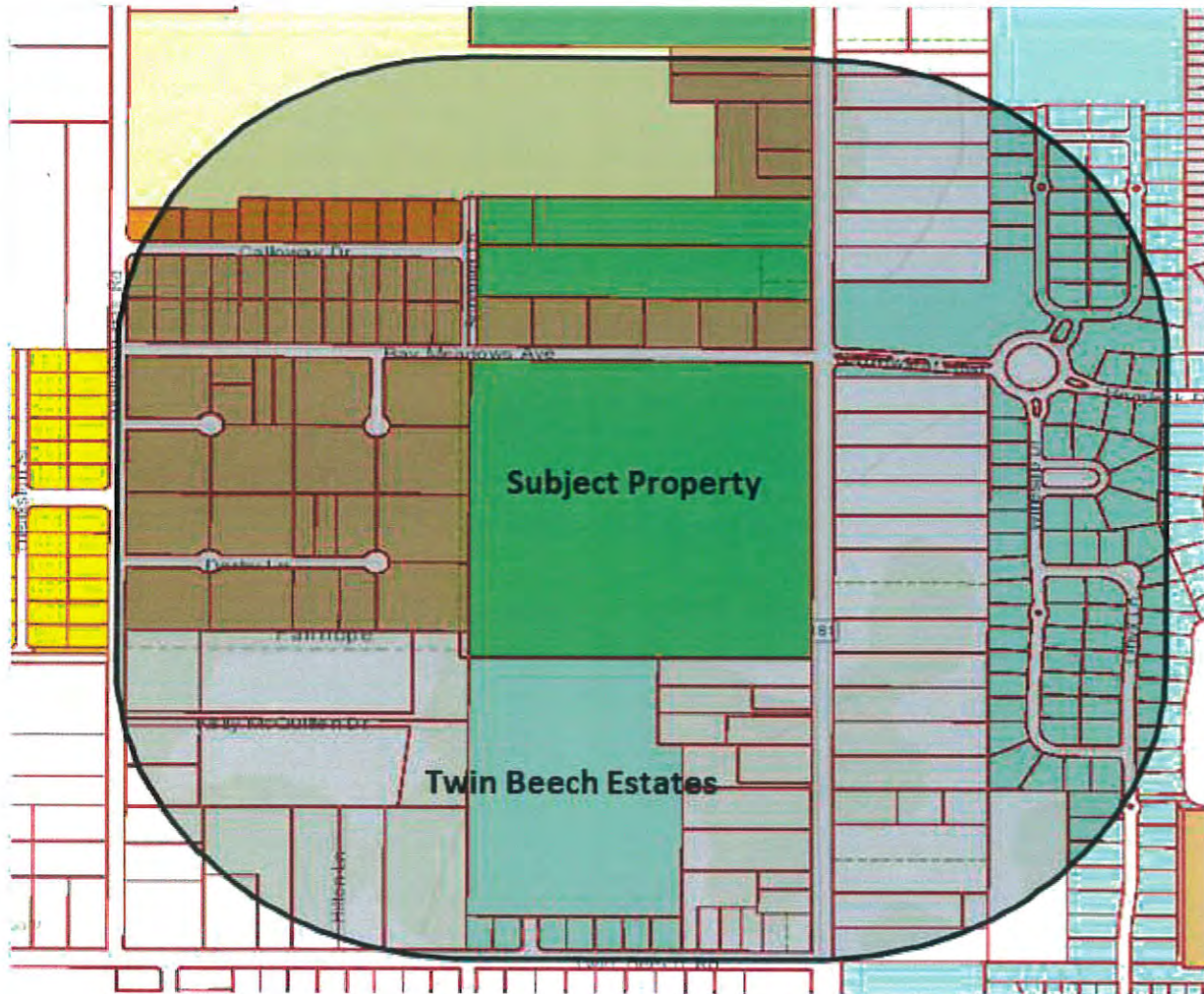
According to the site plan submitted pursuant Article II.C.2(a), the requested 107 single-family residential lots result in a requested density is 3.18 units per acre. Staff conducted a compatibility analysis which indicated an acceptable compatible density of 2.01 units per acre.

Weighted Actual	1.089396
Weighted Allowable	2.940308
Weighted Average	2.014852
Requested Density	3.18

(The difference between Weighted Actual and Weighted Allowable is due to the larger R-2 sized lots west of the subject property.)

The site plan also indicates a green belt along the perimeter separating the subject properties lots and those adjacent to the property. The buffering and separation are used as a mitigation measure between dissimilar lot sizes. The site plan also shows 3 different points of access. Two are from Bay Meadows Ave. and one uses a connection to Twin Beech Estates which has the same density and similar lot sizes.

The shaded area represents the ¼ mile buffer.



**(4) Adequacy of public infrastructure to support the proposed development;**

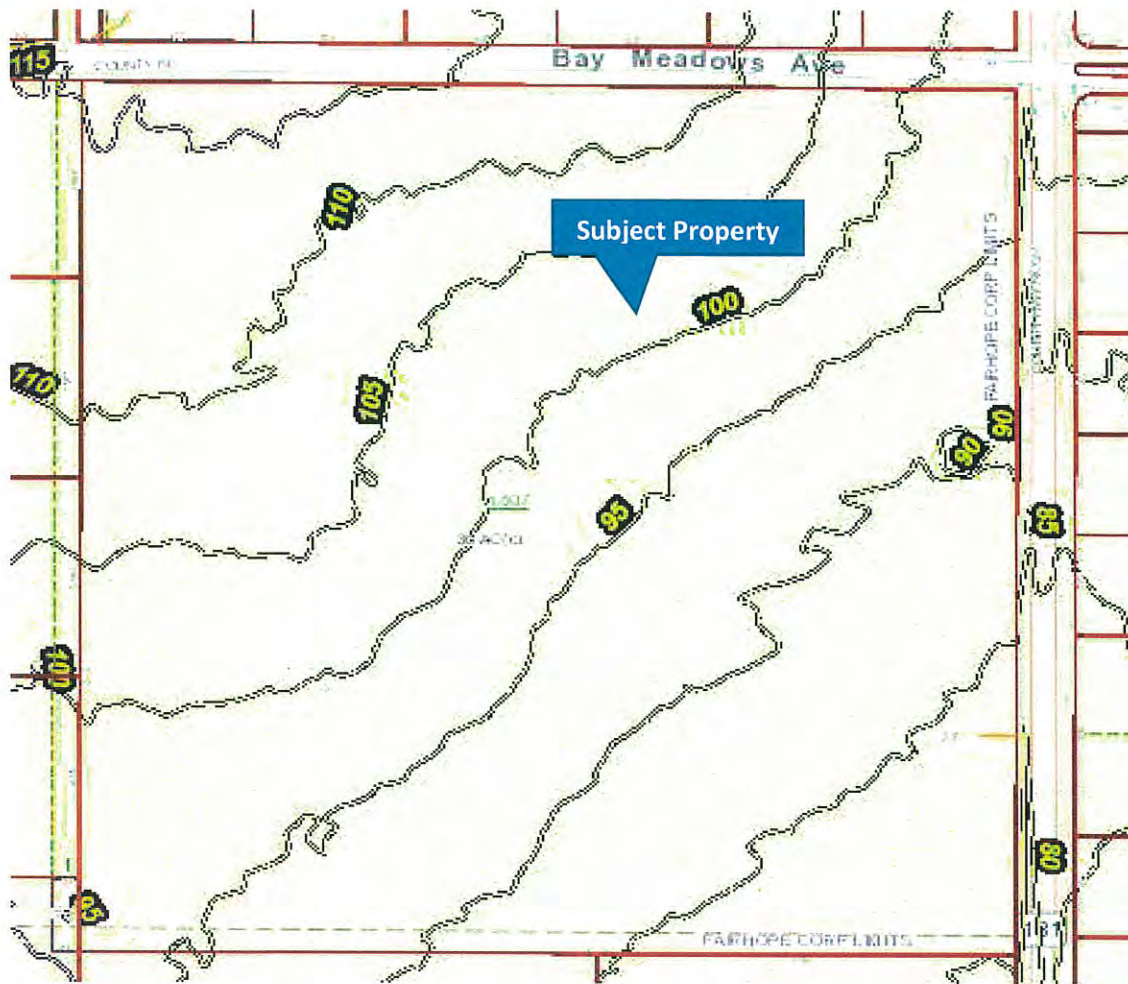
**Response:**

Fairhope Utilities water and power are readily available and Fairhope Utilities sewer and gas can be made available during the subdivision process.

**(5) Impacts on natural resources, including existing conditions and ongoing post-development conditions;**

**Response:**

The subject property is located on previously farmed land with no indication of wetlands being present. The image below indicates the topographic relief. The high point is at an approximate elevation of 115 in the northwest corner and the low point is at an approximate elevation of 80 in the southeast corner. The preliminary site plan shows a retention/detention pond in the southeast corner of the property to capture and treat the stormwater runoff.



**(6) Compliance with other laws and regulations of the City;**

**Response:**

At the time of development all applicable laws of the City will be applied.

**(7) Compliance with other applicable laws and regulations of other jurisdictions;**

**Response:**

At the time of development all applicable laws will be applied.

**(8) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; and,**

**Response:**

Staff does not anticipate any significant issues relating to this criteria.

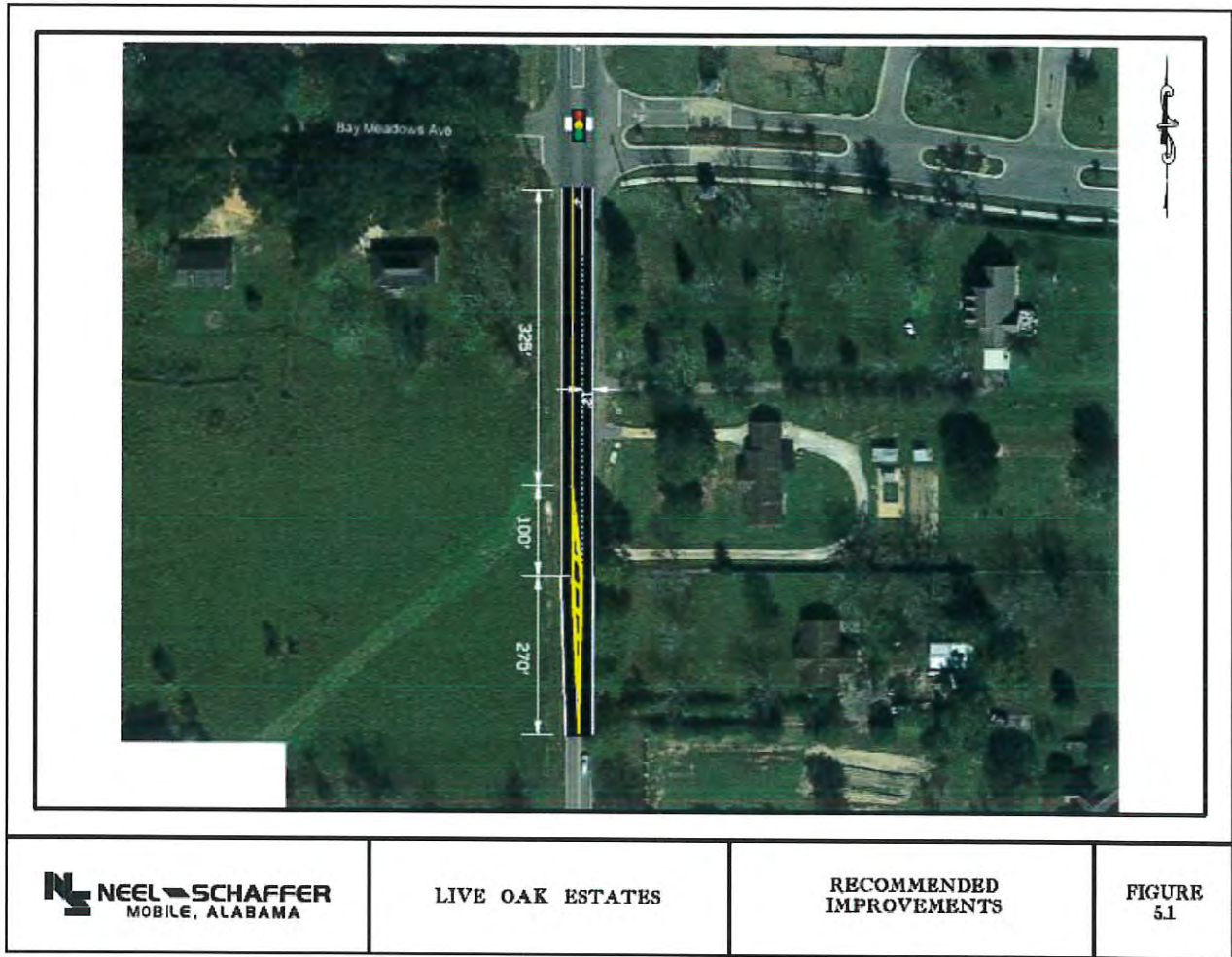
**(9) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.**

**Response:**

Staff does not anticipate any significant issues relating to this criteria. A traffic study was conducted and any recommended improvements at time of subdivision will be required.

Currently the traffic study recommends that “the intersection of AL Highway 181 and Bay Meadows Avenue be widened to accommodate a northbound left turn lane. This lane will allow the future signal to operate with permitted/protected concurrent left turn phasing for the northbound and southbound approaches.”





**Comments:**

The proposed PUD utilizes buffers that are above the minimum required to retain more of the natural forested vegetation therefore removing less trees. The large pond is to be used as an amenity and not just a basin to capture the storm water. The area around the pond can be used for passive recreation and the pond itself for active recreation such as fishing or kayaking. The developer is proposing a pond that will meet the requirements of the subdivision regulations to allow for 30% of the area to be counted as green space. Currently the greenspace percentage is met without it. If approved the greenspace will likely be increased during the subdivision process. The large green in the middle of the development provides a centralized area for the mail kiosk and room for active and passive recreation. Similar lot sizes to the Twin Beech Estates would allow for a seamless transition between the two developments.

**Recommendation:**

Staff recommends Case: ZC 19.07 Live Oak Estates be **APPROVED**.

# SITE DATA TABLE

PUD – Planned Unit Development

The special standards listed in this section for the Planned Unit development district are intended to:

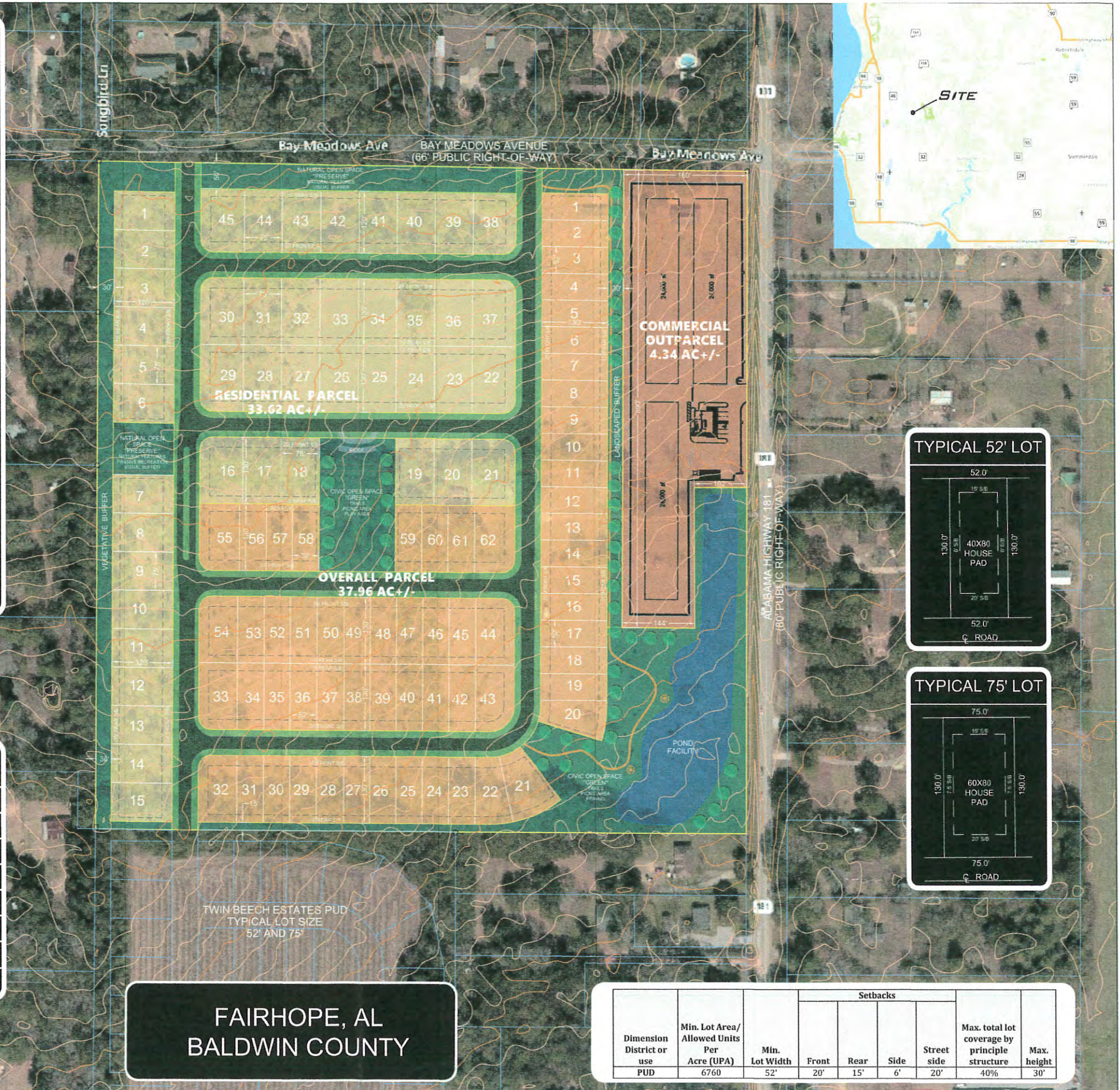
- encourage opportunities for development innovation tailored to a particular site, that while clearly furthering the goals of the comprehensive plan, could not explicitly be established by generally applicable standards or guidelines;
- allow mixed-use development which offer a greater variety in type, design, and layout of buildings;
- encourage land conservation, and more efficient use of open space;
- permit modification of certain controls in a manner so as to produce large area development arranged to better serve community needs.

Conditions Related to Approval – In addition to the general criteria for zoning map amendments, a map amendment to the PUD district shall include review of the following conditions for compliance with the goals and intent of the Comprehensive Plan and this ordinance.

- Setbacks for building structures
- Public street access
- Vehicular traffic, circulation, connections, and parking
- Screening or buffer zones
- Hours of operation
- Activities or uses permitted on the property
- Building or structure heights
- Landscaping
- Maximum lot coverage, impervious percentages
- Pedestrian circulation
- Signs
- Mitigation of noise, fumes, odors, vibration or airborne particles
- Exterior lighting
- Exterior construction materials
- Special fire protection
- Outside storage and display of merchandise
- Refuse and waste storage
- Lot size and dimensions
- Accessory buildings
- Drainage
- Other information shown on the site plan

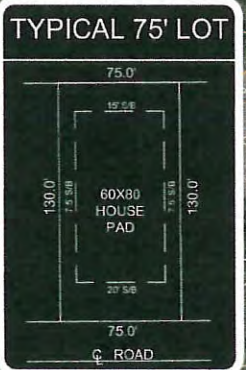
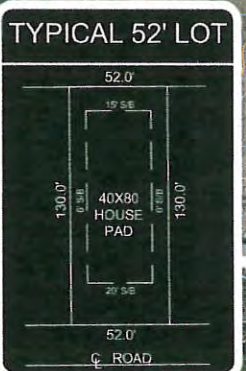
# LOT DATA TABLE

PROPERTY ACREAGE:	37.96± ACRES (TOTAL)
COMMERCIAL AC:	4.34± ACRES
RESIDENTIAL AC:	33.62± ACRES
52' LOTS:	62 LOTS
75' LOTS:	45 LOTS
OPEN SPACE RQD. 20%:	5.26 AC+/-
OPEN SPACE TBP 25.3%:	6.65 AC+/-
ELIGIBLE GREENSPACE:	5.26 AC+/-



**FAIRHOPE, AL  
BALDWIN COUNTY**

Dimension District or use	Min. Lot Area/ Allowed Units Per Acre (UPA)	Min. Lot Width	Setbacks				Max. total lot coverage by principle structure	Max. height
			Front	Rear	Side	Street side		
PUD	6760	52'	20'	15'	6'	20'	40%	30'

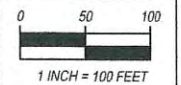


All drawings, including Drawings and Site Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and property listed on face, shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to represent to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without the express written consent of the Firms listed on face to further compensation at risk to be agreed upon by Firms listed on face and the Client.

**MULLINS, LLC**  
9949A Bellaton Avenue  
Daphne, AL 36526  
(850) 378-8141



Preliminary Plan  
**Live Oak Estates**  
City of Fairhope, Baldwin County, AL  
PREPARED FOR: Breland Homes Coastal, LLC



Est. No. 19-113P  
Date: 03/18/2019  
Drawn By: JAR  
Approved By: BRE

SHEET NUMBER



(2) Mixed-use buildings shall be vertically mixed in use. Retail uses shall be placed at street level.

**F. Special Exceptions.**

- (1) Research and development
- (2) Hotel
- (3) Crematoria
- (4) And any such other uses as deemed appropriate in the district by the Planning Commission. The Planning Commission shall review a proposed use at the time the special exception application is presented to the Planning Commission according to the submittal deadlines and meeting dates established by the Planning Commission.

**G. Development Standards.**

- (1) The B-4 (Business and Professional District) development standards and area and dimensional requirements shall apply in this district:
- (2) Any residential, hotel, dormitory, nursing home or convalescent use shall not exceed the density established for the R-5 (High Density Multi-Family Residential District) at a minimum lot area of 10,500 square feet for two dwelling units plus 4,100 square feet for each additional unit / 10 units per acre maximum.
- (3) No building or portion of a building visible from a public street or right of way shall be exposed metal. A façade of some type or material shall be used to visually screen the metal from the public street or right of way.

**I. GRD – Greeno Road District Overlay**

- 1. Intent** – The Greeno Road District (GRD) overlay is intended to provide a transition of use intensity from less intensity to greater intensity back to less intensity along Greeno Road. The GRD overlay begins at Dale Drive and terminates at Battles Road, a distance of approximately XXX miles. The GRD overlay includes five (5) distinct areas approximately 400’ wide east and 400’ wide west of the centerline of Greeno Road (US HWY 98) within the Corporate Limits of The City of Fairhope:

- Northern Edge District
  - Dale Drive to South Drive
- North Village Center / Parker Road Village Center
  - South Drive to State HWY 104
- Gateway District
  - State HWY 104 to Edwards Avenue
- Fairhope Avenue Village Center
  - Edwards Avenue to Morphy Avenue
- Southern Edge District
  - Morphy Avenue to Battles Road

The GRD is much more automobile-oriented than the CBD, however the GRD seeks to reflect the Fairhope Image” contemplated by the Comprehensive Plan through controlled signage, interconnectivity, sidewalks, and extensive landscaping. The GRD is intended to serve the entire community by:

- Better-managing the automobile-oriented nature of Greeno Road by limiting drive-up windows;
- providing a mix of uses;
- Encouraging retrofit of existing shopping centers by building to the right-of-way
- Prohibiting backlit or illuminated plastic signs, neon signs, and video boards;
- Buffering residences from automobile-oriented uses through landscape buffers;
- buffering surrounding neighborhoods from any adverse impacts of activities in the GRD;
- requiring mandatory site plan reviews for all construction activities within the GRD; and
- Allowing specified uses only upon appeal to the Board of Adjustment and/or subject to special conditions.

~~2. **Location and Size** – The GRD overlay includes: From a point of beginning that is 400' east of the centerline intersection of Greeno Road/US HWY 98 and Parker Road, on the centerline of Parker Road; run southerly to a point that is 400' east of the centerline intersection of Greeno Road/US HWY 98 and State HWY 104, on the centerline of State HWY 104; continue southerly to a point that is the midpoint of the northern property line of PPIN 117875 that is one parcel east of Greeno Road/US HWY 98; continue southerly to a point that is 400' east of the centerline intersection of Greeno Road/US HWY 98 and Dyer Road on the centerline of Dyer Road; continue southerly to a point that is 400' east of the centerline intersection of Greeno Road/US HWY 98 and Baldwin County Road 34 on the centerline of Baldwin County Road 34; Thence run west 800' to a point that is on the centerline of Baldwin County Road 34; Thence run northerly to a point that is 400' west of the centerline intersection of Greeno Road/US HWY 98 and Volanta Avenue on the centerline of Volanta Avenue; continue northerly to a point that is 400' west of the centerline intersection of Greeno Road/US HWY 98 and Parker Road on the centerline of Parker Road; thence run easterly along Parker to the point of beginning.~~

3. **Applicability** – This section applies to all new construction, demolition, Class III renovations, sidewalks, uses, private improvements, and landscape alterations of any kind occurring within the GRD overlay zones. The GRD overlays the underlying zoning regulations. The zoning regulations contained within the City of Fairhope Zoning Ordinance shall apply unless pre-empted by the GRD overlay. Where a conflict exists between the GRD overlay and the underlying zoning regulations, the GRD overlay shall prevail. Existing buildings and structures that do not conform to the requirements of the GRD overlay may be occupied, operated, repaired, receive Class I or Class II renovations, or otherwise continue in use in their existing non-conforming state unless demolished and rebuilt. Single-family structures occurring within the GRD overlay at the time of GRD establishment may utilize Article VII, *Non-conformities* as applicable.

4. **Appeals and Variances** – Appeals and Variances shall be subject to the same standards contained within Article, II, Section C.3. of this ordinance.

5. **Allowable Uses**

**Use Table** – Table X-1 indicates seven categories of uses: (1) residential; (2) civic; (3) office; (4) retail; (5) service; (6) manufacturing, and (7) rural. Within each category, specific uses are listed and indicated as either allowed, allowed subject to special conditions, or allowed by special exception.

**See Table X-1: Use Table – GRD Overlay Districts**

6. **Special Conditions for Uses within the GRD** – The following special conditions shall apply to all applicable uses within the GRD overlay. These special conditions are in addition to the generally applicable standards that apply to all uses within the GRD overlay district. In the case of a conflict between the generally applicable standard for the underlying zoning district and the specific standard listed in this section for properties within the GRD overlay, the more specific standards in this section apply.

**A. General** – applicable to all districts within GRD

a. In addition to the requirements of Ordinance 1537, Signs, the following shall apply to all districts within the GRD

- i. Backlit or illuminated plastic signs are prohibited
- ii. Neon signs are prohibited
- iii. Video boards are prohibited

b. Mandatory site plan review

i. All work as described in “applicability”, above, requires a mandatory site plan review within the GRD, regardless of whether or not it triggers the site plan review requirements of Article II, Section C.2.

1. Site plan review process shall be completed prior to approval of a building permit or land disturbance permit.

ii. A landscape plan in compliance with ordinance 1444 shall be submitted concurrently with the mandatory site plan review for administrative review by staff.

1. In addition to the requirements of Ordinance 1444, tree and landscape ordinance, the landscape plan shall comply with figures XXXX through XXX, below.
- a. Northern Edge District
1. General – applies to entire district
    - i. Stand-alone ice vending machines are a prohibited use
    - ii. Stand-alone automatic teller machines (ATMs) are a prohibited use
    - iii. Car wash facilities, both automated and self-serve, are a prohibited use
    - iv. Buildings with only flat roofs are prohibited
      1. Flat roofs may be combined with mansards, gambrels, gables, hips, and dormers
  2. Clinic – allowable uses include:
    - i. Laboratories
    - ii. Therapy / Therapists facilities
    - iii. Counseling / counseling facilities
  1. General Personal Services
    - i. Pharmacy / Drug Store
      - a. Drive-through prohibited
    - ii. Bank
      - a. Single drive-through lane allowable at rear of principle building
        - i. Speaker volume limited to 50 decibels
          1. Shall not play recorded messages
        - ii. Menu boards / order boards
          1. Shall be maximum of 30 square feet
          2. Shall be a maximum of 6' tall
          3. Shall be shielded from view from any public street and adjacent residential use or residentially-zoned property
        - iii. No closer than 40' from any adjacent residential property or residentially-zoned property
        - iv. No less than four (4), 20' long and 10' wide stacking lanes at or behind the drive through window or appurtenance
          1. May be reduced in number if recommended by a traffic impact study prepared by a licensed professional engineer
          2. Separated from other vehicular use and site circulation areas by a landscaped raised divider median or
          3. Shall be 12' wide in curved areas
          4. Shall not enter or exit directly into a public street
          5. Shall not interfere with waste handling and material loading areas
          6. If curbed, shall include an emergency by-pass or exit
      - v. Uses including drive through lanes located adjacent to residential uses or residentially-zoned property shall provide screening and buffering as required by Section 20.5-4 (11) *Buffer Zone Landscaping* of Ordinance number 1444
      - vi. Lighting shall not invade or cause lighting trespass to abutting land uses under any circumstances
        1. Individual luminaire lamp wattage shall not exceed 250 watts
        2. Drive through canopy lights shall be fully shielded and completely recessed into the canopy with flat lenses that are translucent and completely flush with the bottom surface (ceiling) of the canopy
        3. Canopy fascia shall extend 12" below the lens of the fixture to block the direct view of light sources from the property line

- 4. Lights shall not be mounted on the top or fascia of the canopy, and fascias of the canopy shall not be illuminated
- 5. Parking lot and site lighting luminaires shall be fully shielded and aimed downward away from the property line
- 6. Building-mounted luminaires shall be fully-shielded and aimed downward and not directly visible from the property line

- 2. Bed and Breakfast
  - iii. No more than 12 rooms
  - iv. Must be owner occupied and operated
- 3. Hotel / Motel
  - v. No more than 30 rooms
- 4. Restaurant
  - vi. Drive-Through Prohibited
- 6. Catering
  - i. Catering operations are an allowable use in this district
- 7. Dry Cleaner / Laundry
  - vii. Drive-Through Prohibited

b. Southern Edge District

1. General – applies to entire district

- a. Stand-alone ice vending machines are a prohibited use
- b. Stand-alone automatic teller machines (ATMs) are a prohibited use
- c. Buildings with only flat roofs are prohibited
  - i. Flat roofs may be combined with mansards, gambrels, gables, hips, and dormers

2. Clinic – allowable uses include:

- a. Laboratories
- b. Therapy / therapist facilities
- c. Counseling / counseling facilities

3. General Personal Services

a. Pharmacy / Drug Store / Bank

i. Single drive-through lane allowable at rear of principle building

- i. Speaker volume limited to 50 decibels
  - 1. Shall not play recorded messages
- ii. Menu boards / order boards
  - 1. Shall be maximum of 30 square feet
  - 2. Shall be a maximum of 6’ tall
  - 3. Shall be shielded from view from any public street and adjacent residential uses or residentially-zoned property
- iii. No closer than 40’ from any adjacent residential property or residentially-zoned property
- iv. No less than four (4), 20’ long and 10’ wide stacking lanes at or behind the drive through window or appurtenance
  - 1. May be reduced in number if recommended by a traffic impact study prepared by a licensed professional engineer
  - 2. Separated from other vehicular use and site circulation areas by a landscaped raised divider median or
  - 3. Shall be 12’ wide in curved areas
  - 4. Shall not enter or exit directly into a public street
  - 5. Shall not interfere with waste handling and material loading areas

6. If curbed, shall include an emergency by-pass or exit
  - v. Uses including drive through lanes located adjacent to residential uses or residentially-zoned property shall provide screening and buffering as required by Section 20.5-4 (11) *Buffer Zone Landscaping* of Ordinance number 1444
  - vi. Lighting shall not invade or cause lighting trespass to abutting land uses under any circumstances
    1. Individual luminaire lamp wattage shall not exceed 250 watts
    2. Drive through canopy lights shall be fully shielded and completely recessed into the canopy with flat lenses that are translucent and completely flush with the bottom surface (ceiling) of the canopy
    3. Canopy fascia shall extend 12” below the lens of the fixture to block the direct view of light sources from the property line
    4. Lights shall not be mounted on the top or fascia of the canopy, and fascias of the canopy shall not be illuminated
    5. Parking lot and site lighting luminaires shall be fully shielded and aimed downward away from the property line
    6. Building-mounted luminaires shall be fully-shielded and aimed downward and not directly visible from the property line
4. Automobile Repair
- a. Service bay doors shall not face toward any public right-of-way.
  - b. Service bay doors shall not face any residential uses or residentially zoned properties
  - c. Automobile Repair facilities located adjacent to residential uses or residentially-zoned property shall provide screening and buffering as required by Section 20.5-4 (11) *Buffer Zone Landscaping* of Ordinance number 1444
  - d. Building facades open to view from public rights-of-way shall have a minimum 5’-0” wide planter strip along the building foundation
  - e. Any structures or uses, in the judgment of the Director of Planning and Zoning that demonstrate a convenience store use or a component of a convenience store use, (such as lighting or signage) shall comply with the special conditions of a convenience store, below.
5. Dry Cleaner / Laundry
- a. Single drive-through lane allowable at rear of principle building
  - b. Drive-through shall comply with all requirements more fully-described in Pharmacy / Drug Store /Bank, above.
6. Bed and Breakfast
- a. No more than 12 rooms
  - b. Must be owner occupied and operated
7. Hotel / Motel
- a. No more than 30 rooms
8. Restaurant
- a. Single drive-through lane allowable at rear of principle building
  - b. Drive-through shall comply with all requirements more fully-described in Pharmacy / Drug Store /Bank, above.
9. Convenience store
- a. Fuel pumps shall be behind rear building line of building
  - b. Automatic Teller Machines (ATMs) shall be located inside the building
  - c. Snipe signs and commercial displays in and around fuel pumps shall not be permitted
  - d. Electronic fuel pricing signage
    - a. No other electronic signage above and beyond fuel pricing is allowable



- b. Fuel pricing shall remain static between fuel pricing changes
  - e. Convenience stores located adjacent to residential uses or residentially-zoned property shall provide screening and buffering as required by Section 20.5-4 (11) *Buffer Zone Landscaping* of Ordinance number 1444
  - f. Building facades open to view from public rights-of-way shall have a minimum 5'-0" wide planter strip along the building foundation
  - g. Overhead canopy lights shall be fully shielded and recessed
  - h. Lighting shall not invade or cause lighting trespass to abutting land uses under any circumstances
    - a. Individual luminaire lamp wattage shall not exceed 250 watts
    - b. Fuel station canopy lights shall be fully shielded and completely recessed into the canopy with flat lenses that are translucent and completely flush with the bottom surface (ceiling) of the canopy
    - c. Canopy fascia shall extend 12" below the lens of the fixture to block the direct view of light sources from the property line
    - d. Lights shall not be mounted on the top or fascia of the canopy, and fascias of the canopy shall not be illuminated
    - e. Parking lot and site lighting luminaires shall be fully shielded and aimed downward away from the property line
    - f. Building-mounted luminaires shall be fully-shielded and aimed downward and not directly visible from the property line
  - i. Fuel station canopies shall not exceed a ceiling height of 15'-0" and the clearance height clearly identified with a telltale bar
  - j. Adornments to the canopy fascia shall not be designed to express corporate identities via signs, logos, paint colors, or other brand identification
  - k. Fuel station canopies fascia shall not be illuminated, transparent, reflective, or encircled in lights
  - l. Fuel station canopy structures shall be integrated into convenience store buildings via architectural features, colors, materials, and roof lines
  - m. Fuel station canopy supports, pillars, and pump stations shall be comparable with the primary building architecture
  - n. Gabled, pitched, or mansard roof lines that are compatible with the primary building architecture should be integrated into the design of the fuel station canopy, considering the architectural character of the surrounding context in form, material, and color to the maximum extent practicable.
  - o. Fuel station buildings, roofs, and canopies shall not have corporate color banding
  - p. Any signage (including corporate logos or images) provided on a fuel station canopy shall be deducted from the allowable wall signage of the primary structure and may not comprise any more than 50% of the vertical height of the canopy face
  - q. Fuel tank vents shall be screened from view or integrated into the building
  - r. Car wash
    - a. Car washes and vacuums shall not be located within 100'-0" of any residential use or residentially-zoned property.
    - b. Car wash facility facades shall be fully detailed on all sides, matching the primary structure as applicable.
    - c. The use of corporate color banding on the car wash building to match the commercial business logo or signage of the primary structure shall not be used on the exterior façade of the car wash.
    - d. Any signage provided on a car wash building shall be deducted from the allowable wall signage of the primary structure as applicable.
10. Automobile Service Station
- a. Service bay doors shall not face toward public rights-of-way
  - b. Service bay doors shall not face residential uses or residentially-zoned properties
  - c. Automobile Service Stations located adjacent to residential uses or residentially-zoned property shall provide screening and buffering as required by Section 20.5-4 (11) *Buffer Zone Landscaping* of Ordinance number 1444

- d. Building facades open to view from public rights-of-way shall have a minimum 5'-0" wide planter strip along the building foundation
- e. Any structures or uses, in the judgment of the Director of Planning and Zoning that demonstrate a convenience store use or component of a convenience store use (such as lighting or signage) shall comply with the special conditions of a convenience store, above.
- f.
- 11. Dry Cleaner / Laundry
  - a. Single drive-through lane allowable at rear of principle building
  - b. Drive-through shall comply with all requirements more fully-described in Pharmacy / Drug Store /Bank, above.
- c. Gateway District
  - 1. General – applies to entire district and all uses within district
    - a. Stand-alone ice vending machines are prohibited use
    - b. Stand-alone automatic teller machines (ATMs) are a prohibited use
    - c. Quick-serve restaurants are a prohibited use
      - i. Restaurants offering no table service
      - ii. Restaurants offering take-out or pick-up meals only
      - iii. Food vendors operating via food truck
    - d. Buildings with only flat roofs are prohibited
      - i. Flat roofs may be combined with mansards, gambrels, gables, hips, and dormers
    - e. Mandatory site plan review preceding all new construction activities
  - 2. Grocery / General Merchandise
    - a. Individual uses shall not exceed 6,000sf per story
  - 3. Two-family and Townhouses
    - a. Shall be a minimum of two stories
  - 4. Mixed use
    - a. Ground floor retail/commercial/restaurant use shall not exceed 6,000sf
  - 1. General Personal Services
    - 12. Pharmacy / Drug Store
      - a. Drive-throughs prohibited
    - 13. Bank
      - a. Drive-throughs prohibited
  - 2. Bed and Breakfast
    - a. No more than 6 rooms
    - b. Must be owner occupied and operated
  - 3. Restaurant
    - a. Drive-throughs prohibited
  - 4. Dry Cleaner / Laundry
    - a. Drive-throughs prohibited
    - a.
- d. Fairhope Avenue Village Center / North Village Center
  - 1. General – applies to entire district
    - a. Stand-alone ice vending machines are a prohibited use
    - b. Stand-alone automatic teller machines (ATMs) are a prohibited use
    - c. Quick-serve restaurants are a prohibited use:
      - i. Restaurants offering no table service
      - ii. Restaurants offering take-out or pick-up meals only
      - iii. Food vendors operating via food truck
    - d. Single-use buildings are a prohibited use
    - e. Buildings with only flat roofs are prohibited
      - i. Flat roofs may be combined with mansards, gambrels, gables, hips, and dormers

- f. Mandatory site plan review preceding all new construction activities
- 2. Mixed-use
  - a. Ground floor retail/commercial/restaurant use shall not exceed 6,000sf
- 3. Grocery / General Merchandise / Shopping Centers
  - a. Individual uses shall not exceed 6,000sf per story
- 1. General Personal Services
  - 1. Pharmacy / Drug Store
    - a. Drive-throughs prohibited
  - 2. Bank
    - a. Drive-throughs prohibited
  - ii. Restaurant
    - 1. Drive-throughs prohibited
    - 2.
  - iii. Dry Cleaner / Laundry
    - 1. Drive-throughs prohibited

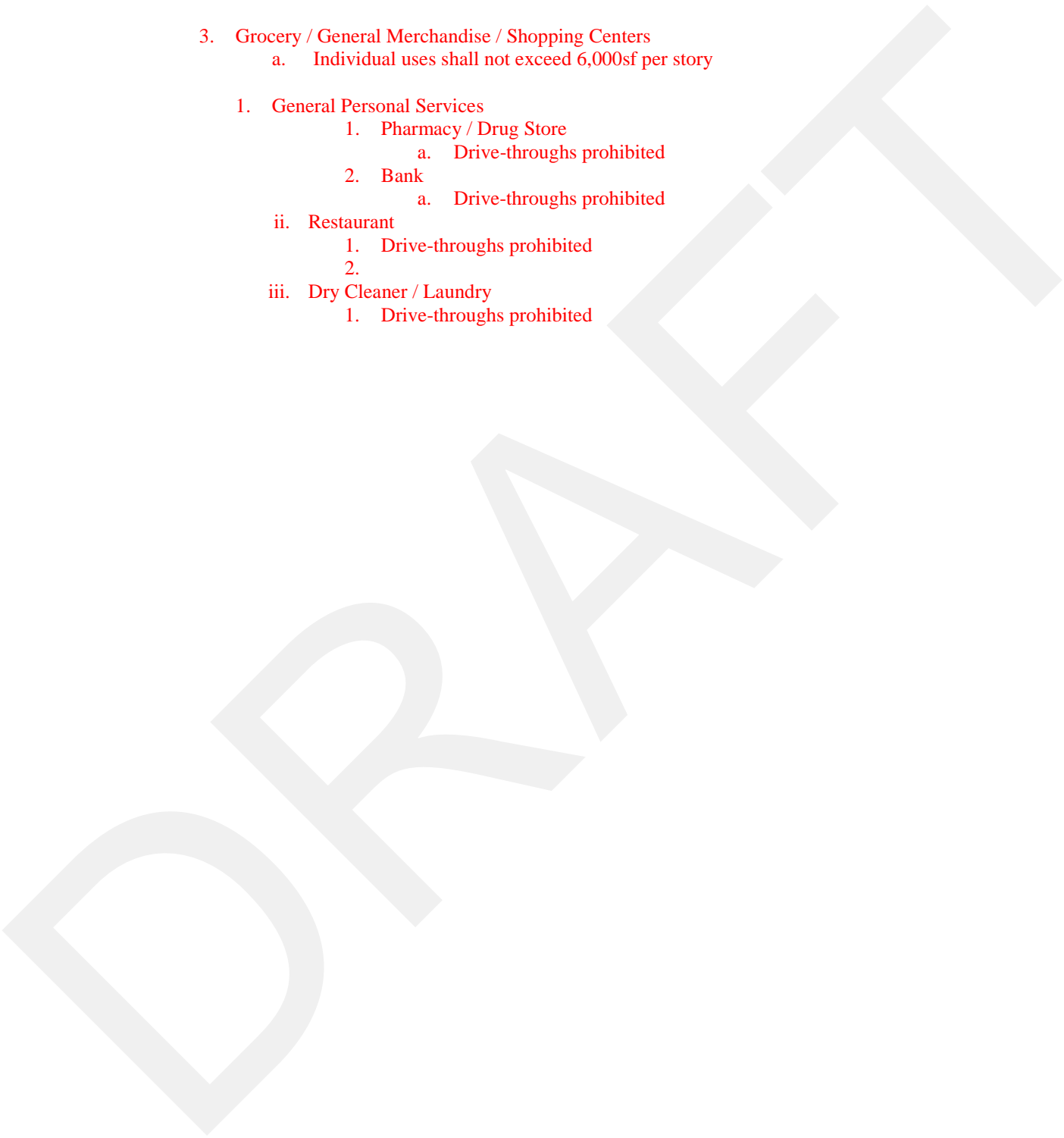


Table X-1: GRD Use table

Zoning District Uses Categories / Specific Uses	Northern Edge District	Southern Edge District	Gateway District	Fairhope Avenue Village Center	North Village Center															
<b>Dwelling</b>																				
Single-family																				
Two-family			3																	
Townhouse			3																	
Patio Home																				
Multiple-family / Apartment	0	0	0																	
Manufactured Home																				
Mixed-use			3	3	3															
Accessory Dwelling																				
Estate																				
<b>Civic</b>																				
Elementary School	0	0	0	0	0															
Secondary School	0	0	0	0	0															
Education Facility	●	●	●	●	●															
Library	●	●	●	●	●															
Place of Worship	0	0	0	0	0															
Cemetery	0	0	0																	
Hospital	0	0	0	0	0															
Public Open Space	●	●	●	●	●															
Common Open Space	●	●	●	●	●															
Community Center or Club	0	0	0	0	0															
Public Utility	0	0	0	0	0															
<b>Office</b>																				
General	●	●	●	●	●															
Professional	●	●	●	●	●															
Home Occupation																				
<b>Retail</b>																				
Grocery			3	3	3															
Convenience Store		3																		
General Merchandise			3	3	3															
Shopping Center				3	3															
Automobile Service Station		3																		
Outdoor Sales Limited																				
Outdoor Sales Lot																				
Garden Center		0																		
<b>Service</b>																				
Convalescent or Nursing Home	0	0	0	0	0															
Clinic	3	3	3	3	3															
Outdoor Recreation Facility	0	0	0	0	0															
Day Care	0	0	0	0	0															
General Personal Services	3	3	3	3	3															
Mortuary or Funeral Home	0	0	0	0	0															
Automobile Repair		3																		
Indoor Recreation	0	0	0	0	0															
Dry Cleaner / Laundry	3	3	3	3	3															
Personal Storage																				
Bed & Breakfast	3	3	3																	
Hotel / Motel	3	3	0	0	0															
Boarding House or Dormitory	0	0	0	0	0															
Recreational Vehicle Park																				
Restaurant	3	3	3	3	3															
Catering	3	3	3	3	3															
Bar / Tavern	0	0	0	0	0															
Entertainment Venue	0	0	0	0	0															
Marina																				
Kennel or Animal Hospital	0	0	0	0	0															
Warehouse																				
Junk Yard or Salvage Yard																				
<b>Manufacturing</b>																				
Limited		0																		
Light		0																		
General		0																		
Food Processing		0																		
<b>Rural</b>																				
Agriculture		0																		
Rural Market		0																		
Plant Nursery		0																		

- Permitted subject to general ordinance standards and conditions.
- 3 Permitted subject to special conditions listed in the ordinance
- 0 Permitted only on appeal and subject to special conditions



# Planning Commission

June 3, 2019

Subdivision Approval

Case: SD 19.19

**Project Name:** Martinet Subdivision

**Property Owner /Applicant:**  
Mr. Edward D. and  
Ms. Rosanne M Martinet  
Family Trust

**General Location:** The property is located on the south side of the intersection of Cains Lane and Laraway.

**Project Type:** Minor Subdivision

**Number of lots:** 2

**Project Acreage:** Approx. 1.994

**Zoning District:** R-2 (Medium Density Single Family)

**PPIN Number:** 236255

**Surveyor of record:** Seth Moore of Moore Surveying

**School District:** Fairhope Elementary, Middle and High Schools

**Report prepared by:** Nancy Milford, EI # 6537, CAPZO Certified.

**Recommendation:**  
Approval with conditions.



**Summary of Request:** Public hearing to consider the request of Martinet Family Trust for plat approval of Martinet Subdivision, a 2-lot minor division. The property is located on the south side of the intersection of Cains Lane and Laraway Lane. The applicant is Mr. Edward D. and Ms. Rosanne M. Martinet and the authorized representative is Mr. Seth Moore. The total site acreage is 1.99 acres, with the largest lot being approximately 46,980 sf and the smallest lot being 39,897 sf. The applicant told staff just prior to the Planning Commission meeting that they wanted to table the application to clarify the front setback so that it conformed to the City of Fairhope's minimum lot width at the front setback line. The application was tabled. The applicant corrected the plat so that the front width of lot 2 was 75 feet. Staff met with Mr. Richard Johnson and Mr. Buford King on the revised setback and it appears the current plat has been corrected to show the minimum lot frontage of 75 feet at the front set back line.

**Site History:** The property current contains two building structures (a residence and a shop). The Cains own the property and recently sold it to the Martinet Family. Mr. Martinet has expressed intent to build on the vacant lot (to be created). The owner has been made aware that the shop on the property will need to be removed, as a condition of approval, if the application is approved by Planning Commission. According to the surveyor, the property slopes from north to south with an approximate 1.5% slope.

**Site Photos:** Martinet Subdivision



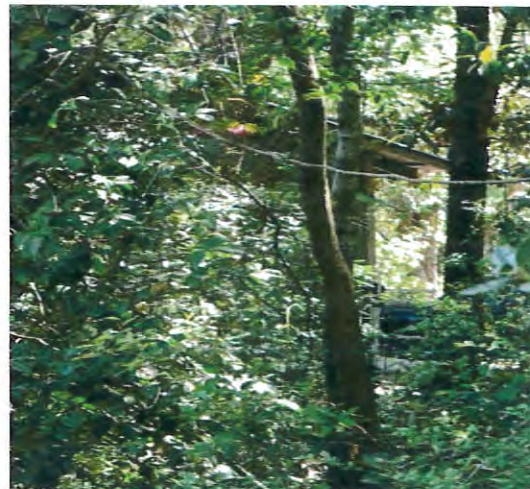
Southwest edge of front property line



View of current property entrance.



View of Curve



View of shed from road.

**Comments:**

**All associated Investors:** The associated investors are Mr. Edward D. and Ms. Rosanne M. Martinet Family Trust.

**Lot standards:** The current zoning for the property appears to be R-2. The setbacks for R-2 are as follows: front-35 feet, rear-35 feet, side-10 feet. The applicant has provided the required 75' of lot frontage at the front setback line. All lots front a publicly maintained right-of-way.

**Natural Features:** The applicant shall provide site data and all applicable permits relative to items such as soils, wetlands, flooding, drainage, natural features and potential archeological features. The applicant has stated that "This project does not have any wetlands or potential archeological features, the lots are outside any flood hazard areas."

Kim Burmeister has checked the websoils and no hydric soils were indicated.

**Easements:** The Operations Director commented that no half easements will be approved unless adjacent property owners dedicate the other half of the easements at the time of approval. The western most lot line of Lot 2 and the eastern most lot line of Lot 1 shall be 15 feet unless it can be shown that there is a half easement on the adjacent properties. Also, if a 15-foot easement is necessary, then the building setback line shall be 15' as no setback can be less than the drainage and utility easement.

Utility and drainage easements have been corrected and labeled on the plat. The applicant has corrected the outside side setbacks to 15 feet to accommodate the 15-foot easements.

**Sidewalks:** There are no sidewalks present in the area; therefore, nothing to connect to. Also, the road frontage in the area is very limited for the purposes of a sidewalk. The applicant has submitted a waiver request for sidewalks.

**Waiver Request:** The applicant has submitted a waiver request to not install sidewalks at this location. Below are the standards (***Article VII, Section A***) that apply to Waiver Requests.

**A. WAIVER STANDARDS:**

***Waivers may be granted where the Planning Commission finds that the following conditions exist:***

- 1. An extraordinary hardship may result from strict compliance with these regulations due to unusual topographic or other physical conditions of the land or surrounding area not generally applicable to other land areas.***
- 2. The condition is beyond the control of the sub-divider.***
- 3. The requested waiver will not have the effect of nullifying the purpose and intent of the regulations, the Zoning Ordinance, or the Comprehensive Plan.***
- 4. The waiver is the minimum deviation from the required standard necessary to relieve the hardship;***
- 5. The waiver shall not have an adverse effect on adjacent landowners, or future landowners, or the public;***
- 6. The waiver is necessary so that substantial justice is done.***

This particular site has some unique topographic constraints in that the lot frontage is very short and located in a sharp turn area. Staff has met with the Public Works Director and he expressed support of this waiver request. There are no other sidewalks located in this area, so the request will not have an adverse effect on adjacent landowners. If the Planning Commission would like to see a pedestrian easement added for future landowners, then it can be added as a condition of approval.

**B. PROCEDURE:**

- 1. Waivers must be requested in writing at the time of preliminary plat submission. This is required so staff can understand the implications of the waiver. The waiver request will be considered by the Planning Commission at the time the plat is considered.**
- 2. Any waiver granted must be entered upon the minutes stating the grounds for the waiver.**
- 3. Letters to adjacent property owners shall include a description of any waiver requested.**

The applicant has submitted the request in writing.

**Storm water Standards:** Any portion of land in the proposed subdivision subject to periodic inundation by storm drainage, overflow or ponding shall be clearly identified on the plat. Land lying within the flood plain, V or A Zones, shall be clearly identified on the plat and a note shall be labeled on the plat to that effect. Erik Cortinas has provided the following comment: "A lot of drainage complaints from houses to the north along Mershon, the grade drops north to south to this property. There is a drainage easement with an inlet and piping behind the houses that discharges either on or near this property starting about 210 Merson. "

The applicant clarified at the DRC meeting and in writing in the applicant's response letter that this project does not drain to the drainage area discussed above.

**Fire Hydrants:** As per *Article VI Section G. FIRE HYDRANTS:*

***Fire Hydrants shall be installed along each street at a maximum interval of four hundred fifty (450) feet, or at the ends and center of each block, or as otherwise required by the fire authority having jurisdiction. Water supply and pressure shall be adequate to provide fire protection and for the future needs of the development.***

The applicant has shown the closest fire hydrant on the plat as per Article V Section.

**Fire Flow:** Staff has spoken with Mr. Richard Peterson, PE, Operations Director regarding the requirement for a flow model. Due to the existing structure and utilities, no flow model will be required.

**Utility Letters:** All utilities in all proposed subdivisions shall be installed underground. Staff has not received the utility letters for Water, Sewer, and Gas. These letters are not necessary as there is an existing structure with utilities at this location.

**Water and Sewer:** The applicant shall comply with all City of Fairhope Water and Sewer Standards.

**Other:** Any applicable outside agency permits shall be obtained.

*The subdivision regulations contain the following criteria in Article IV.B.2. Approval Standards.*

***"2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:***

***a. The proposed subdivision is not consistent with the City's Comprehensive Plan, and/or the City's Zoning ordinance, where applicable;***



- b. The proposed subdivision is not consistent with the City's Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;*
- c. The proposed subdivision is not consistent with these Regulations;*
- d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;*  
*or*
- e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City."*

The project does not appear to be inconsistent with the applicable criteria of the City of Fairhope and appears to meet the criteria above.

**Recommendation:**

Staff recommends approval of the application contingent upon the following conditions:

1. Removal of the existing shop building on Lot 1.
2. Granting a waiver for the sidewalk exemption and adding a pedestrian easement if the Planning Commission desires this for future residents.

OWNER'S CERTIFICATE:  
STATE OF ALABAMA  
BALDWIN COUNTY  
CITY OF FAIRHOPE

We, Fairhope Single Tax Corporation, hereby state that we are the owners of the within described lands (Lee O. Turner, II, whose name as President and Ruben E. (Ed) Davidson, III, whose name as SECRETARY, do hereby acknowledge and adopt the same under the design and title hereon indicated, and grant of easements and dedicate all streets, alleys, walls, parks, and other open spaces to public or private use as noted, together with such restrictions and covenants coverments noted below or attached in a separate legal document. Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

FAIRHOPE SINGLE TAX CORPORATION

Lee O. Turner, II, PRESIDENT Ruben E. (Ed) Davidson, III, SECRETARY

NOTARY CERTIFICATE:

I, \_\_\_\_\_, a Notary Public in and for said State and County, hereby certify that Lee O. Turner, II, whose name as President and Ruben E. (Ed) Davidson, III, whose name as SECRETARY, of FAIRHOPE SINGLE TAX CORPORATION, an Alabama Corporation, as signed to the foregoing certificate, and who are known to me, acknowledged before me on this day, that being informed of the contents of the certificate, that they as said officers and with full authority executed the same voluntarily for and as an act of said corporation. Given under my hand and official seal this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public Baldwin County, Alabama

My Commission Expires \_\_\_\_\_

LESSEES CERTIFICATE OF ACCEPTANCE:  
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This is to certify that the Edward D. Martinet II and Rosanne M. Martinet Family Trust, the undersigned do hereby certify that it is the Lessees of the within platted and described lands and that it has caused the same to be surveyed and subdivided as indicated hereon, for the uses and purposes herein set forth and do hereby acknowledge and adopt the same under the design and title hereon indicated, and grant of easements and dedicate all Streets, to the public or as private uses as noted on this plat.

TRUSTEES:

Edward D. Martinet II Date: \_\_\_\_\_

Rosanne M. Martinet Date: \_\_\_\_\_

NOTARY PUBLIC:  
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, a Notary Public in and for said State and County, do hereby certify that the above name/s signed to the within LESSEES ACCEPTANCE and who is known to me, that they voluntarily executed said ACCEPTANCE on this date. Given under my hand and seal this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

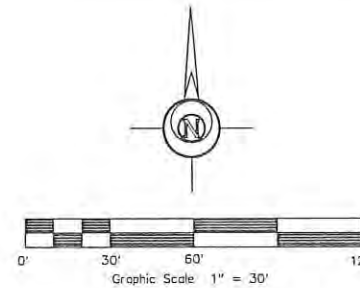
Notary Public - Baldwin County, Alabama.

My Commission Expires: \_\_\_\_\_

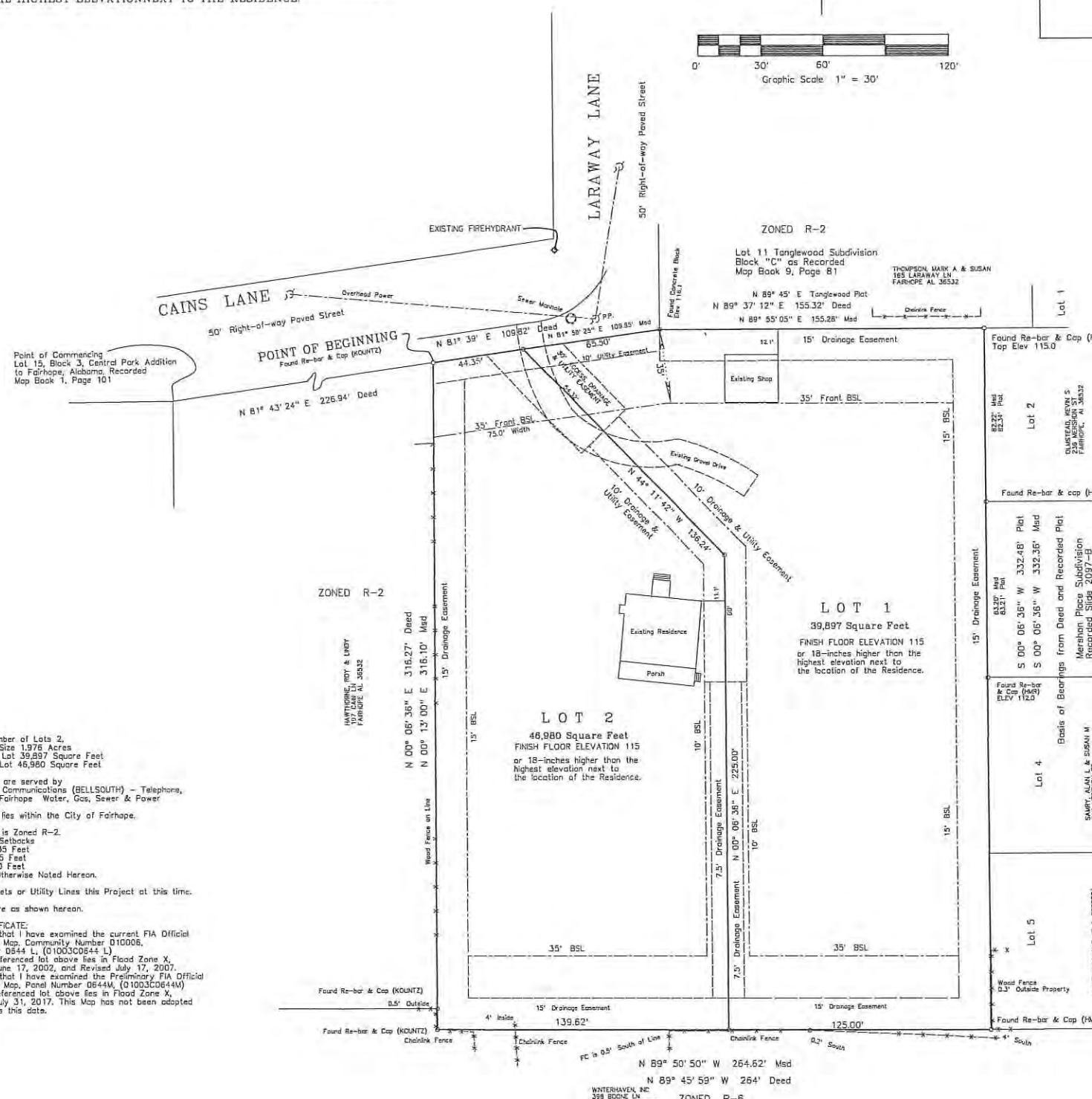
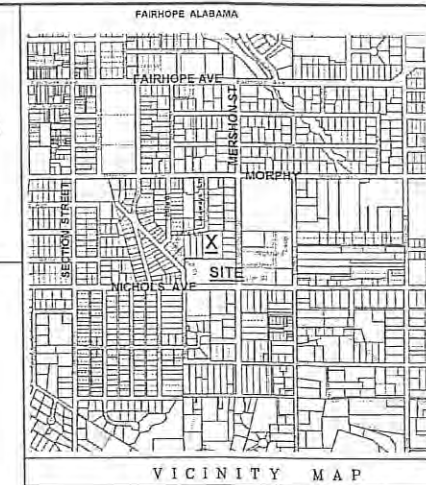
A BEST MANAGEMENT PRACTICE PLAN SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF FAIRHOPE AND ALABAMA DEPARTMENT ENVIRONMENTAL MANAGEMENT REQUIREMENTS AS PER THE 2016 HANDBOOK (ADEM).

BUILDING SETBACKS ARE DETERMINED BY THE CITY OF FAIRHOPE ZONING ORDINANCE, THE PRESENT ZONING IS R-2.

THE FINISH FLOOR ELEVATION SHALL BE 18-INCHES HIGHER THAN THE HIGHEST ELEVATION NEXT TO THE RESIDENCE.



Judge of Probate Stamp



THE EXISTING SHOP ON LOT 1 SHALL BE REMOVED BEFORE A BUILDING PERMIT FOR THE NEW RESIDENCE CAN BE OBTAINED.

- SURVEYING NOTES:
1. All measurements were made in accordance with US Customary Units.
2. Description as furnished by client.
3. There may be easements or other interests that would affect the boundaries of the property.
4. There was no attempt to determine the existence, location or extent of any Sub-surface Easements such as Easements, Underground Utilities, Fountains, etc.
5. The State of Alabama for this Survey are as shown hereon.
6. There was no attempt made to locate any Environmental Issues such as but not limited to Wetlands, Fuel Tanks, etc.
7. Owner Must Verify Wellhead Location if shown on Survey with the proper authorities before any construction is to be started.
8. Refer to Recorded Deeds, Plats, Restrictive Covenants for any additional information.
9. Measurements of the Residence are exterior dimensions of Residence.
10. Field Notes are noted from the current FEMA maps.
11. Limits of proposed Residence to be noted on a per building.
12. Verify any Building Setbacks and Building location with the proper authorities before any construction can begin.
13. The Plat or Map is the property of Moore Surveying Inc. and Seth Moore, it is valid for the use of the named person and may not be used by a third party.
14. This Survey is valid for 30 days from the date of survey and it is NOT transferable to a third party and may NOT be used for any other purpose without prior consent from Moore Surveying Inc. or Seth Moore.
15. This Survey is based upon existing measurement found as herein stated and does not purport to represent a retracement of the Government Survey.
16. BSL = Building Setback Line

LEGAL DESCRIPTION:
Commencing at the Northeast corner of Lot 15, Block 3, Central Park Addition to Fairhope, Alabama, as its plat recorded in Map Book 1, Page 101, in the Judge of Probate's Office, Baldwin County, Alabama, run North 81 degrees 39 minutes East, along the South Right-of-way line of Cains Lane, a distance of 226.94 feet to an Iron Pin Marker for the POINT OF BEGINNING; thence continue North 81 degrees 39 minutes East, along said South Right-of-way line a distance of 109.82 feet to a concrete marker being the Southwest corner of Lot 11, Block C, Tanglewood Subdivision as per its plat recorded in Map Book 9, Page 81, in the Judge of Probate's Office; thence run North 89 degrees 37 minutes 12 seconds East, along the South line of said lot 11, a distance of 55.32 feet to an iron pin marker being the Northwest corner of Lot 2 of Merahon Place Subdivision as per its plat recorded on Slide 2097-B in the Judge of Probate's Office; thence run South 00 degrees 00 minutes 36 seconds East, along the West Boundary line of said Merahon Place a distance of 332.17 feet to an iron pin marker; thence run North 00 degrees 06 minutes 36 seconds West, a distance of 318.27 feet to the POINT OF BEGINNING.

I, Seth W. Moore, a registered land surveyor, hereby state that all parts of this survey and drawing have been completed in accordance with the requirements by the Standards of Practice for Land Surveying in the State of Alabama to the best of my knowledge, information and belief, this is a true and correct map.
All according to my survey made this the 15th day of November 2018.
I also state that this drawing and or certification does not reflect any title or easement research, other than what is visible on the ground or provided by the clients at time of survey.
Seth W. Moore, P.L.S.
Ala. Reg. No. 16871

- SITE DATA:
1. Total Number of Lots 2, Project Size 1.976 Acres, Smallest Lot 39,897 Square Feet, Largest Lot 46,980 Square Feet.
2. The Lots are served by AT & T Communications (BELLSOUTH) - Telephone, City of Fairhope Water, Gas, Sewer & Power.
3. Property lies within the City of Fairhope.
4. Property is Zoned R-2. Building Setbacks: Front 35 Feet, Rear 35 Feet, Side 10 Feet. Unless Otherwise Noted Hereon.
NO NEW Streets or Utility Lines this Project at this time. Easements are as shown hereon.
FLOOD CERTIFICATE:
I also state that I have examined the current FIA Official Flood Hazard Map, Community Number 010006, Panel Number 0644 L (01003C0644 L) and found referenced lot above lies in Flood Zone X, Map Dated June 17, 2002, and Revised July 17, 2007. I also state that I have examined the Preliminary FIA Official Flood Hazard Map, Panel Number 0644M (01003C0644M) and found referenced lot above lies in Flood Zone X, Map Dated July 31, 2017. This Map has not been adopted As Official as this date.

CERTIFICATE OF APPROVAL OF UTILITIES BY CITY OF FAIRHOPE for GAS, POWER, SEWER & WATER:

The undersigned, as authorized by The City of Fairhope, hereby approves the within plat for the recording of same in the Office of the Judge of Probate, Baldwin County, Alabama, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

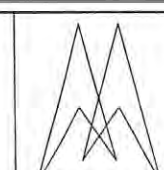
Authorized Representative GAS
Authorized Representative POWER
Authorized Representative WATER & SEWER

CERTIFICATE OF APPROVAL BY THE CITY OF FAIRHOPE PLANNING COMMISSION

This plat has been submitted to and considered by the City of Fairhope Planning Commission and is hereby approved. Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Secretary or Authorized Representative

Owner/ Developer: Edward D. Martinet II and Rosanne M. Martinet Family Trust 201 Cain's Lane Fairhope, Alabama, 36532



MOORE SURVEYING, INC. PROFESSIONAL LAND SURVEYING
555 NORTH SECTION STREET, FAIRHOPE, ALABAMA 36532
PHONE (251) 928 - 6777
Email mooresurveying@bellsouth.net

NOT VALID WITHOUT AN EXEMPTED SEAL OR ORIGINAL SIGNATURE. ALL COPIES AND FAXES ARE INVALID AND MAY NOT BE USED FOR ANY PURPOSE.

Table with columns for JOB NO. (2018 241), DATE (11/16/18), and SCALE (1" = 30').

MARTINET SUBDIVISION
Fairhope Single Tax Corporation Property lying in Division Four, Grant Section 37, T-8-S, R-2-C



# Planning Commission

June 3, 2019

Subdivision Approval

Case: SD 19.23 Calvert Family Subdivision

**Project Name:**

Calvert Family Subdivision

**Property Owner /Applicant:**

Rivers and Mandy Calvert

**General Location:**

On CR 33 (River Park Road) south of County Road 32 across from Meadow Rd.

**Project Type:**

Minor Subdivision inside Fairhope's ETJ

**Number of lots:**

4

**Project Acreage:**

10

**Zoning District:**

Unzoned

**PPIN Number:**

33864

**Engineer of record:**

Stuart Smith, PLS with Goodwyn Mills Caywood(GMC)

**School District:**

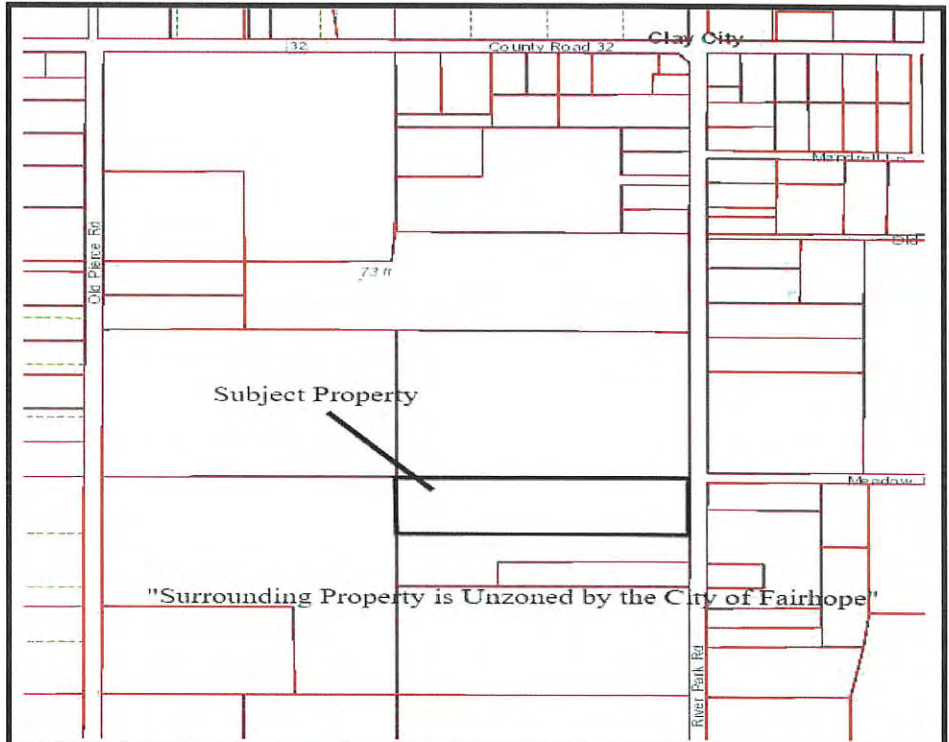
J Larry Newton, Fairhope Middle, Fairhope High School

**Report prepared by:**

Mike Jeffries, QCI Planning Technician

**Recommendation:**

Approve with conditions



**Summary of Request:**

Public hearing to consider the request of Rivers and Mandy Calvert owner and applicant for a 4-lot minor subdivision. The property is located on CR 33 (River Park Road) south of County Road 32 across from Meadow Rd. The subject property is approximately 10 acres and the applicant wishes to divide the property into four lots as a family subdivision.

**Comments:**

Baldwin County has an exemption in their regulations for family subdivisions if a certain criteria is met. The City of Fairhope's Subdivision Regulations does not recognize this exemption. The subject property is in Fairhope's Extra Territorial Jurisdiction and therefore must follow Fairhope's Subdivision Regulations. The proposed subdivision according to Fairhope's Subdivision Regulations is a minor subdivision and has been reviewed accordingly. The applicant has received approval for this subdivision, and it meets the County's requirements for the family exemption which includes that "Each parcel shall have its own ingress/egress and utility access of not less than 30 feet in width". Fairhope's Subdivision Regulations Article V Section E.3.a states that all lots shall front upon a paved, publicly maintained street. The proposed subdivision has two lots that do not front on a paved, publicly maintained street and the applicant has requested a waiver.

The proposed subdivision does not include the building of any infrastructure or improvements therefore a tree protection plan, landscape plan, and other criteria required for a major subdivision is not applicable. The proposed subdivision did not trigger a traffic study. Concerning storm water runoff GMC provided a letter stating that none of the existing flow patterns will be changed by this replat.

**Waiver Request:**

Article V Section E.3.a states "except as provided in Section D.6., all lots shall front upon a paved, publicly maintained street. Double frontage lots are prohibited, except where lots consist of more than 66% of a block".

The applicants wish to subdivide the property utilizing a 60' ingress/egress & drainage/utility easement to access parcels B & C as approved by Baldwin County for an Exempt Family Subdivision. They have requested a waiver from this requirement and provided documentation for why it is necessary. (Letter attached)

**A. WAIVER STANDARDS: (Staff response in red)**

Waivers may be granted where the Planning Commission finds that the following conditions exist:

1. An extraordinary hardship may result from strict compliance with these regulations due to unusual topographic or other physical conditions of the land or surrounding area not generally applicable to other land areas.

- The waiver standards contemplate more, areas that are currently zoned or could become zoned in the near foreseeable future. Therefore, an extraordinary hardship requirement based on unusual topography or physical characteristics for this site is not appropriate. The hardship would be the crossing of jurisdictions between the City of Fairhope and Baldwin County.

2. The condition is beyond the control of the sub-divider.

- Not applicable for this individual case.

3. The requested waiver will not have the effect of nullifying the purpose and intent of the regulations, the Zoning Ordinance, or the Comprehensive Plan.

- The subject property lies outside of the corporate limits of Fairhope therefore, nullifying this standard. Also note that subject property also lies outside of the Police Jurisdiction and Permitting Jurisdiction.

4. The waiver is the minimum deviation from the required standard necessary to relieve the hardship;
  - The minimum deviation of the requested waiver from each lot fronting upon a paved, publicly maintained road is seen in the extra width of the proposed easement that will be used for access. Baldwin County requires a minimum of 30'. The applicant has doubled that to 60' to allow substantial area for a paved roadway and utilities if Baldwin County in the future had the need to accept the road for maintenance and public use.
5. The waiver shall not have an adverse effect on adjacent landowners, or future landowners, or the public;
  - The proposed subdivision is a family subdivision and the two lots that do not have road frontage have access via an easement that is double the size required by Baldwin County and will not have an adverse effect.
6. The waiver is necessary so that substantial justice is done.
  - Staff is neutral on this standard. There is not substantial justice to be done. This is a jurisdiction difference and Baldwin County whom will have final jurisdiction has approved the subdivision with the 60' easement.

**View of Subject Property Looking West from River Park Road**



The subdivision regulations contain the following criteria in Article IV.B.2. Approval Standards:

***“2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:***

***a. The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;***

- **Not applicable**

***b. The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;***

- **Not applicable**

***c. The proposed subdivision is not consistent with these Regulations;***

- **Meets**

***d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;***

***or***

- **Meets**

*e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”*

- **Meets**

**Recommendation:**

Staff recommends approval of SD 19.23 conditional upon the following:

1. Recommendation of approval of Waiver request from the Subdivision Regulation Article V Section E.3.a be approved.



**Goodwyn Mills Cawood**

2039 Main Street  
P.O. Box 1127  
Daphne, AL 36526

T (251) 626-2626  
F (251) 626-6934

www.gmcnetwork.com

June 14, 2018

Mr. Buford King  
City of Fairhope  
555 S. Section Street  
Fairhope, AL 36533

RE: Calvert 4 Lot Subdivision

Dear Mr. King:

We would like to request a waiver from Article 5.E for the subject 4-lot subdivision. The project site resides within the City's ETJ. We have previously submitted a letter to the County of exemption for said subdivision. This project meets all of the County requirements for the exemption (see attached letter). The County exemption allows the parcels to be created and accessed by an ingress/egress easement instead of building any major infrastructures. We hope the City will allow the waiver for these reasons.

If you have any questions please feel free to contact me at 380-8738.

Sincerely,

HUTCHINSON, MOORE & RAUCH, LLC

Stuart L. Smith, PLS



**BALDWIN COUNTY**  
HIGHWAY DEPARTMENT  
P.O. Box 220  
SILVERHILL, ALABAMA 36576  
TELEPHONE: (251) 937-0371  
FAX (251) 937-0201

JOEY NUNNALLY, P.E.  
COUNTY ENGINEER

April 5, 2019

Stuart Smith  
PO Box 1127  
Daphne, AL 36526

**Subject: Exempt Subdivision Parcel ID: 05-56-01-01-0-001-028.000**  
**SEC. 01, T7S, R2E (District 14, Unzoned)**

Dear Stuart,

This letter is in response to your request for an exemption from the *Baldwin County Subdivision Regulations* as provided in Section 4.2(a) which states the following:

§4.2 Exceptions to Required Approval.

(a) Sale, deed or transfer of land by the owner to an immediate family member, except that, in the event that there is any sale, deed, or transfer of land by the owner or an immediate family member to someone other than an immediate family member, these regulations shall apply. Each parcel shall have its own ingress/egress and utility access of not less than 30 feet in width;

Exemption from the requirement for approval to subdivide does not constitute exemption from the requirements of other applicable regulations including but not limited to zoning ordinance, Health Department requirements, highway construction setbacks, or, if located within the extraterritorial jurisdiction of a municipality, the regulations of that municipal planning commission.

Based upon your request for an exemption, the proposed division of this parcel into four (4) parcels as shown on the attached drawing is **Exempt** from the *Baldwin County Subdivision Regulations*.

This property is located within the extraterritorial jurisdiction of the City of Fairhope and as such you are required to contact their Planning Department to verify compliance with their regulations.

This letter only indicates that this division is exempt from the requirement of subdivision approval and in no way shall be construed that Baldwin County will take responsibility for maintenance of any easements or roads that are a part of this division.

This exemption is only approved for deeding parcels to immediate family members.

Sincerely,

Mary Booth  
Permit / Subdivision Coordinator

Cc: Mike Howell; Building Official (via interoffice mail)  
Annette Lubertozi; E911 Addressing (via interoffice mail)  
City of Fairhope Planning Department  
File








# Calvert Exemption Site Map

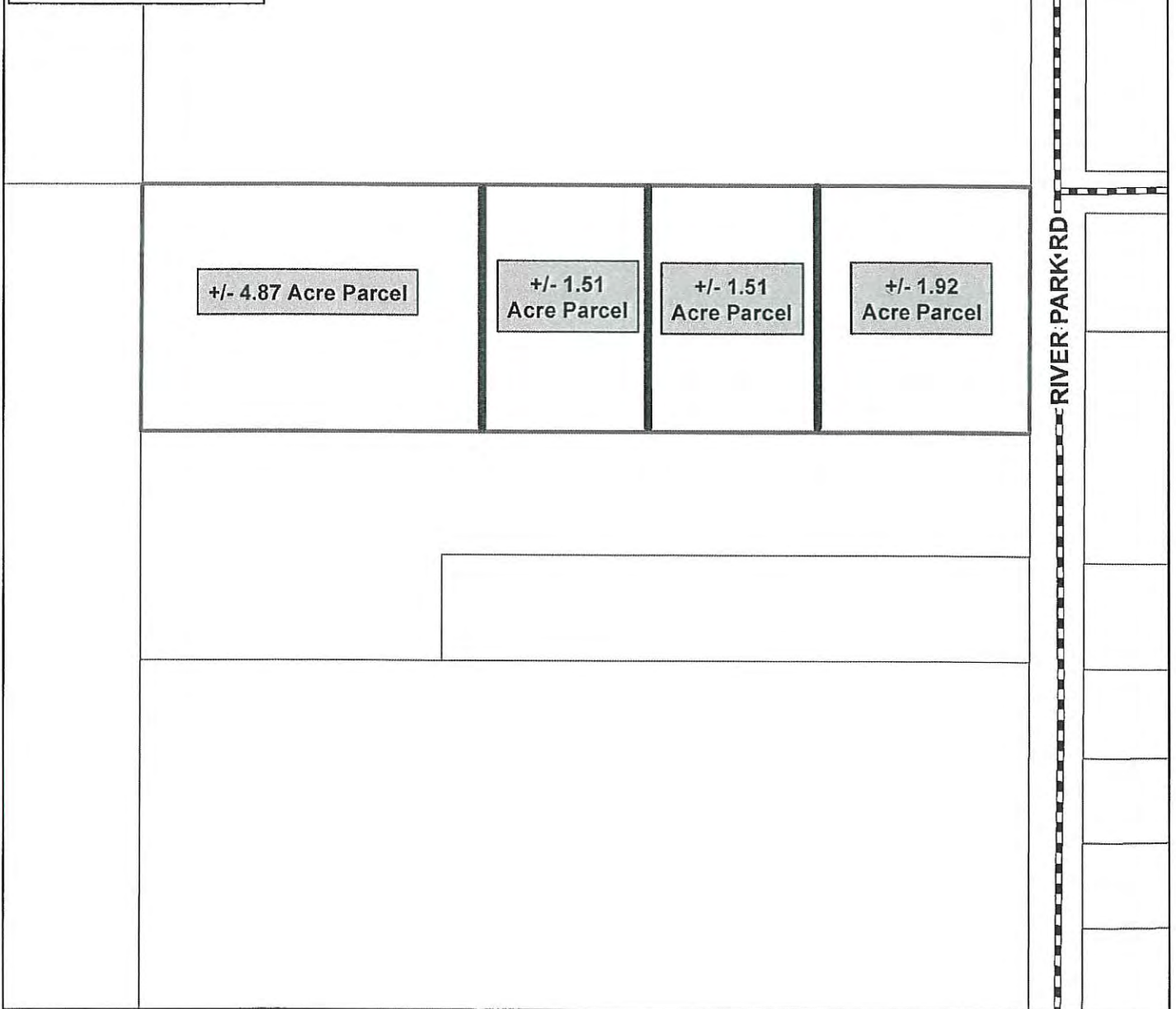


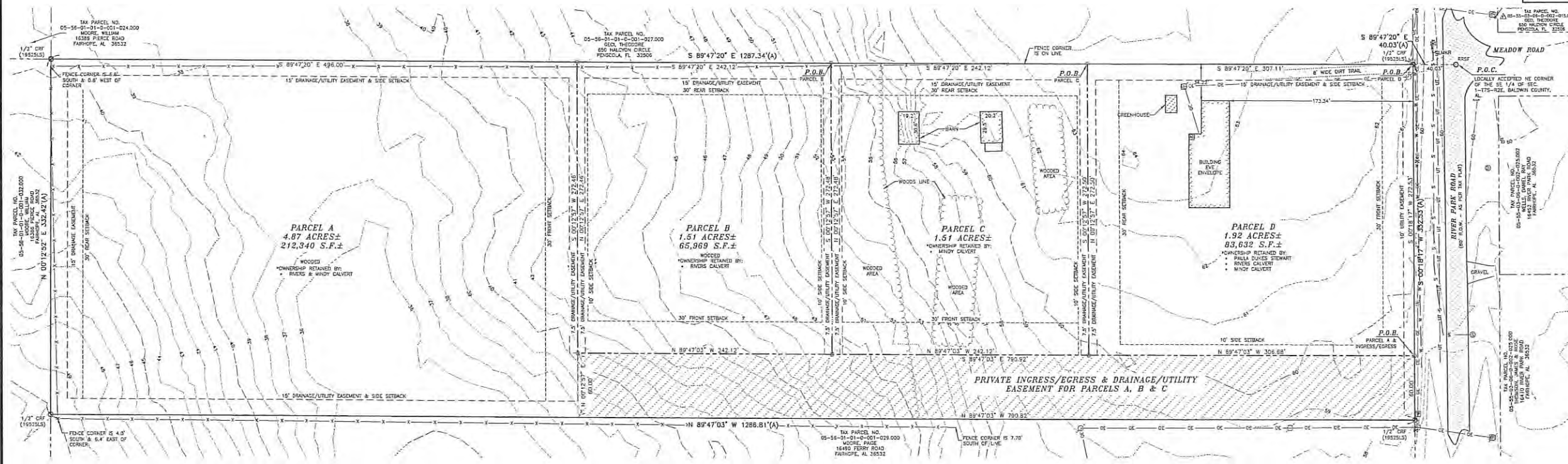
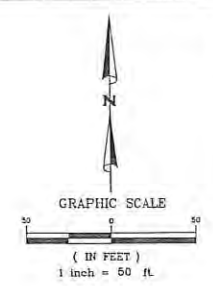
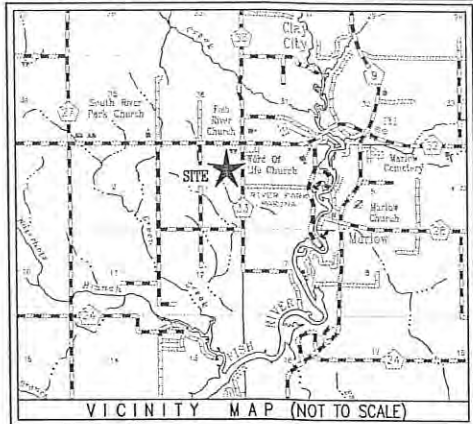
**\*\*THIS EXEMPTION IS ONLY VALID TO  
DEED THE PARCELS SHOWN TO  
IMMEDIATE FAMILY MEMBERS**

**\*Minimum 30' Ingress/Egress  
& Utility Easement must be  
provided for the lot that does  
not have road frontage**

### Legend

-  LAND PARCELS
-  911 ROADS
-  COUNTY MAINTAINED ROADS
-  ASPHALT





**OWNER/DEVELOPER**  
RIVERS & MANDY CALVERT  
18628 RIVERS PARK ROAD  
FAIRHOPE, AL 36532

**SURVEYOR**  
STUART L. SMITH  
AL LICENSE NO. 27403

**SITE DATA**  
TAX PARCEL NO. 05-56-01-01-0-001-028.000  
TOTAL SITE AREA = 1.92 ACRES±  
TOTAL NUMBER OF LOTS = 4  
SMALLEST LOT = 1.51 ACRES± (36,199 S.F.±)  
LARGEST LOT = 4.87 ACRES± (47,433 S.F.±)

**ZONING**  
BALDWIN COUNTY DISTRICT 14  
UNZONED  
CITY OF FAIRHOPE EXTRA TERRITORIAL JURISDICTION

**UNZONED AREA MINIMUM REQUIREMENTS**

- 30' FRONT SETBACK
- 30' REAR SETBACK
- 10' SIDE SETBACK, UNLESS OTHERWISE STATED
- 60' MINIMUM LOT WIDTH AT THE STREET

**NOTE:** AS PER THE HIGHWAY CONSTRUCTION SETBACK ENABLING LEGISLATION FOR BALDWIN COUNTY, AL, ACT NO. 94-572, THE MINIMUM SETBACK REQUIREMENT MEASURED FROM THE CENTERLINE OF THE RIGHT-OF-WAY IS 40' ALONG RIVER PARK ROAD.

**DEDICATED EASEMENTS**

- 7.5' DRAINAGE EASEMENT ON BOTH SIDES OF ALL INTERIOR LOT LINES.
- 15' DRAINAGE EASEMENT ALONG THE SUBDIVISION PERIMETER SIDE AND REAR BOUNDARY LINES.
- THERE IS DEDICATED HERewith A 10' UTILITY EASEMENT ALONG ALL LOT LINES AND COMMON AREA ADJACENT TO THE RIGHT-OF-WAYS AND 5' UTILITY EASEMENT ON BOTH SIDES OF ALL INTERIOR LOT AND COMMON AREA LINES, UNLESS OTHERWISE NOTED.

**UTILITIES**

- POWER - BALDWIN EMC
- SEWER - ONSITE
- WATER - CITY OF FAIRHOPE
- PHONE - AT&T

**MISCELLANEOUS NOTES**

1. A DRAINAGE DESIGN SHALL BE REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION.
2. A BMP PLAN SHALL BE INCLUDED WITH THE DRAINAGE DESIGN DESCRIBED IN NOTE 1. (ABOVE)
3. ALL REQUIRED WATER AND SEWER TESTING SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT.
4. IF A DRIVEWAY IS INSTALLED ALONGSIDE THE HOUSE, THE SIDE SETBACK FOR THE HOUSE SHALL BE 15 FEET.

**LEGAL DESCRIPTION**

(PARENT TRACT, AS PER INSTRUMENT NO. 1744313)  
THE NORTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 7 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA.

**LEGAL DESCRIPTION NEW PARCELS**

**PARCEL A**  
COMMENCING FROM A RAILROAD SPIKE AT THE LOCALLY ACCEPTED NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 7 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89°47'20" EAST A DISTANCE OF 40.03 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525) ON THE WEST MARGIN OF RIVER PARK ROAD (80' R.O.W.); THENCE RUN SOUTH 00°18'17" WEST ALONG SAID WEST MARGIN A DISTANCE OF 272.53 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525) FOR THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00°18'17" WEST ALONG SAID WEST MARGIN A DISTANCE OF 60.00 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525); THENCE LEAVING SAID WEST MARGIN NORTH 89°47'03" WEST A DISTANCE OF 1,286.81 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525); THENCE RUN NORTH 00°12'57" EAST A DISTANCE OF 332.42 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525); THENCE RUN SOUTH 89°47'20" EAST A DISTANCE OF 496.00 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE RUN SOUTH 02°12'57" WEST A DISTANCE OF 272.46 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE RUN SOUTH 89°47'03" EAST A DISTANCE OF 790.82 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED PARCEL CONTAINING 4.87 ACRES, MORE OR LESS.

**PARCEL B**  
SUBJECT TO A PRIVATE INGRESS/EGRESS EASEMENT FOR PARCELS B & C SHOWN HEREON, AND BEING FURTHER DESCRIBED AS FOLLOWS: COMMENCING FROM A RAILROAD SPIKE AT THE LOCALLY ACCEPTED NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 7 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89°47'20" EAST A DISTANCE OF 40.03 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525) ON THE WEST MARGIN OF RIVER PARK ROAD (80' R.O.W.); THENCE RUN SOUTH 00°18'17" WEST ALONG SAID WEST MARGIN A DISTANCE OF 272.53 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604) FOR THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00°18'17" WEST ALONG SAID WEST MARGIN A DISTANCE OF 60.00 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525); THENCE LEAVING SAID WEST MARGIN NORTH 89°47'03" WEST A DISTANCE OF 1,286.81 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525); THENCE LEAVING SAID WEST MARGIN NORTH 89°47'03" WEST A DISTANCE OF 332.42 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525); THENCE RUN SOUTH 89°47'20" EAST A DISTANCE OF 496.00 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE RUN SOUTH 02°12'57" WEST A DISTANCE OF 272.46 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE RUN SOUTH 89°47'03" EAST A DISTANCE OF 790.82 FEET TO THE POINT OF BEGINNING.

**PARCEL C**  
COMMENCING FROM A RAILROAD SPIKE AT THE LOCALLY ACCEPTED NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 7 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89°47'20" EAST A DISTANCE OF 40.03 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525) ON THE WEST MARGIN OF RIVER PARK ROAD (80' R.O.W.); THENCE LEAVING SAID WEST MARGIN NORTH 89°47'20" WEST A DISTANCE OF 549.22 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604) FOR THE POINT OF BEGINNING; THENCE RUN SOUTH 00°12'57" WEST A DISTANCE OF 272.46 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE RUN NORTH 89°47'03" WEST A DISTANCE OF 242.12 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE RUN NORTH 00°12'57" EAST A DISTANCE OF 272.46 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE RUN SOUTH 89°47'20" EAST A DISTANCE OF 242.12 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED PARCEL CONTAINING 1.51 ACRES, MORE OR LESS.

**PARCEL D**  
COMMENCING FROM A RAILROAD SPIKE AT THE LOCALLY ACCEPTED NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 7 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89°47'20" EAST A DISTANCE OF 40.03 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525) ON THE WEST MARGIN OF RIVER PARK ROAD (80' R.O.W.); THENCE RUN SOUTH 00°18'17" WEST ALONG SAID WEST MARGIN A DISTANCE OF 272.53 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE LEAVING SAID WEST MARGIN NORTH 89°47'03" WEST A DISTANCE OF 1,286.81 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525); THENCE LEAVING SAID WEST MARGIN NORTH 89°47'03" WEST A DISTANCE OF 332.42 FEET TO A 1/2" IRON REBAR WITH CAP (LS#19525); THENCE RUN SOUTH 89°47'20" EAST A DISTANCE OF 496.00 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE RUN SOUTH 02°12'57" WEST A DISTANCE OF 272.46 FEET TO A 1/2" IRON REBAR WITH CAP (CA#604); THENCE RUN SOUTH 89°47'03" EAST A DISTANCE OF 790.82 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED PARCEL CONTAINING 1.51 ACRES, MORE OR LESS.

**GENERAL SURVEYOR'S NOTES**

1. SOURCES OF INFORMATION USED TO FACILITATE THIS SURVEY WERE PREVIOUS SURVEYS BY THIS AND OTHER FIRMS, THE RECORDED SUBDIVISION PLAT, AND/OR OTHER RECORDED DOCUMENTS SHOWN HEREON.
2. NO TITLE SEARCH, TITLE OPINION OR ABSTRACT WAS PERFORMED BY THIS FIRM. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS OF RECORD WHICH COULD AFFECT THE BOUNDARIES OF THIS PROPERTY THAT WERE NOT FURNISHED AT THE TIME OF SURVEY.
3. FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 02/26/2019.
4. ALL BEARINGS ARE BASED ON NORTH AMERICAN DATUM 1983, ALABAMA WEST ZONE; STATE PLANE GRID NORTH; DERIVED BY GLOBAL POSITIONING SYSTEM OBSERVATION; ALL DISTANCES SHOWN ARE GROUND DISTANCES. ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH U.S. STANDARD FEET.
5. THE SURVEYED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SCALED FROM FLOOD INSURANCE RATE MAP NO. 01003C0779M, WITH A REVISED DATE OF IDENTIFICATION OF APRIL 19, 2019, FOR COMMUNITY NO. 015000, IN BALDWIN COUNTY, STATE OF ALABAMA.
6. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS SHOWN.
7. ALABAMA ONE CALL WAS CONTACTED TO HAVE THE UNDERGROUND UTILITIES MARKED FOR LOCATION ON 02/26/2019 (TICKET #190572271). ANY EXISTING UNDERGROUND UTILITIES NOT SHOWN HEREON WERE NOT MARKED AT THE TIME OF THIS SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, BUT THE UTILITIES ARE SHOWN AS THEY WERE MARKED IN THE FIELD.
8. THIS IS A BOUNDARY SURVEY.
9. THE SURVEYED PROPERTY LIES WITHIN SECTION 1, TOWNSHIP 7 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA.
10. RIVERS & MANDY CALVERT ARE HUSBAND AND WIFE. PAULA STEWART IS MINDY'S MOTHER.

**SURVEYOR'S CERTIFICATION**

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

STUART L. SMITH, PLS  
ALABAMA LICENSE NUMBER 27403  
DATE \_\_\_\_\_  
DRAWING IS INVALID WITHOUT SIGNATURE & SEAL OF A LICENSED LAND SURVEYOR

**LEGEND**

P.O.C. POINT OF COMMENCEMENT	TELEPHONE BOX (VAULT)
P.O.B. POINT OF BEGINNING	WATER METER
(A) ACTUAL	SEWAGE TREATMENT PLANT
(R) RECORD DEED	WATER VALVE
(P) PLAT OF RECORD	GAS VALVE
(C) COMPUTED	TRANSFORMER BOX
OTIF OPEN TOP IRON PIPE FOUND	LIGHT POLE
IPF IRON PIN FOUND	CABLE TV BOX
CTF CRAMP TOP IRON PIPE FOUND	ELECTRIC BOX
CRF CAPPED REBAR FOUND	ELECTRIC PANEL
RF 1/2" REBAR FOUND	SLURR SEWER LINE MARKER
CRS 1/2" CAPPED REBAR SET STAMPED CA#904	SEWAGE MANHOLE
CMF CONCRETE MONUMENT FOUND	STORM DRAIN MANHOLE
CMS CONCRETE MONUMENT SET	TELEPHONE MANHOLE
LS# LICENSED PROFESSIONAL SURVEYOR'S NUMBER	SEWER CLEANOUT
CA# CERTIFICATE OF AUTHORIZATION NUMBER	SEWER GRINDER PUMP
(DST) DISTURBED	GREASE TRAP
(REF) REFERENCE CORNER SET ON LINE	FLAG POLE
(UND) UNDEVELOPED	GAS LINE SIGN MARKER
INST INSTRUMENT NUMBER	TELEPHONE SIGN MARKER
SECT. SECTION	FIBER OPTIC LINE MARKER
T- TOWNSHIP	EXCEPTION
R- RANGE	-FO- UNDERGROUND FIBER OPTIC LINE
PO- POWER POLE	-OE- OVERHEAD ELECTRIC
DU- DUTY WIRE	-EE- BURIED ELECTRIC LINE
R.O.W. RIGHT-OF-WAY	-UT- UNDERGROUND TELEPHONE LINE
UR- UNDERGROUND TELEPHONE LINE	-S- UNDERGROUND SEWER LINE
FI- FIRE HYDRANT	-W- UNDERGROUND WATERLINE
SI- SIGN	-G- UNDERGROUND GAS LINE
TE- TELEPHONE PEDestal	-TV- UNDERGROUND TELEVISION
EM- ELECTRIC METER BOX	-SP- SPOT GRADE ELEVATIONS
AC- AIR CONDITIONER	-CMP- CORRUGATED METAL PIPE
J- JUNCTION BOX (VAULT)	-RCP- REINFORCED CONCRETE PIPE
EL/ELEV ELEVATION	-CIP- CORRUGATED PLASTIC PIPE
BW INVERT	-FAUCET-
AS ASPHALT	-GUY POLE-
CON CONCRETE	-WOOD FENCE-
	-CHAIN LINK FENCE-
	-BARB WIRE FENCE-

\*ALL LOT CORNERS ARE CAPPED REBAR SET (CRS) UNLESS OTHERWISE STATED.

	<h2 style="margin:0;">HUTCHINSON, MOORE &amp; RAUCH, LLC</h2> <p style="margin:0;">2039 MAIN STREET DAPHNE, ALABAMA 36526</p>		<p style="margin:0;">ENGINEERS &amp; SURVEYORS</p>	<p style="margin:0;">TEL (251) 626-2626 FAX (251) 626-6934 daphne@hmrengineers.com</p>		<p style="margin:0;"><b>CALVERT FAMILY SUBDIVISION</b> PRELIMINARY/FINAL PLAT</p>									
						<p style="margin:0; text-align: center;"><b>RIVERS CALVERT</b></p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:10%;">CLIENT</td> <td style="width:10%;">DATE</td> <td style="width:10%;">DRAWN BY</td> <td style="width:10%;">CHECKED BY</td> <td style="width:10%;">SHEET</td> </tr> <tr> <td style="text-align: center;">RIVERS CALVERT</td> <td style="text-align: center;">MAY 2019</td> <td style="text-align: center;">TBS/SLS</td> <td style="text-align: center;">SLS</td> <td style="text-align: center;">1 OF 2</td> </tr> </table>	CLIENT	DATE	DRAWN BY	CHECKED BY	SHEET	RIVERS CALVERT	MAY 2019	TBS/SLS	SLS
CLIENT	DATE	DRAWN BY	CHECKED BY	SHEET											
RIVERS CALVERT	MAY 2019	TBS/SLS	SLS	1 OF 2											

**CERTIFICATION OF OWNERSHIP AND DEDICATION:**  
STATE OF ALABAMA  
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT I (WE), THE UNDERSIGNED, AM (ARE) THE OWNER(S) OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT I (WE) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND CONVENTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
RIVERS (OR) MANDY CALVERT  
16628 RIVERS PARK ROAD  
FAIRHOPE, AL 36562

**ACKNOWLEDGEMENT OF NOTARY PUBLIC:**  
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN SAID STATE, HEREBY CERTIFY THAT WHOSE NAME(S) IS (ARE) \_\_\_\_\_ SUBSCRIBED TO THE CERTIFICATION OF OWNERSHIP AND DEDICATION, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT HE (THEY) SIGNED, SEALED AND DELIVERED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT HE (THEY) SIGNED, SEALED AND DELIVERED SAID INSTRUMENT AT HIS (THEIR) FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.  
GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
NOTARY PUBLIC

**CERTIFICATION OF OWNERSHIP AND DEDICATION:**  
STATE OF ALABAMA  
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT I (WE), THE UNDERSIGNED, AM (ARE) THE OWNER(S) OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT I (WE) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND CONVENTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
PAULA DUKES STEWART  
7661 FELLERS COURT  
FOLEY, AL 36535

**ACKNOWLEDGEMENT OF NOTARY PUBLIC:**  
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN SAID STATE, HEREBY CERTIFY THAT WHOSE NAME(S) IS (ARE) \_\_\_\_\_ SUBSCRIBED TO THE CERTIFICATION OF OWNERSHIP AND DEDICATION, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT HE (THEY) SIGNED, SEALED AND DELIVERED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT HE (THEY) SIGNED, SEALED AND DELIVERED SAID INSTRUMENT AT HIS (THEIR) FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.  
GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
NOTARY PUBLIC

**CERTIFICATE OF APPROVAL OF THE CITY OF FAIRHOPE PLANNING COMMISSION**

THE WITHIN PLAT OF \_\_\_\_\_, BALDWIN COUNTY, ALABAMA, IS HEREBY APPROVED BY FAIRHOPE CITY PLANNING COMMISSION.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
AUTHORIZED SIGNATURE

**CERTIFICATE OF APPROVAL BY THE COUNTY ENGINEER**

THE UNDERSIGNED, AS COUNTY ENGINEER OF BALDWIN COUNTY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
AUTHORIZED SIGNATURE

**CERTIFICATE OF APPROVAL BY BALDWIN COUNTY EMC**

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY EMC HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
AUTHORIZED SIGNATURE

**CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY E-911 ADDRESSING**

THE UNDERSIGNED, AS AUTHORIZED BY THE BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
AUTHORIZED SIGNATURE

**CERTIFICATE OF APPROVAL BY FAIRHOPE WATER**

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE WATER & SEWER, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
AUTHORIZED SIGNATURE

**CERTIFICATE OF APPROVAL BY AT&T (COMMUNICATIONS)**

THE UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
AUTHORIZED SIGNATURE

NO.	REVISION	DATE	ENGR.



**HUTCHINSON, MOORE & RAUCH, LLC**  
ENGINEERS & SURVEYORS  
2039 MAIN STREET  
DAPHNE, ALABAMA  
36526  
TEL (251) 626-2626  
FAX (251) 626-6934  
dophne@hmrengineers.com



4812-FamilyExempt  
C0029/4812/10.01

**CALVERT FAMILY SUBDIVISION**  
PRELIMINARY/FINAL PLAT  
CLIENT  
**RIVERS CALVERT**

SCALE	DATE	DRAWN BY	CHECKED BY	SHEET
N/A	MAY 2019	TBS/SLS	SLS	2 OF 2



# Planning Commission

June 3, 2019

Subdivision Approval

Case: SD 19.25 River Place

**Project Name:**

River Place

**Property Owner /Applicant:**

Riverwoods Estates, LLC

**General Location:**

Approximately 1500' south of County Road 32 on CR 33 (River Park Road).

**Project Type:**

Major Subdivision inside Fairhope's ETJ

**Number of lots:**

23

**Project Acreage:**

18.06

**Zoning District:**

Unzoned

**PPIN Number:**

30354

**Engineer of record:**

Austin Engineering

**School District:**

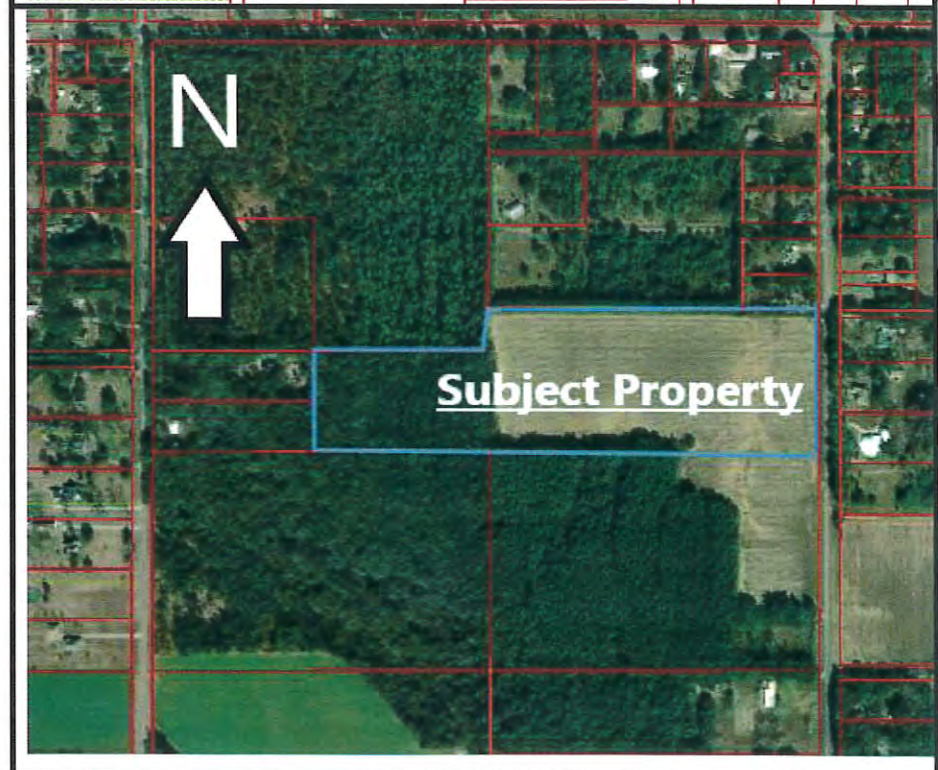
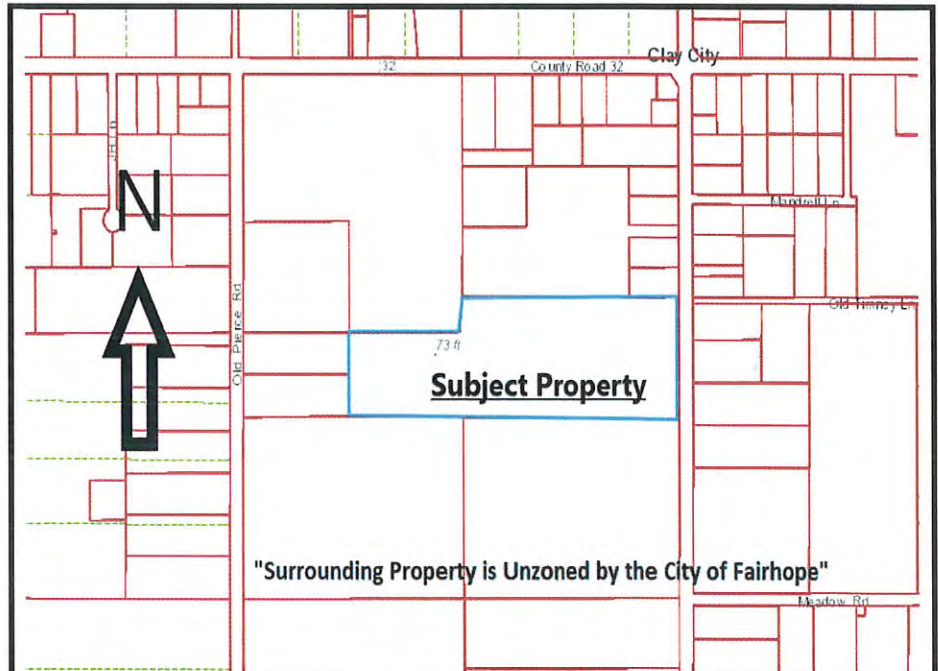
J Larry Newton, Fairhope Middle, Fairhope High School

**Report prepared by:**

Mike Jeffries, QCI Planning Technician

**Recommendation:**

Approve with conditions



**Summary of Request:**

Public hearing to consider the request of Austin Engineering Company, Inc on behalf of Riverwood Estates, LLC owner and applicant for preliminary plat approval of River Place, a 23-lot major subdivision. The property is located on County Road 33 AKA River Park Road. The subject property is 24.2 acres. 18.06 acres is the first phase of development with the smallest lot .46 acres. The remaining remnant parcel of 6.14 acres will be left for future development.

**View looking west towards subject property from River Park Road**



**SITE DATA**

TOTAL NUMBER OF LOTS = 23  
SMALLEST LOT SIZE = 0.46 ACRES±  
TOTAL ACREAGE = 18.06 ACRES±  
DENSITY = 27 LOTS PER ACRE  
TOTAL LINEAR FEET OF STREET = 1,380'  
FRONT SETBACK = 40 FEET  
SIDE SETBACK = 10 FEET  
REAR SETBACK = 30 FEET

**COMMON AREA**

TOTAL COMMON AREA = 2.86 ACRES±  
COMMON AREA FOR DETENTION = 1.13 ACRES±  
COMMON AREA FOR GREENSPACE = 1.93 ACRES±  
GREENSPACE REQUIRED = 1.806 ACRES± (10%)

NOTES:

1. ALL GREENSPACE HAS A BLANKET DRAINAGE EASEMENT.
2. THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION COMMUNITY PANEL NUMBER 815 OF 1100 FOR BALDWIN COUNTY AND MAP NUMBER 0100300815L AS PER REVISED MAP DATED JULY 17, 2007.

**Comments:**

The development will have 23 new single-family residential lots with new roads and infrastructure. And by definition of the City of Fairhope's Subdivision Regulations creating a major subdivision and must abide by the current regulations.

- A community meeting was held and the sign-in sheet shows two adjacent property owners attended. And the minutes reflect the concern for traffic and light at night. Other concerns were emailed and

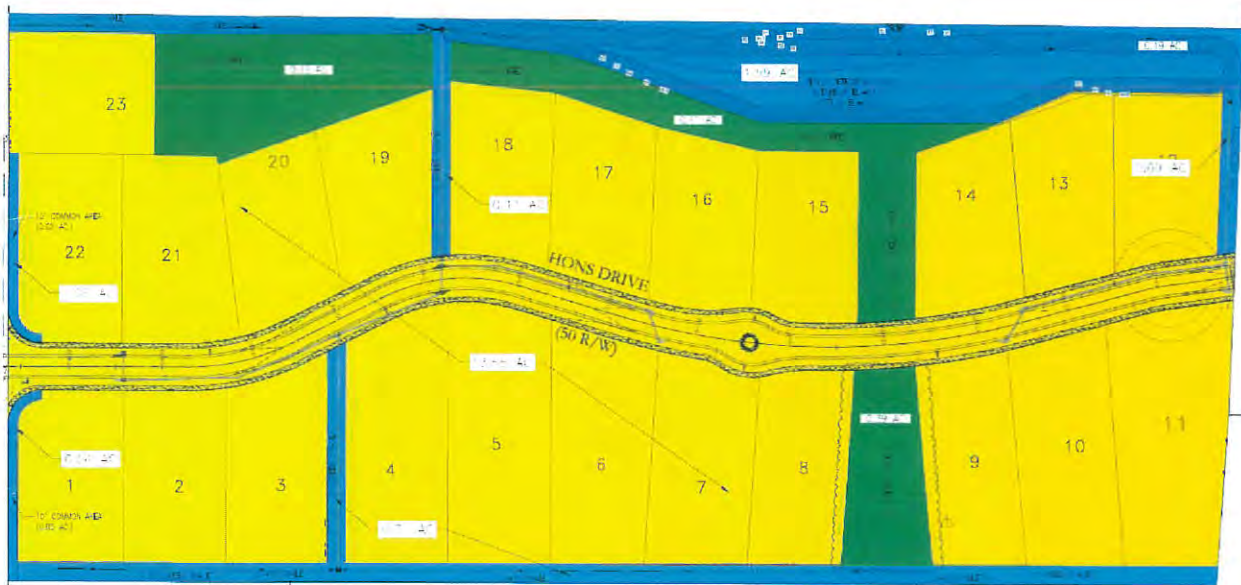
addressed by the engineer of record. Most concerns were items that are to be addressed in the private covenants of the subdivision once approved.




- Paul Merchant, City of Fairhope's Horticulturalist has approved the landscape plan. A tree protection plan was not needed. The site is land that was used for farming and mostly bare of trees. A letter from the EOR was provided.
- A letter stating the proposed subdivision did not trigger a traffic study from Kenneth Nichols, P.E., PTOE with Gulf Coast Traffic and Development Services, LLC was provided.
- Three LID techniques are going to be utilized which will provide the required 80% or more Total Suspended Solids (TSS) removal.

Grass buffers and grass channels provide a 50% TSS removal that will pretreat the majority of the site plus the additional drainage from property off site to the north. All of the storm water will be routed to the wet detention basin which provides 80% TSS removal. A weighted average for the entire site produces a 95% TSS removal.

The sites post-development discharge is less than the pre-development out flow.

- Greenspace accounts for 10.05% of the development which meets the requirement of 10% per the subdivision regulations Article V Section C.2.
- There is eligible greenspace located in part of the drainage easements and detention pond area that were not calculated into the provided 10.05%.



SITE GREEN SPACE LEGEND:	
	GREEN SPACE (10.05%)
	GREEN SPACE WITHIN DRAINAGE EASEMENT (14.93%)
	DEVELOPED AREA (75.57%)
	NET DENSITY (25.77%)

The subdivision regulations contain the following criteria in Article IV.B.2. Approval Standards.

**“2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:**

**a. The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;**

- **Meets**

**b. The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;**

- **Meets**

**c. The proposed subdivision is not consistent with these Regulations;**

- **Meets**

**d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;**  
or

- **Meets**

**e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”**

- **Meets**

**Recommendation:**

Staff recommends approval SD 19.25 with the following conditions:

1. Add note on plat that the detention/common areas shall be maintained by the property owner’s association and not by Baldwin County or the state of Alabama. (As noted on sheet 6 of the drawings.)
2. Add curve and line data to the plat.
3. Will need a copy of the County’s review and the County’s Engineers Certificate of Review.
4. Closeout testing reports shall include mandrel tests on all HDPE storm water drainage pipes.

# RIVER PLACE

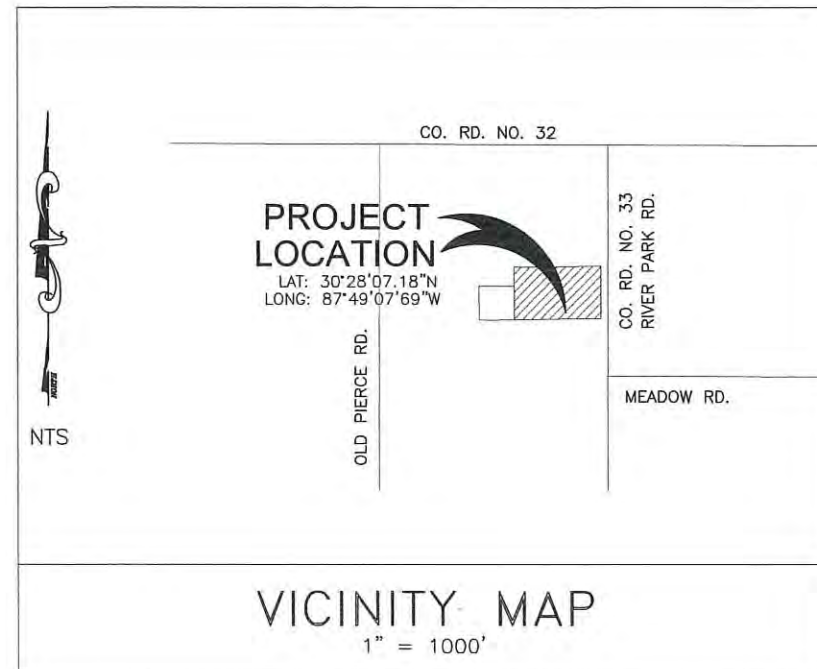
## CO. RD. NO. 33 (A.K.A. RIVER PARK ROAD) ROADWAY, DRAINAGE & WATERLINE IMPROVEMENT PLANS

FEBRUARY 2019

ROAD:	DESIGN SPEED:
HONS DRIVE	20 MPH

APPLICABLE STATE OF ALABAMA SPECIAL AND STANDARD HIGHWAY DRAWINGS, 2018 EDITION:

623-XY	DETAILS OF CONCRETE CURBS AND CONCRETE CURB AND GUTTER, STOPPING AND VERTICAL TYPES
1-621-S	REINFORCED CONCRETE SEWER INLET TYPE S3 & S4
HW-614-SP	CONCRETE SLOPE PAVED HEADWALL AND GRATE FOR SIDEDRAIN PIPE
RPC-530	BEDDING FOR FILL HEIGHTS FOR ALL ROADWAY PIPE CULVERTS
623-N SPEC	DETAILS OF MEDIAN OPENING AND SAFETY GOES AT TRAFFIC CHANNEL ISLANDS
SW-618	(SHEET 1 OF 4) CURB RAMP DETAIL CALLOUTS. GENERAL NOTES FOR CURB RAMPS, SIDEWALKS AND DETAILS.  (SHEET 2 OF 4) CORNER CURB RAMPS  (SHEET 3 OF 4) MID-BLOCK CURB RAMPS  (SHEET 4 OF 4) SIDEWALKS AND CURB RAMPS AT DRIVEWAY, RAILROAD, MEDIAN AND ISLAND CROSSINGS.



INDEX OF DRAWINGS::

- 1 OF 17 COVER SHEET
- 2 OF 17 SUBDIVISION PLAT
- 3 OF 17 PLAN & PROFILE
- 4 OF 17 MISCELLANEOUS DRAINAGE PROFILES
- 5 OF 17 DETENTION POND PLAN
- 6 OF 17 DRAINAGE AREA MAP & CALCULATIONS
- 7 OF 17 ROAD CROSS-SECTIONS
- 8 OF 17 EROSION CONTROL PLAN
- 9 OF 17 EROSION CONTROL DETAILS
- 10 OF 17 MISCELLANEOUS DETAILS
- 11 OF 17 MISCELLANEOUS DETAILS
- 12 OF 17 WATER SYSTEM DETAILS
- 13 OF 17 SUMMARY OF QUANTITIES & NOTES
- 14 OF 17 AERIAL PLAN
- 15 OF 17 GREEN SPACE SITE LAYOUT
- 16 OF 17 PEDESTRIAN CIRCULATION PLAN
- 17 OF 17 PEDESTRIAN CIRCULATION PLAN

UTILITY PROVIDERS	
WATER:	CITY OF FAIRHOPE
POWER:	BALDWIN EMC
GAS:	FAIRHOPE UTILITES
TELEPHONE:	AT&T

PREPARED AND RECOMMENDED BY:



7778-B MCKINLEY AVE. MOBILE, AL 36608  
(251) 633-0997

ENGINEER'S CERTIFICATE

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF ALABAMA HOLDING CERTIFICATE NUMBER 9347, HEREBY CERTIFY THAT I HAVE REVIEWED THE DESIGN HEREIN WHICH WAS DONE UNDER MY DIRECTION, CONTROL AND SUPERVISION AND THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND TO THE BEST OF MY BELIEF, CONFORMS TO THE REQUIREMENTS OF THE FAIRHOPE SUBDIVISION REGULATIONS AND TO ALL OTHER RULES, REGULATIONS, LAWS, AND ORDINANCES APPLICABLE TO MY DESIGN.

*Millard R. Austin*  
MILLARD R. AUSTIN, P.E., P.L.S.  
PROJECT ENGINEER  
05/17/2019  
DATE



RIVER PLACE SUBDIVISION WHICH ARE CERTIFIED CONSIST OF PAGE C1.0 THRU C10.0, EACH OF WHICH BEARS MY SEAL AND SIGNATURE.

THESE PLANS HAVE BEEN DEVELOPED IN ACCORDANCE WITH "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, 2011 EDITION".

ALL MATERIALS AND WORK SHALL CONFORM TO THE ALABAMA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2012 EDITION.

DRAINAGE CALCULATIONS ARE BASED UPON A 25 YEAR STORM FREQUENCY, UTILIZING THE RATIONAL METHOD UNLESS NOTED OTHERWISE.

SPECIAL PRECAUTIONS SHALL BE IMPLEMENTED BY THE CONTRACTOR, IN ACCORDANCE WITH THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORM WATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS BY THE ALABAMA SOIL AND WATER CONSERVATION COMMITTEE, VOLUMES 1 AND 2, 2009 EDITION, TO PREVENT SEDIMENT LADEN STORM WATER RUNOFF OR ERODED MATERIALS FROM LEAVING THE CONSTRUCTION SITE.

ALL APPLICABLE STATE AND FEDERAL PERMITS FOR THIS PROJECT HAVE BEEN OBTAINED INCLUDING THE N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE.

ADMINISTRATIVE APPROVAL:

DATE



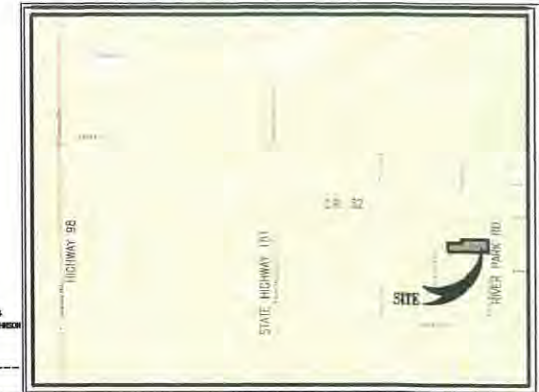
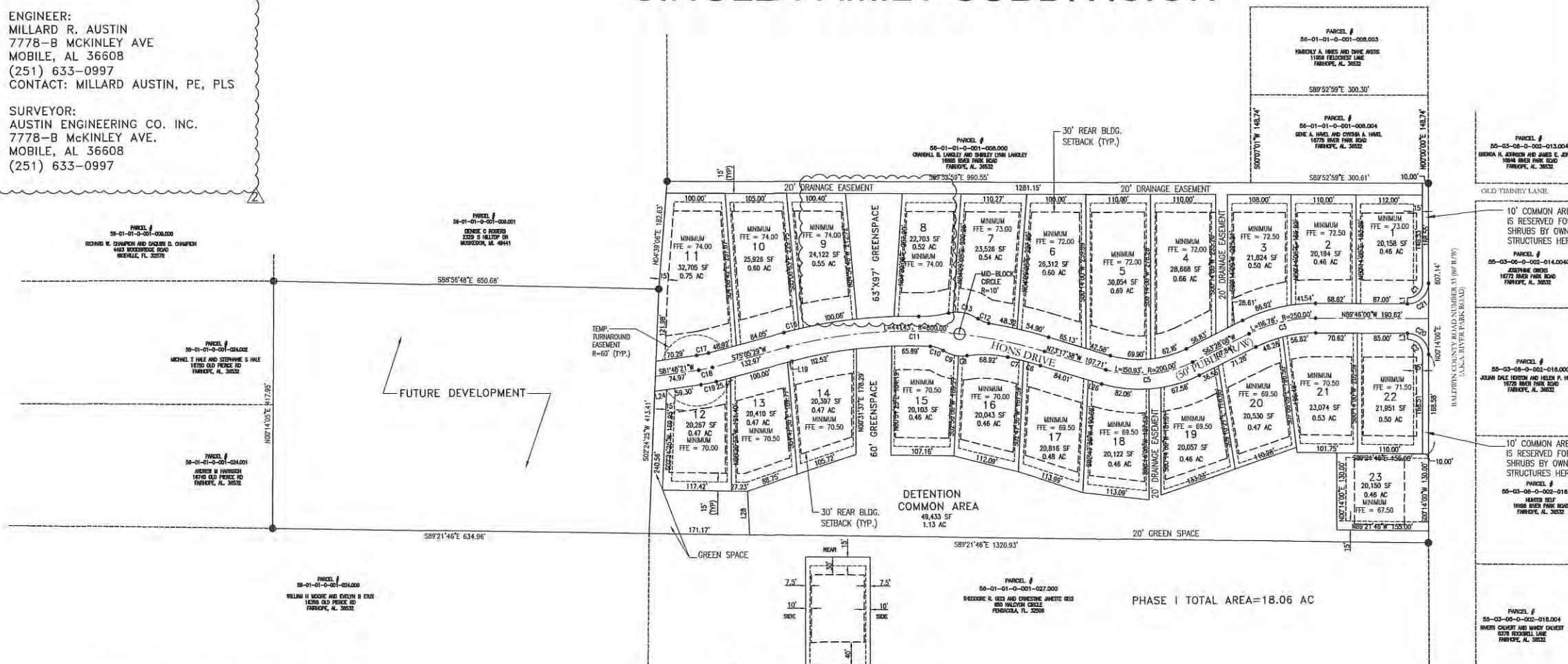
**PROJECT CONTACT INFORMATION:**

**OWNER:**  
RIVER ESTATES, LLC.  
7778-B MCKINLEY AVE  
MOBILE, AL 36608  
(251) 633-0997

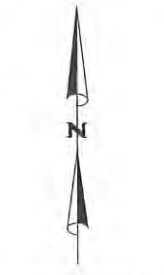
**ENGINEER:**  
MILLARD R. AUSTIN  
7778-B MCKINLEY AVE  
MOBILE, AL 36608  
(251) 633-0997  
CONTACT: MILLARD AUSTIN, PE, PLS

**SURVEYOR:**  
AUSTIN ENGINEERING CO. INC.  
7778-B MCKINLEY AVE.  
MOBILE, AL 36608  
(251) 633-0997

# RIVER PLACE SINGLE FAMILY SUBDIVISION



VICINITY MAP



GRAPHIC SCALE  
( IN FEET )  
1 inch = 100 ft.

**SITE DATA**

TOTAL NUMBER OF LOTS = 23  
SMALLEST LOT SIZE = 0.46 ACRES±  
TOTAL ACREAGE = 18.06 ACRES±  
DENSITY = 1.27 LOTS PER ACRE±  
TOTAL LINEAR FEET OF STREET = 1,380'  
FRONT SETBACK = 40 FEET  
SIDE SETBACK = 10 FEET  
REAR SETBACK = 30 FEET

**COMMON AREA**

TOTAL COMMON AREA = 2.86 ACRES±  
COMMON AREA FOR DETENTION = 1.13 ACRES±  
COMMON AREA FOR GREENSPACE = 1.93 ACRES±  
GREENSPACE REQUIRED = 1.806 ACRES± (10%)

**NOTES:**

- ALL GREENSPACE HAS A BLANKET DRAINAGE EASEMENT.
- THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION COMMUNITY PANEL NUMBER 815 OF 1100 FOR BALDWIN COUNTY AND MAP NUMBER 010030815L AS PER REVISED MAP DATED JULY 17, 2007.

**NOTES:**

- ALL LOT SIDE SETBACKS ARE 10' EXCEPT LOT 11, WHICH HAS A 15' SETBACK ON THE WEST SIDE.
- ALL LOTS SHALL HAVE A 7.5' EASEMENTS ALONG BOTH SIDES EXCEPT LOTS WHICH HAVE NO ADJOINING LOTS. THOSE LOTS WILL HAVE A 15' SIDE DRAINAGE EASEMENT.
- ALL LOTS WILL SHALL HAVE A 15' REAR DRAINAGE EASEMENT.

**TYPICAL MINIMUM BUILDING SETBACKS ON LOTS**

**CERTIFICATE OF APPROVAL OF THE CITY OF FAIRHOPE PLANNING COMMISSION**

THE WITHIN PLAT OF RIVERWOOD ESTATES, BALDWIN COUNTY, ALABAMA, IS HEREBY APPROVED BY FAIRHOPE CITY PLANNING COMMISSION.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019

SECRETARY

**CERTIFICATE OF APPROVAL AT&T**

THE UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

(AUTHORIZED SIGNATURE)

**CERTIFICATE OF BALDWIN EMC (ELECTRIC)**

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC (ELECTRIC), HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

(AUTHORIZED SIGNATURE)

**CERTIFICATE OF CITY OF FAIRHOPE (WATER)**

THE UNDERSIGNED, AS AUTHORIZED BY CITY OF FAIRHOPE (WATER), HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

(AUTHORIZED SIGNATURE)

**CERTIFICATE OF FAIRHOPE UTILITIES (GAS)**

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE UTILITIES (GAS), HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

(AUTHORIZED SIGNATURE)

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

STATE OF ALABAMA  
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT I, RAYMOND C. LEE AS MEMBER OF RIVERWOOD ESTATES, LLC AM THE OWNER OF THE LAND SHOWN AND DESCRIBED IN THE PLAT, AND THAT I HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREIN, FOR THE USES AND PURPOSE HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED, AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019

OWNER

**CERTIFICATION BY NOTARY PUBLIC**

STATE OF ALABAMA  
COUNTY OF BALDWIN

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR THE COUNTY OF BALDWIN IN THE STATE OF ALABAMA DO CERTIFY THAT WHOSE NAME IS SUBSCRIBED TO THE CERTIFICATE OF OWNERSHIP AND DEDICATION, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED, SEALED AND DELIVERED SAID INSTRUMENT AT THIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSE HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

NOTARY PUBLIC

**CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY HEALTH DEPARTMENT**

THE UNDERSIGNED, AS AUTHORIZED BY THE BALDWIN COUNTY HEALTH DEPARTMENT, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

(AUTHORIZED SIGNATURE)

**CERTIFICATE OF APPROVAL BALDWIN COUNTY ENGINEER**

THE WITHIN PLAT OF RIVERWOOD ESTATES, BALDWIN COUNTY, ALABAMA, IS HEREBY APPROVED BY THE BALDWIN COUNTY PLANNING COMMISSION.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

(AUTHORIZED SIGNATURE)

**SURVEYOR'S CERTIFICATION**

**RECORD DESCRIPTION:**

COMMENCING AT THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 7 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN S-00°19'29"-W, ALONG SAID SECTION LINE, 1152.77 FEET TO A POINT; THENCE RUN WEST, LEAVING SAID SECTION LINE, 42.25 FEET TO THE WEST RIGHT-OF-WAY LINE OF BALDWIN COUNTY ROAD NUMBER 33, AND THE POINT OF BEGINNING; THENCE RUN S-00°14'00"-W, ALONG SAID WEST RIGHT-OF-WAY LINE OF BALDWIN COUNTY ROAD NUMBER 33, 507.13 FEET TO A POINT; THENCE RUN N-89°21'46"-W, LEAVING SAID WEST RIGHT-OF-WAY LINE OF BALDWIN COUNTY ROAD NUMBER 33, 1955.89 FEET TO A POINT; THENCE RUN N-00°14'12"-E, 208.09 FEET TO A POINT; THENCE RUN N-00°13'58"-E, 208.86 FEET TO A POINT; THENCE RUN S-89°58'46"-E, 650.68 FEET TO A POINT; THENCE RUN N-04°39'06"-E, 182.63 FEET TO A POINT; THENCE RUN S-89°52'59"-E, 1291.15 FEET TO THE POINT OF BEGINNING; CONTAINING 24.19 ACRES, MORE OR LESS.

I, MILLARD R. AUSTIN, A REGISTERED SURVEYOR OF MOBILE COUNTY, ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF BALDWIN DEVELOPMENT CORPORATION, THE OWNER, SITUATED IN BALDWIN COUNTY, ALABAMA.

I HEREBY CERTIFY THAT ALL PARTS OF THE SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

*Millard R. Austin* DATE: 05/20/19  
MILLARD R. AUSTIN  
ALA LIC. NO. 9347

**ENGINEER'S CERTIFICATE**

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF ALABAMA HOLDING CERTIFICATE NUMBER 9347, HEREBY CERTIFY THAT I HAVE REVIEWED THE DESIGN HEREIN WHICH WAS DONE UNDER MY DIRECT CONTROL AND SUPERVISION AND THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND TO THE BEST OF MY BELIEF, CONFORMS TO THE REQUIREMENTS OF THE FAIRHOPE SUBDIVISION REGULATIONS AND TO ALL OTHER RULES, REGULATIONS, LAWS, AND ORDINANCES APPLICABLE TO MY DESIGN.

*Millard R. Austin*  
MILLARD R. AUSTIN, P.E., P.L.S.  
PROJECT ENGINEER  
05/17/2019  
DATE

RIVER PLACE SUBDIVISION WHICH ARE CERTIFIED CONSIST OF PAGE C10 THRU C100, EACH OF WHICH BEARS MY SEAL AND SIGNATURE.

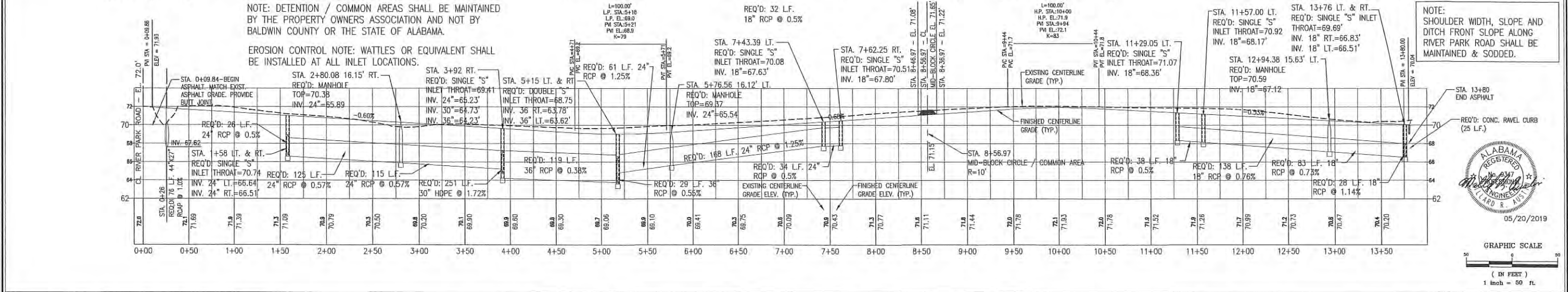
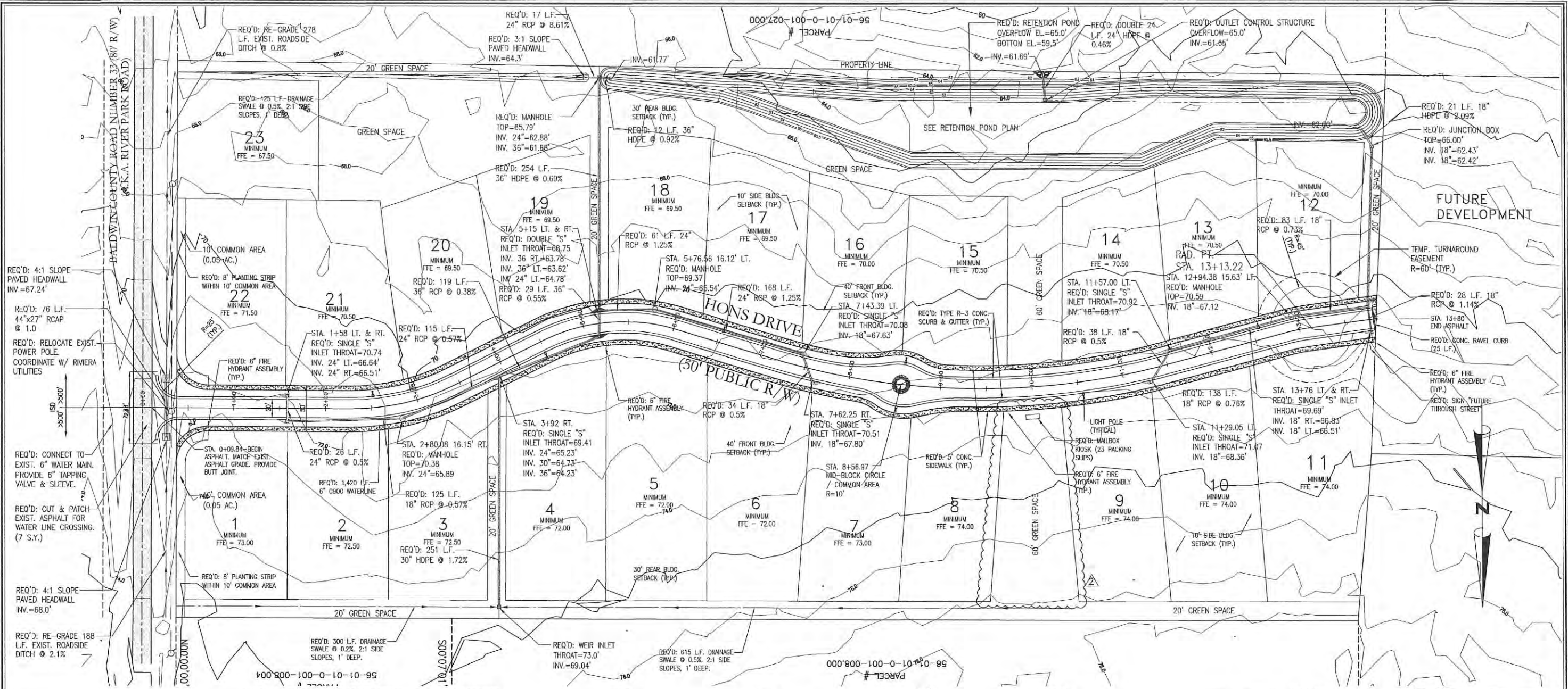
1	ADDED STREET SIGN AND LIGHT POLES	05/13/2019
2	REVISIONS PER CITY COMMENTS	05/20/2019

*RIVER PLACE  
PRELIMINARY PLAT  
BALDWIN COUNTY, ALABAMA*

DESIGNED BY: MRA DATE: 2/7/2019  
DRAWN BY: JLC DRAWING NO.:  
CHECKED BY: MRA SHEET 1 OF 1  
SCALE: 1"=100'

**AUSTIN ENGINEERING  
CO. INC.**

7778-B MCKINLEY AVE. MOBILE, AL 36608  
(251) 633-0997



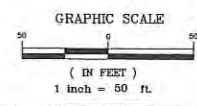
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2	REVISIONS PER CITY COMMENTS	05/20/2019

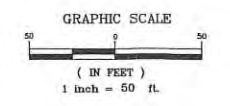
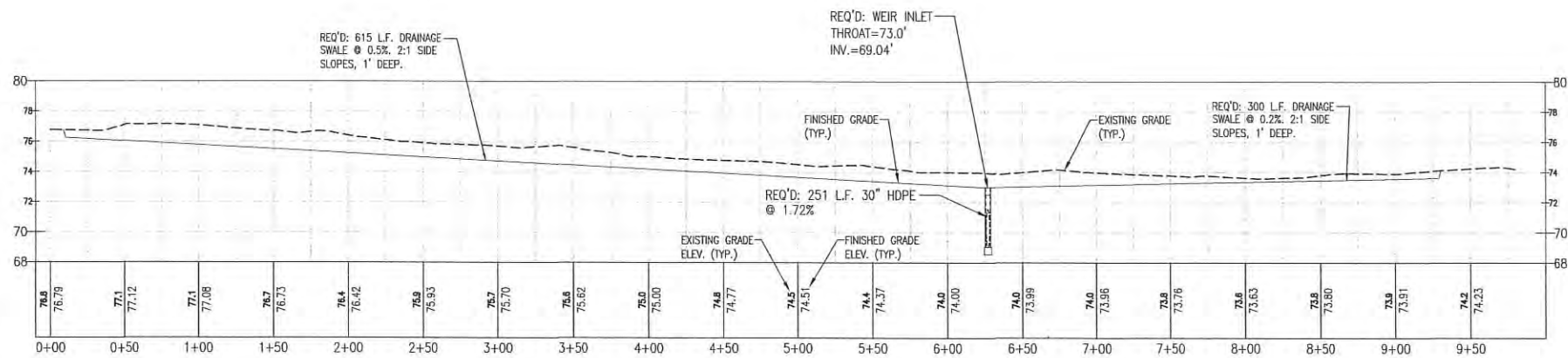
**RIVER PLACE  
HONS DRIVE: PLAN & PROFILE  
COUNTY ROAD NO. 33  
BALDWIN COUNTY, ALABAMA**

DESIGNED BY: MRA	DATE: 2/12/2019
DRAWN BY: JLC	DRAWING NO.:
CHECKED BY: MRA	SHEET 3
SCALE: 1"=50' H., 1"=5' V.	

**AUSTIN ENGINEERING**  
**AUSTIN CO. INC.**

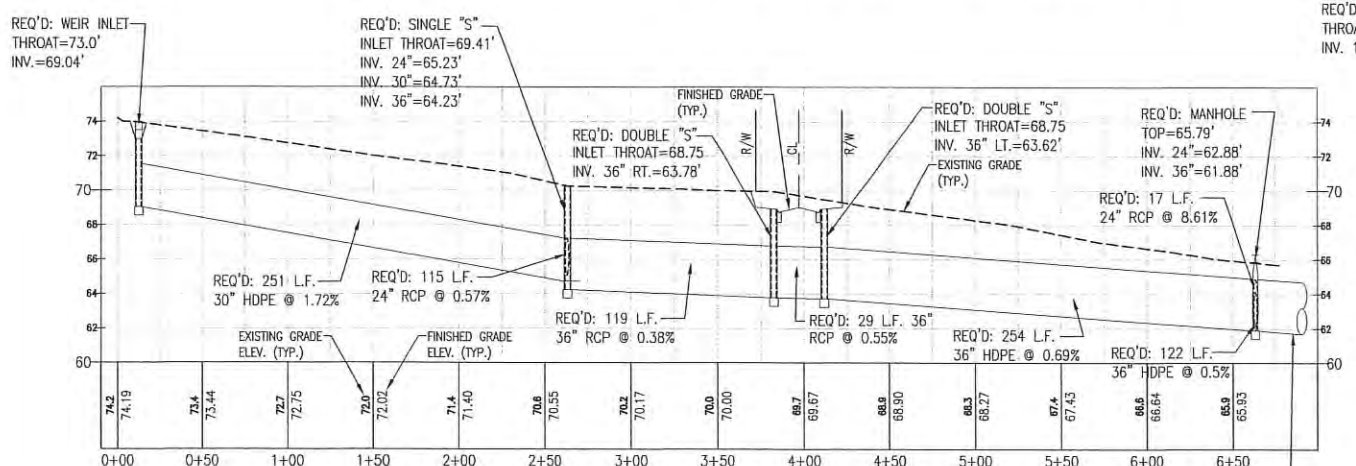
7778-B MCKINLEY AVE. MOBILE, AL 36608  
(251) 633-0997



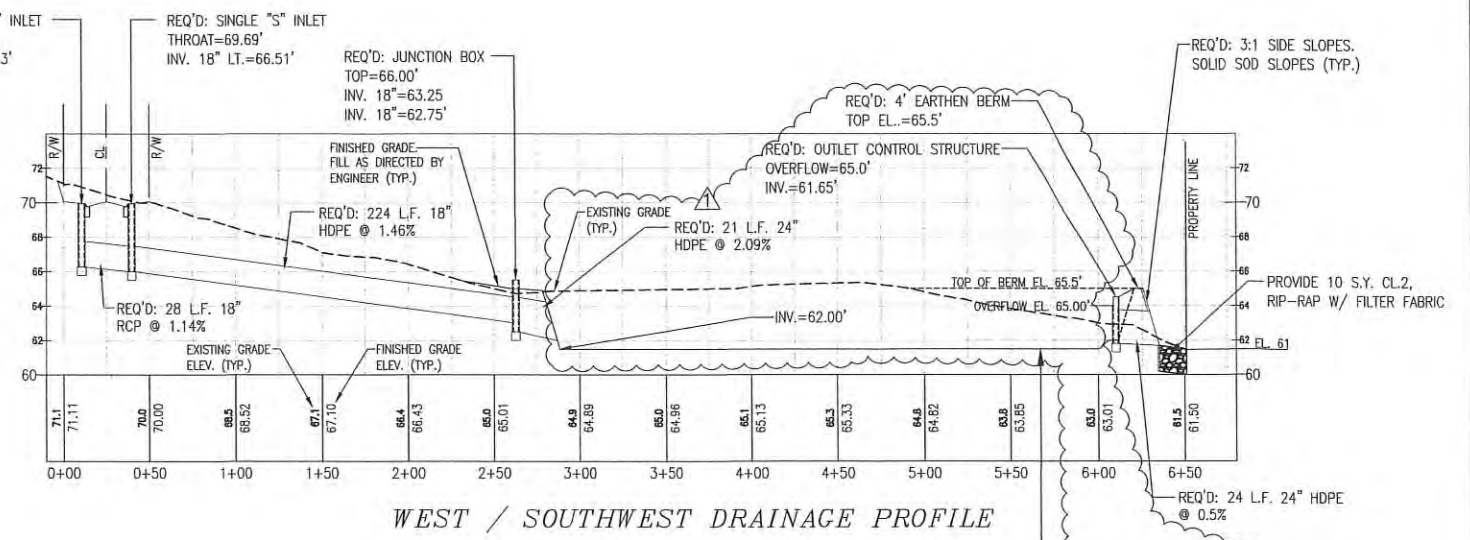


NOTE:  
SOLID SOD ALL SLOPES.

NORTH SWALE DRAINAGE PROFILE

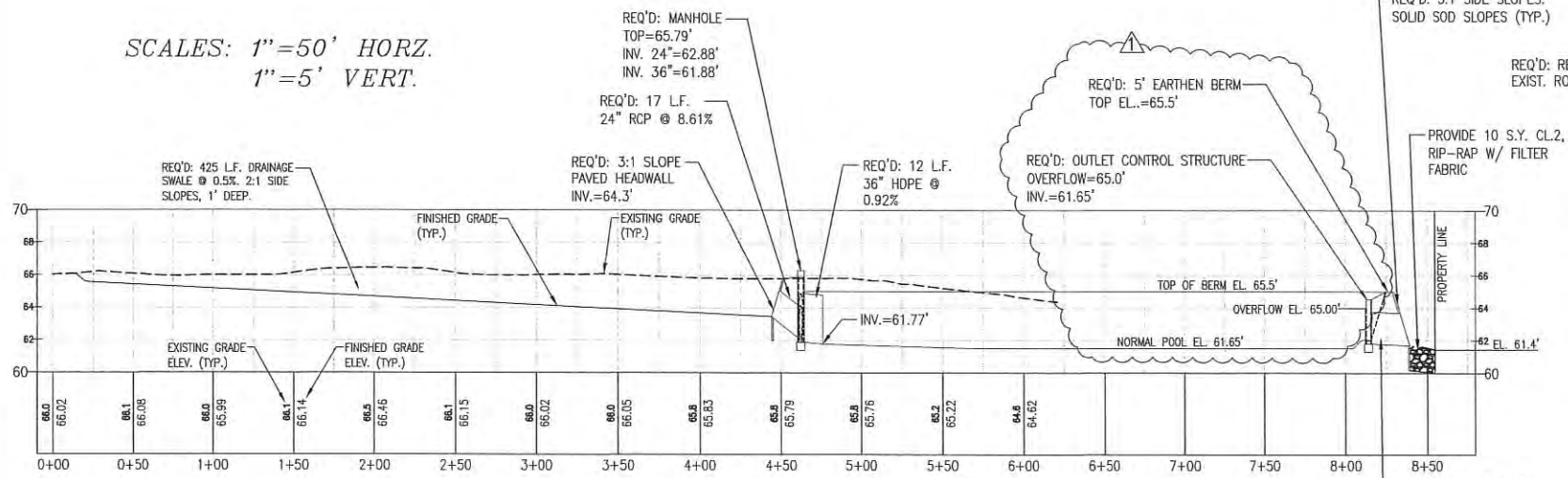


DRAINAGE PROFILE BETWEEN LOTS 3-4, 18-19

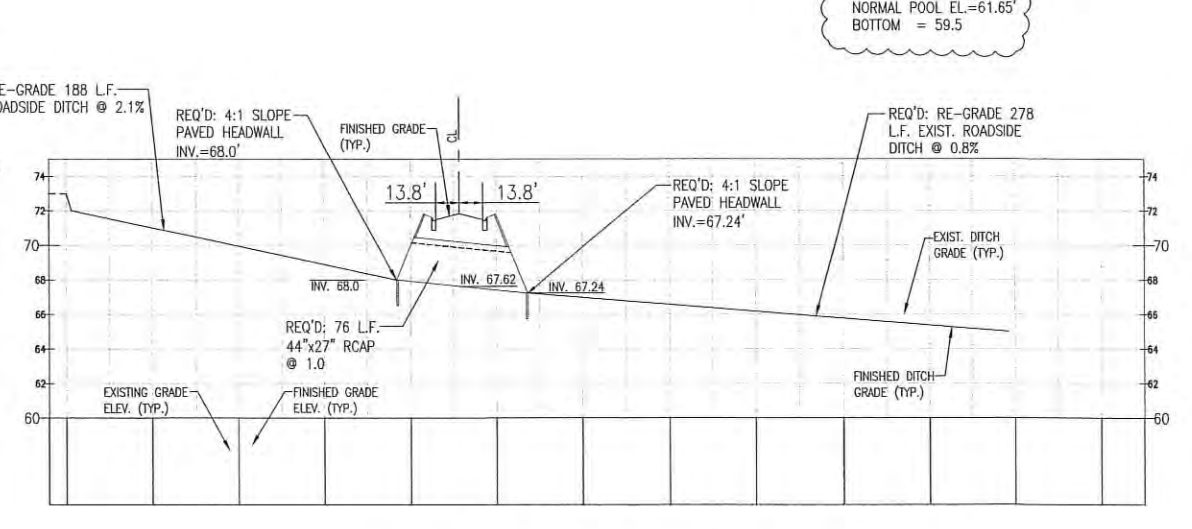


WEST / SOUTHWEST DRAINAGE PROFILE

SCALES: 1"=50' HORZ.  
1"=5' VERT.



SOUTHEAST DRAINAGE PROFILE



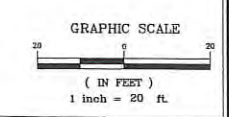
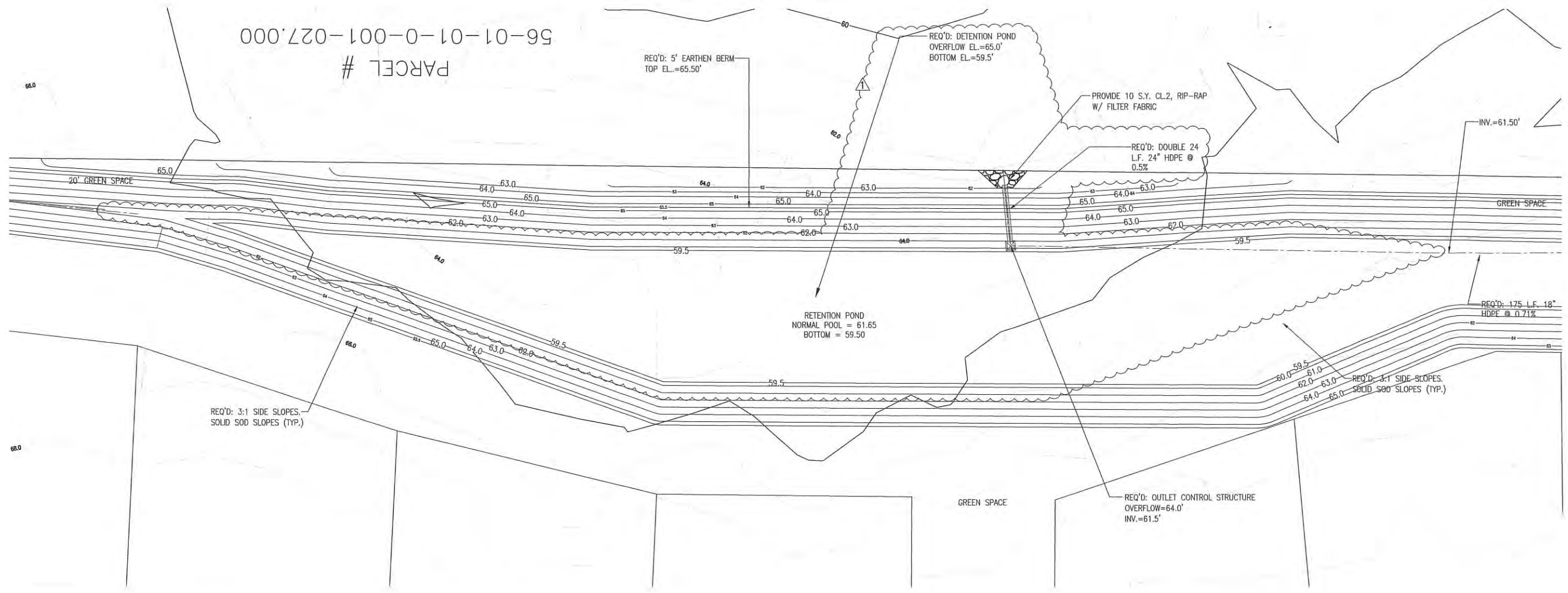
DRIVEWAY / DITCH DRAINAGE PROFILE

RIVER PLACE  
MISCELLANEOUS DRAINAGE PROFILES  
COUNTY ROAD NO. 33  
BALDWIN COUNTY, ALABAMA

DESIGNED BY: MRA	DATE: 2/12/2019
DRAWN BY: JLC	DRAWING NO.:
CHECKED BY: MRA	SHEET 4
SCALE: 1"=50' H., 1"=5' V.	

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(251) 633-0997

56-01-01-0-001-027.000  
 PARCEL #



1	ADDED STREET SIGN AND LIGHT POLES	05/17/2019	

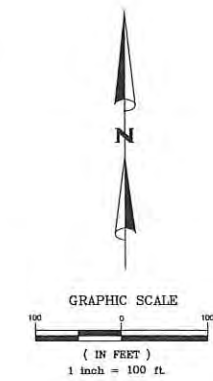
RIVER PLACE  
 DETENTION POND PLAN  
 COUNTY ROAD NO. 33  
 BALDWIN COUNTY, ALABAMA

DESIGNED BY: MRA	DATE: 2/12/2019
DRAWN BY: JLC	DRAWING NO.:
CHECKED BY: MRA	SHEET 5
SCALE: 1"=20'	

**AUSTIN ENGINEERING CO. INC.**  
 7778-B MCKINLEY AVE. MOBILE, AL 36608  
 (251) 633-0997



NOTE: DETENTION / COMMON AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION AND NOT BY BALDWIN COUNTY OR THE STATE OF ALABAMA.



EROSION CONTROL NOTE: WATTLES OR EQUIVALENT SHALL BE INSTALLED AT ALL INLET LOCATIONS.

NOTE: SHOULDER WIDTH, SLOPE AND DITCH FRONT SLOPE ALONG RIVER PARK ROAD SHALL BE MAINTAINED & SODDED.

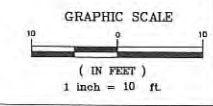
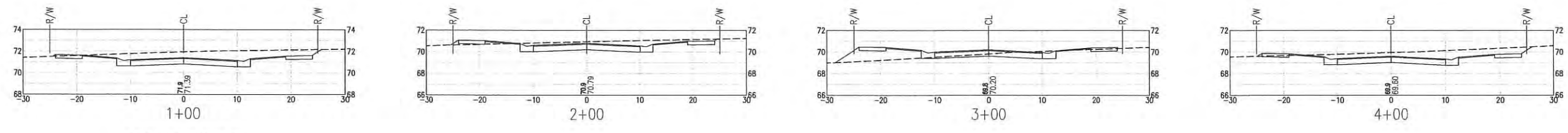
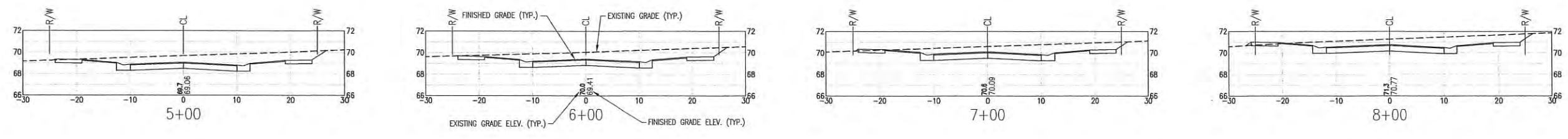
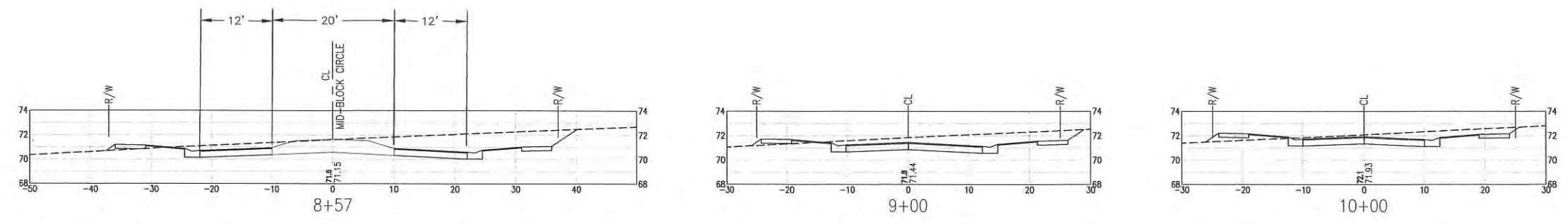
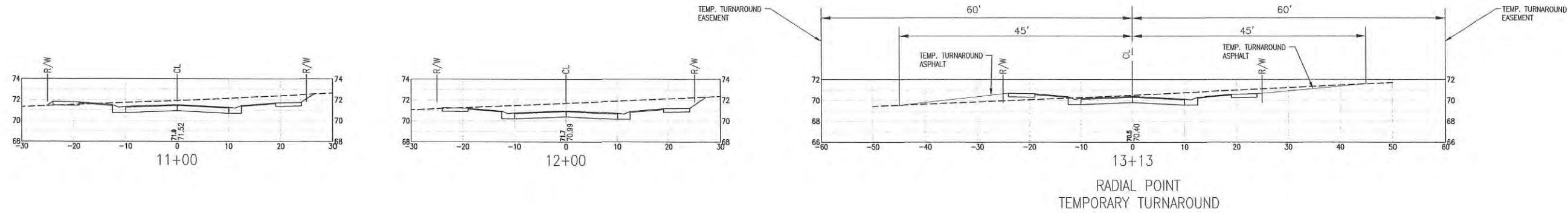
1	REVISIONS PER CITY COMMENTS	05/20/2019

RIVER PLACE  
DRAINAGE AREA MAP & CALCS.  
COUNTY ROAD NO. 33  
BALDWIN COUNTY, ALABAMA

DESIGNED BY: MRA	DATE: 2/12/2019
DRAWN BY: JLC	DRAWING NO.:
CHECKED BY: MRA	SHEET 6
SCALE: 1"=100'	

**AUSTIN ENGINEERING**  
**CO. INC.**

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(251) 633-0997

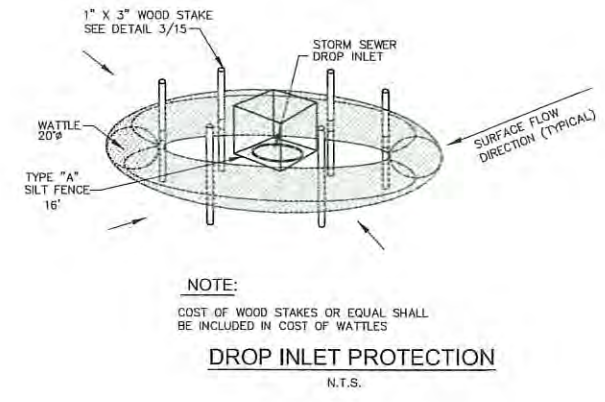
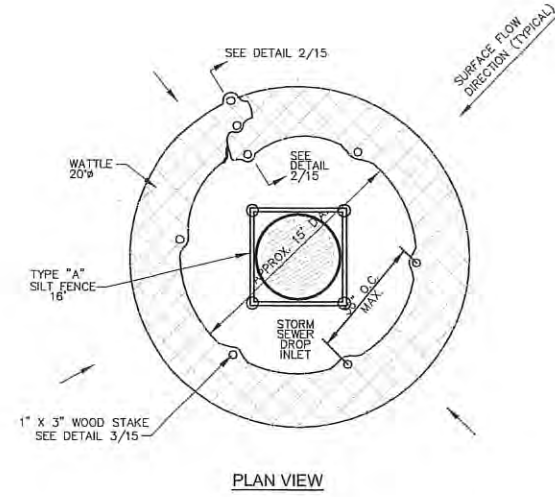
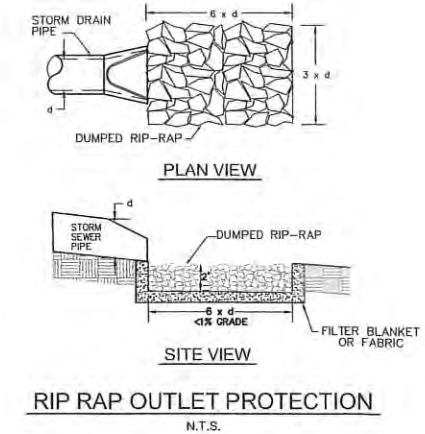
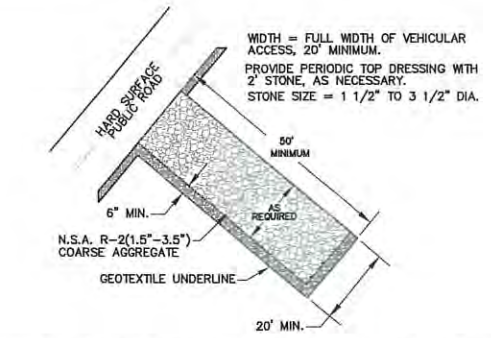
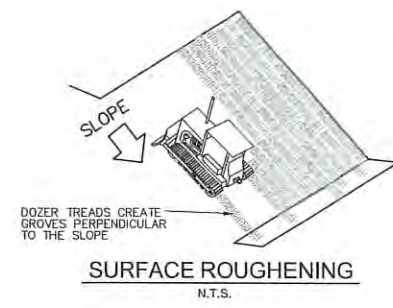


RIVER PLACE  
ROAD CROSS-SECTIONS  
COUNTY ROAD NO. 33  
BALDWIN COUNTY, ALABAMA

DESIGNED BY: MRA      DATE: 2/12/2019  
DRAWN BY: JLC          DRAWING NO.:  
CHECKED BY: MRA      SHEET 7  
SCALE: 1"=10' H., 1"=5' V.

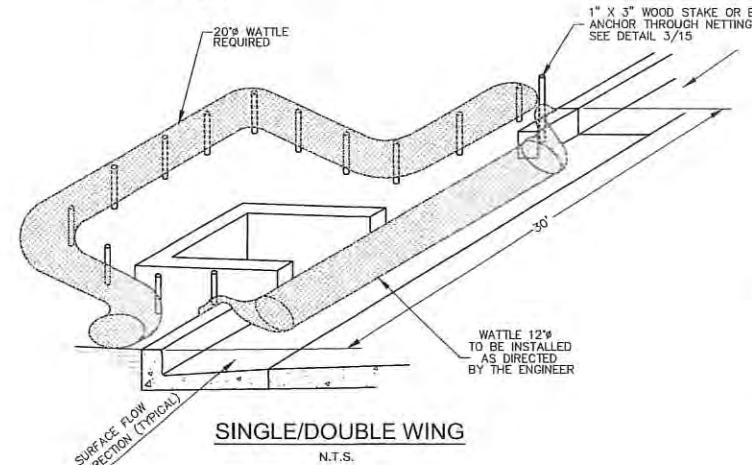
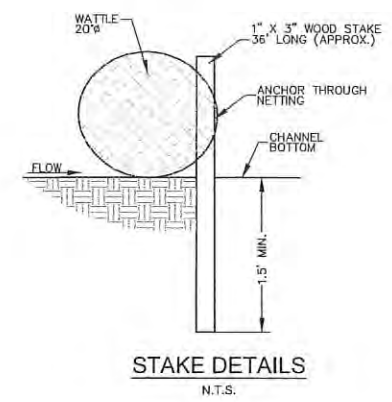
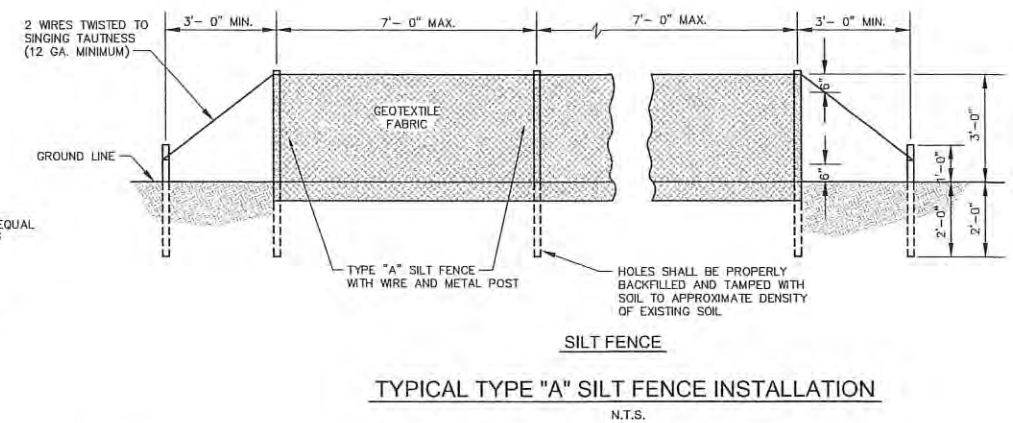
**AUSTIN ENGINEERING**  
*co. inc.*  
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(251) 633-0997





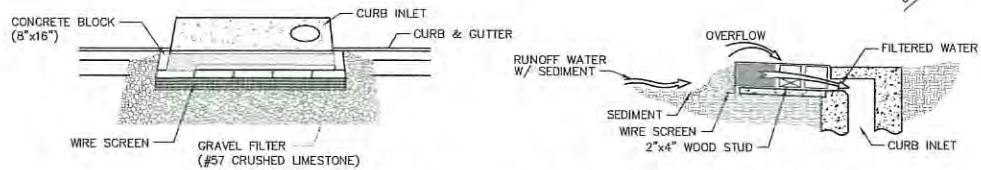
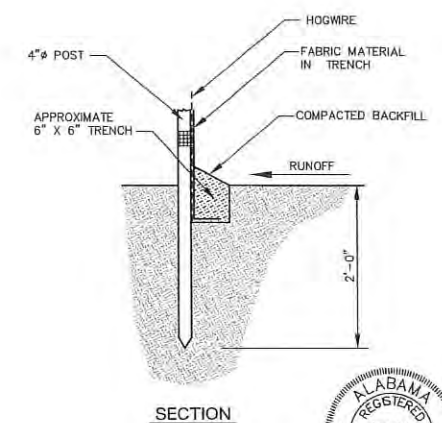
**STONE PAD CONSTRUCTION ENTRANCE & EXIT**  
N.T.S.

NOTE:  
CONTRACTOR SHALL MINIMIZE DIRT TRACKING ON THE EXISTING ROAD AT ALL TIMES. IF TRACKING DOES OCCUR, THE CONTRACTOR SHALL CLEAN ALL MATERIAL OFF OF ROAD BEFORE LEAVING THE SITE EACH DAY.



**GENERAL NOTES**

1. SILT FENCE SHALL BE TYPE "A" ONLY.
2. SILT FENCES ARE TEMPORARY EROSION CONTROL ITEMS THAT SHALL BE ERRECTED OPPOSITE ERODIBLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
3. SILT FENCE SHOULD BE PLACED WELL INSIDE PROPERTY BOUNDARY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW ROOM FOR A BACK-UP FENCE IF FIRST BECOMES FULL. SILT FENCES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION OPERATION.
4. WHEREVER POSSIBLE, SILT FENCES SHALL BE CONSTRUCTED ACROSS A FLAT AREA IN THE SHAPE OF A HORSESHOE. THIS AIDS IN PONDING OF RUNOFF AND FACILITATES SEDIMENTATION.
5. AFTER THE CONSTRUCTION AREA IS STABILIZED AND EROSION ACTIVITY CURTAILED, SILT FENCES SHALL BE REMOVED.
6. RING FASTENERS USED TO SECURE GEOTEXTILES TO WOVEN WIRE SHALL BE 13 GA. (AMERICAN).
7. IF WOOD POSTS ARE USED, STAPLES FOR SECURING WOVEN WIRE TO POSTS SHALL BE NINE (9) GAUGE, GALVANIZED, 1 1/2" LONG, FIVE (5) PER POST @ APPROXIMATELY 1'-0" ON CENTER.
8. WOVEN WIRE TO BE 12 1/2 GAUGE (MINIMUM).



**BLOCK & GRAVEL CURB INLET SEDIMENT FILTER**  
N.T.S.

**MAINTENANCE**

- 1) THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- 2) SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- 3) STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**SPECIFIC APPLICATION**

THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE AN OVERFLOW CAPABILITY IS NECESSARY TO PREVENT EXCESSIVE PONDING IN FRONT OF THE STRUCTURE.

**NOTE:**  
ALL DETAILS MAY NOT BE APPLICABLE TO PROPOSED PROJECT.



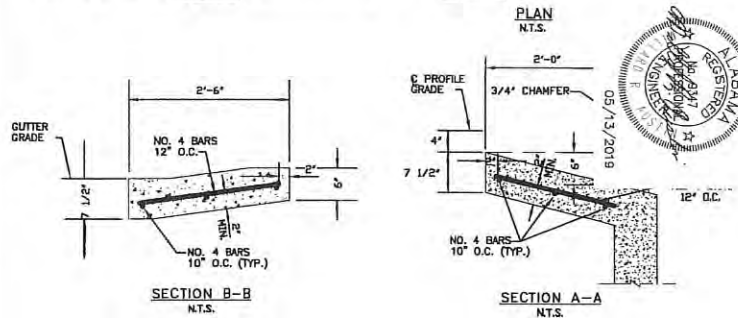
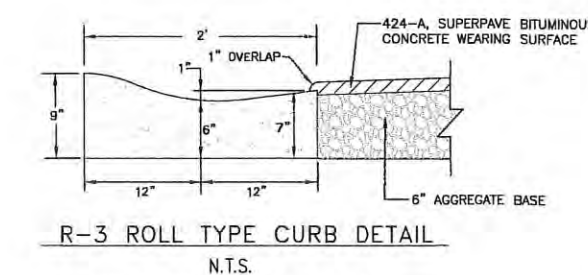
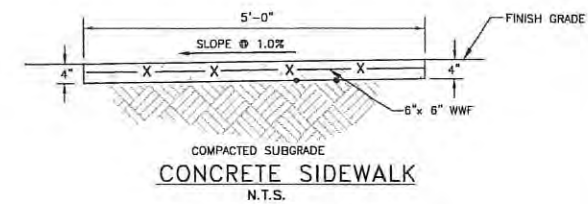
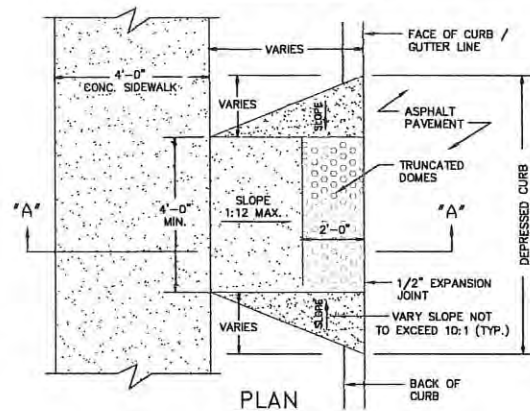
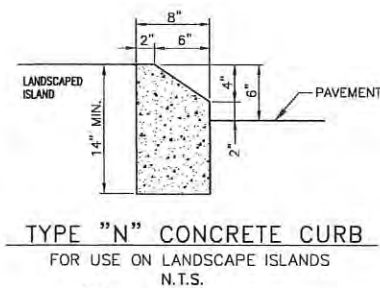
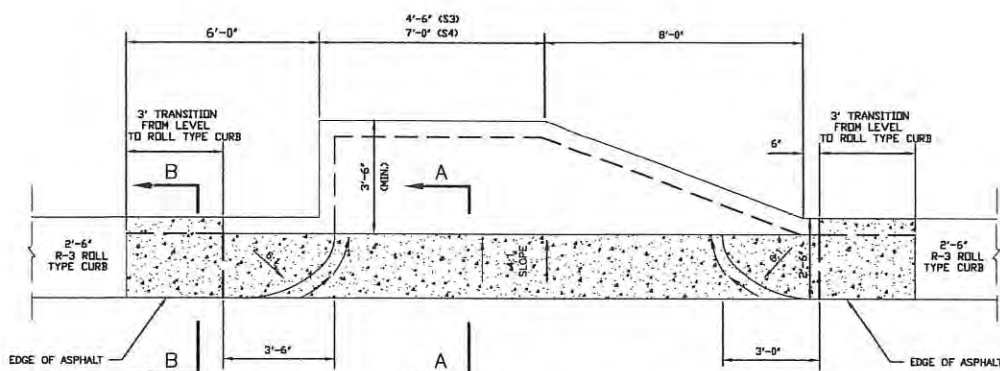
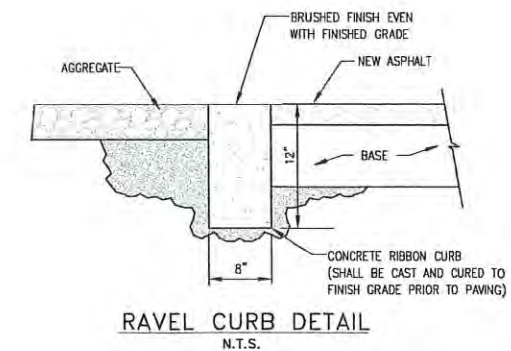
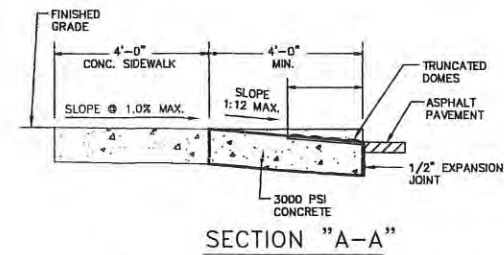
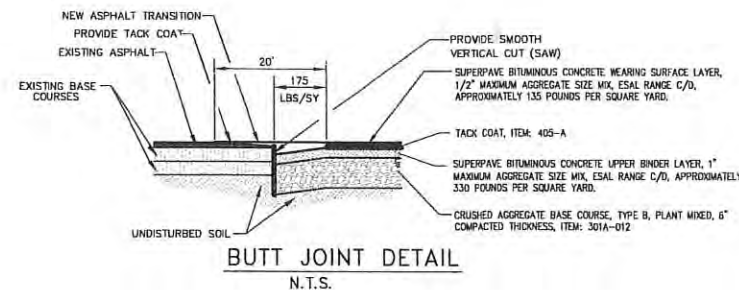
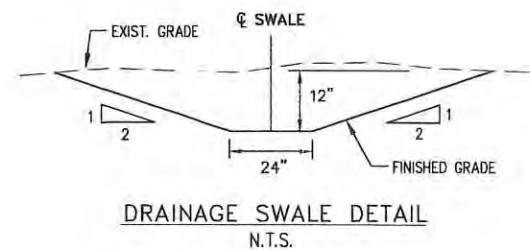
**RIVER PLACE  
EROSION CONTROL DETAILS**

DESIGNED BY: JC	DATE: 2/12/2019
DRAWN BY: JC	DRAWING NO.:
CHECKED BY: MRA	SHEET 9
SCALE: N.T.S.	

**AUSTIN ENGINEERING CO., INC.**  
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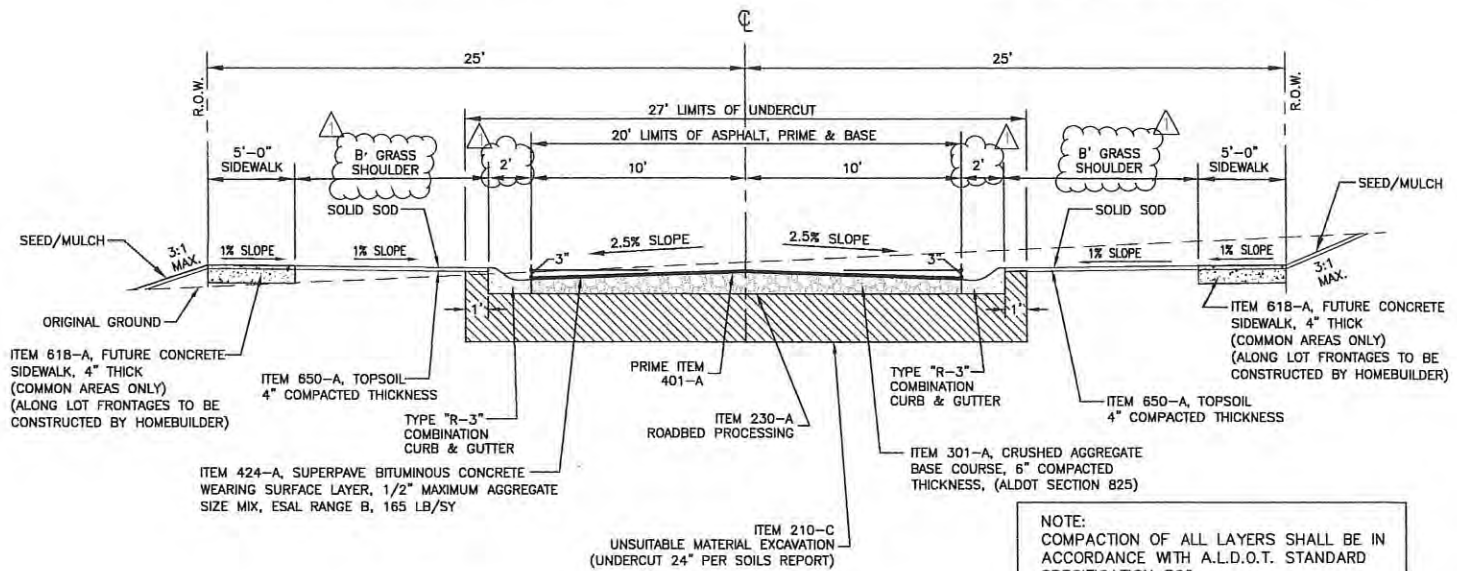
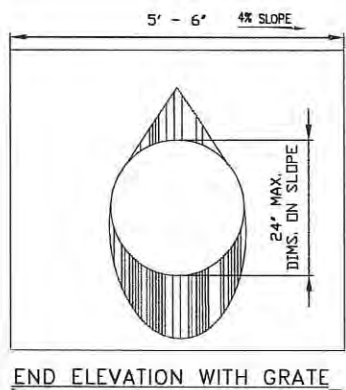
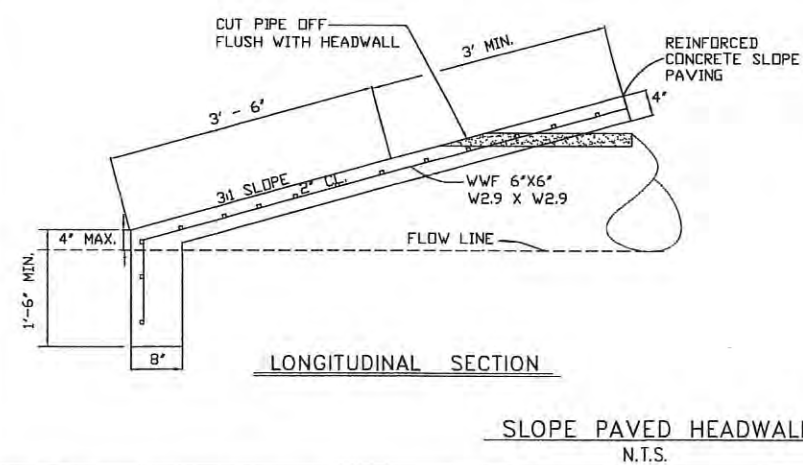




THE 3' TRANSITION IS TO BE CONSTRUCTED OF CONCRETE AND TO BE POURED AT THE SAME TIME AS THE CONCRETE SPILLWAY. ANY COST FOR CONSTRUCTING THE 3' TRANSITION IS TO BE INCLUDED IN THE PRICE BID FOR INLETS.

THIS DETAIL AND SECTIONS ARE SUPPLEMENTAL TO ENFORCED CONCRETE SEWER INLET TYPE "S3" AND "S4" OF ALABAMA DEPARTMENT OF TRANSPORTATION SPECIAL AND STANDARD HIGHWAY DRAWINGS 2018 OR CURRENT EDITION.

- NOTES:
- RAMPS ARE DESIGNED TO THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT.
  - RAMPS SHALL HAVE A TACTILE SURFACE, TEXTURED TO A DEPTH NOT EXCEEDING 1/8" BY USE OF TAMP OR ROLLER.
  - SEE A.D.O.T. SPECIAL DRAWING NO. SW-618 (CURRENT EDITION) FOR FURTHER DETAILS.



- NOTE: COMPACTION OF ALL LAYERS SHALL BE IN ACCORDANCE WITH A.L.D.O.T. STANDARD SPECIFICATION 306.
- NOTE: PER A.L.D.O.T. STANDARD SPECIFICATION 306.03 (g). MINIMUM DENSITY OF ASPHALT SHALL BE 92.0.

1	REVISED TYPICAL SECTION	5/17/2019	

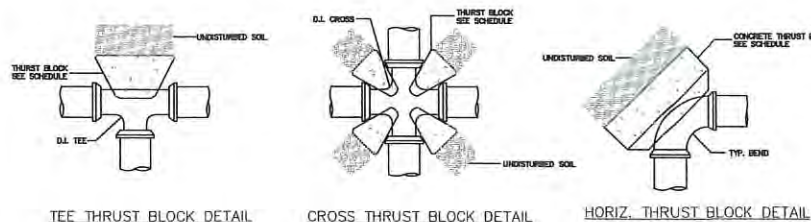
## RIVER PLACE TYPICAL SECTION & DETAILS

DESIGNED BY: JC	DATE: 2/12/2019
DRAWN BY: JC	DRAWING NO.:
CHECKED BY: MRA	SHEET 11
SCALE: N.T.S.	

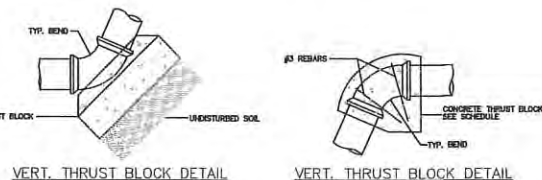
**AUSTIN ENGINEERING CO. INC.**  
7778-B MCKINLEY AVE. MOBILE, AL 36608  
(251) 633-0997

THRUST BLOCK BEARING AREAS (SQ.FT.)					VERTICAL ANCHOR BLOCK VOLUMES			
SIZE	PLUGGED END OR TEE	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND	45° VERT. BEND	22-1/2° VERT. BEND	GATE VALVE
2" DIA. PIPE LINE	1.0	1.0	1.0	1.0	1.0	9.3 CU. FT.	4 CU. FT.	0.5 CU. FT.
4" DIA. PIPE LINE	1.9	2.6	1.4	1.0	1.0	21.1 CU. FT.	9.8 CU. FT.	0.8 CU. FT.
6" DIA. PIPE LINE	3.8	5.0	2.7	1.4	1.0	50 CU. FT.	18 CU. FT.	1.0 CU. FT.
8" DIA. PIPE LINE	5.8	8.2	4.4	2.25	1.2			1.5 CU. FT.

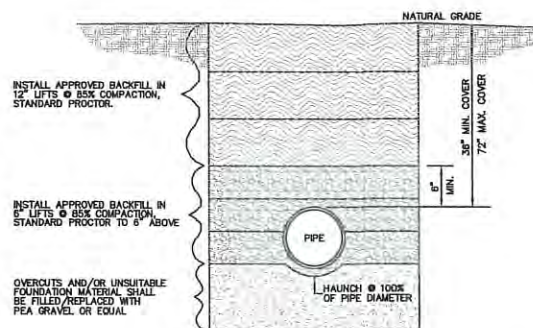
NOTE: THRUST BLOCK BEARING AREAS SHALL BE INCREASED BY POOR TRENCH CONDITIONS AS DIRECTED BY THE ENGINEER. DESIGN CRITERIA TEST PRESSURE - 150 PSI SOIL BEARING PRESSURE - 1 TON PER SQ. FT.



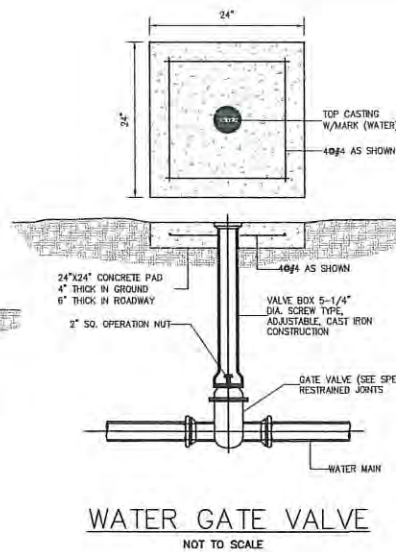
THRUST BLOCK DETAIL  
NOT TO SCALE



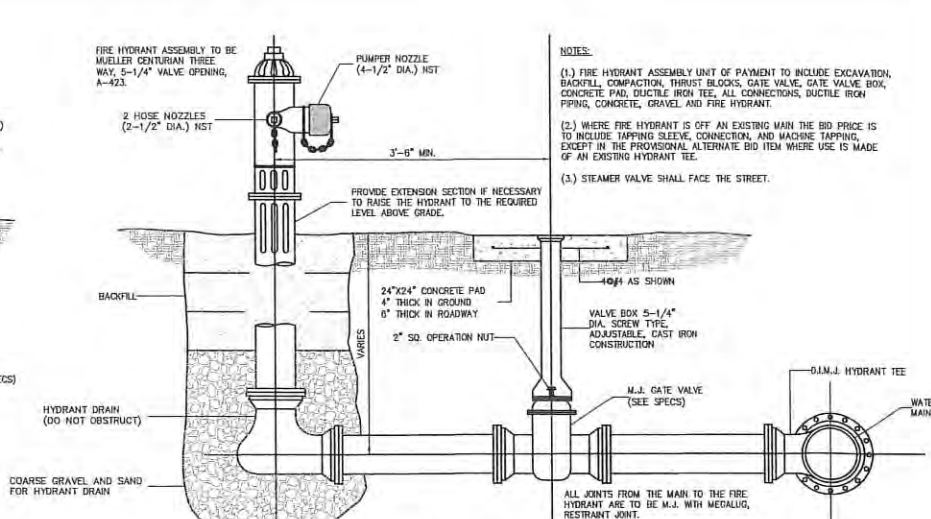
VERT. THRUST BLOCK DETAIL



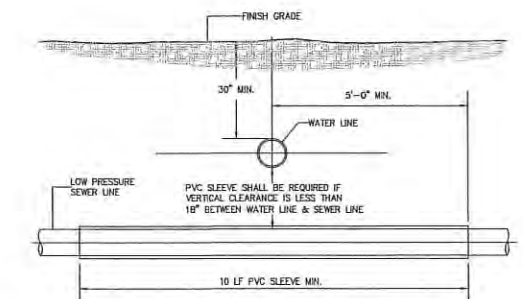
TYPICAL TRENCH DETAIL  
NOT TO SCALE



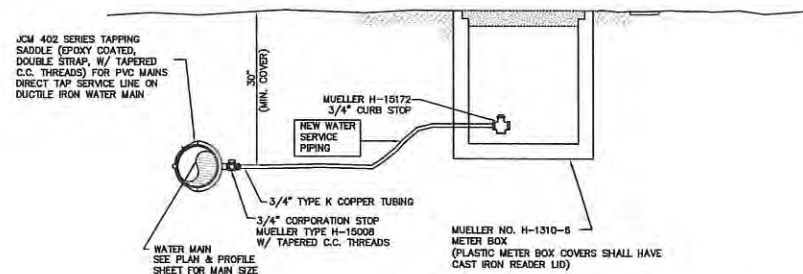
WATER GATE VALVE  
NOT TO SCALE



FIRE HYDRANT ASSEMBLY  
NOT TO SCALE



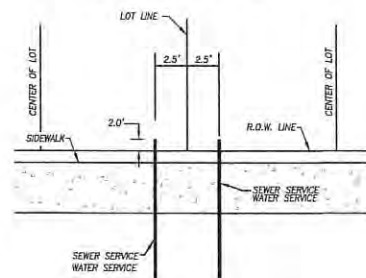
WATER LINE & SANITARY SEWER LINE  
VERTICAL CROSSING DETAIL  
NOT TO SCALE



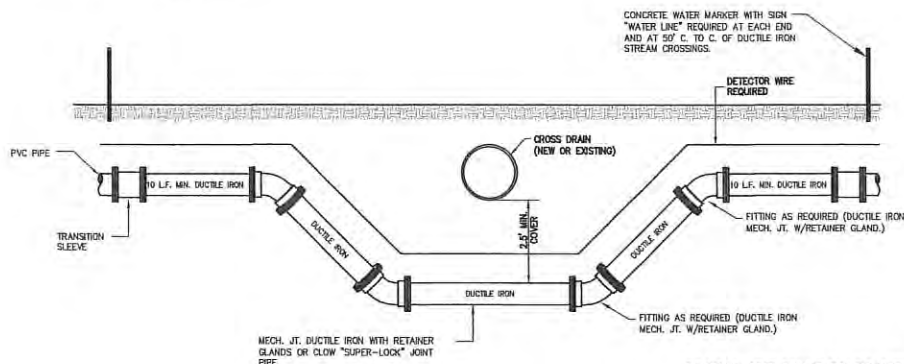
TYPICAL NEW WATER SERVICE CONNECTION  
FAIRHOPE  
NOT TO SCALE

NOTE: LOCATION OF EACH WATER SERVICE SHALL BE MARKED IN THE CONCRETE VALLEY GUTTER WITH THE LETTER 'W'.

NOTE:  
1. SEE PLAN AND PROFILE SHEETS FOR LOCATION OF WATER SERVICES AND SANITARY SEWER LATERALS.  
2. LOCATION OF THE WATER SERVICES AND SANITARY SEWER LATERALS SHALL BE MARKED IN THE CONCRETE GUTTER WITH THE LETTER 'W' FOR WATER SERVICE AND 'S' FOR THE SEWER LATERALS.

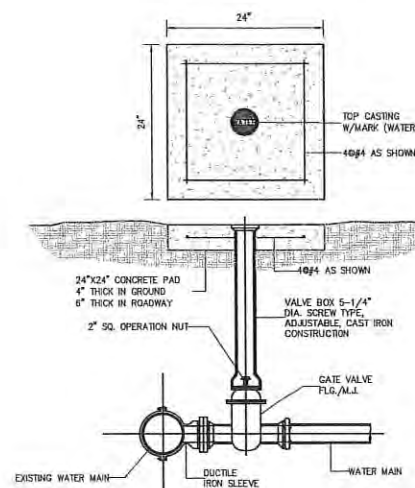


WATER SERVICE & SEWER LATERAL LOCATION PLAN  
NOT TO SCALE



TYPICAL DRAINAGE PIPE  
CROSSING  
NOT TO SCALE

THE 2.5' MIN. COVER SHALL BE FROM THE LOWEST ELEVATION OF THE DRAINAGE STRUCTURE INVERT. THIS ELEVATION SHALL BE MAINTAINED NO LESS THAN 10' EACH SIDE OF THE CROSS DRAIN REGARDLESS OF THE GROUND (ELEVATION WHICH MAY RESULT IN COVER DEPTHS SIGNIFICANTLY GREATER THAN THE 2.5' MIN.)



WATER TAPPING SLEEVE & VALVE ASSEMBLY  
NOT TO SCALE



05/13/2019

RIVER PLACE  
WATER SYSTEM DETAILS

DESIGNED BY: JC DATE: 2/12/2019  
DRAWN BY: JC DRAWING NO.:  
CHECKED BY: MRA SHEET 12  
SCALE: N.T.S.

**AUSTIN ENGINEERING**  
**CO. INC.**  
7778-B MCKINLEY AVE. MOBILE, AL 36608  
(251) 633-0997

**GENERAL NOTES**

1. THE CONTRACTOR SHALL ADHERE TO THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORM WATER MANAGEMENT CONSTRUCTION SITES AND URBAN AREAS BY THE ALABAMA SOIL AND WATER CONSERVATION COMMITTEE, VOLUMES 1 AND 2, CURRENT EDITION, TO PREVENT LADEN STORM WATER RUNOFF OR ERODED MATERIALS FROM LEAVING THE CONSTRUCTION SITE.
2. ALL THE CIRCULAR PIPE UTILIZED IN THE COUNTY R.O.W. SHALL BE CLASS 3 (MIN.) REINFORCED CONCRETE PIPE W/ RUBBER GASKET JOINTS, ALL ARCH PIPE UTILIZED IN THE COUNTY R.O.W. SHALL BE CLASS 3 (MIN.) W/ RAM NECK JOINTS, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL STATE AND LOCAL PERMITS AND EXPENSE THEREOF.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF PROJECT AND ALL COST ASSOCIATED THEREWITH BASED UPON CONTROL POINTS PROVIDED BY THE ENGINEER AS SHOWN ON THE DRAWINGS.
5. THE CONTRACTOR SHALL PROVIDE THE OWNER/ENGINEER WITH A LIST OF THREE NAMES AND TELEPHONE NUMBERS TO BE UTILIZED DURING EMERGENCIES OR DURING DAYS WHEN THE CONTRACTOR IS NOT WORKING ON SITE. NAMES AND TELEPHONE NUMBERS SHALL BE LISTED IN THE ORDER OF PREFERENCE THAT THE CONTRACTOR WOULD PREFER TO BE CONTACTED.
6. ALL WORK SHALL BE ACCOMPLISHED UNDER THE DIRECT SUPERVISION OF A CONTRACTOR PROPERLY LICENSED IN THE STATE OF ALABAMA.
7. THE CONTRACTOR SHALL OBTAIN PERMISSION AND APPROVAL FOR ALL PROPOSED SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ALL PHASES OF THE PROJECT INCLUDING THE SUBCONTRACTOR'S WORK.
8. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND TESTING LAB A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING ANY MAJOR PHASE OF THE PROJECT.
9. THE OWNER/ENGINEER RESERVES THE RIGHT TO ALTER AND MODIFY PORTIONS OF THE PROJECT AS DEEMED NECESSARY DURING CONSTRUCTION TO ENHANCE OR IMPROVE THE OVERALL PROJECT.
10. ALL SIDE DRAIN PIPE END TREATMENTS TO BE PER ALABAMA DEPT. OF TRANSPORTATION DESIGN BUREAU DRAWING HW-614-SP. ALL ROADWAY PIPE END TREATMENTS TO BE PER A.L.D.O.T. DESIGN BUREAU DRAWING HW-614-B. COPIES OF THE DRGS. ARE AVAILABLE AT AUSTIN ENGINEERING UPON REQUEST.
11. ALL MATERIALS AND WORKMANSHIP SHALL ADHERE TO THE ALABAMA DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2018 OR CURRENT EDITION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LINE LOCATION OF ALL EXISTING UTILITIES. DAMAGED UTILITIES SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE CONTRACTOR OR UTILITY COMPANY AND SHALL NOT BE THE RESPONSIBILITY OF THE OWNER.
13. ANY WORK PERFORMED NEAR AND/OR ADJACENT TO EXISTING COUNTY MAINTAINED ROADS SHALL INSTALL TEMPORARY TRAFFIC CONTROL DEVICES PER M.U.T.C.D., CURRENT EDITION
14. MAINTENANCE OF THE DETENTION POND SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION AND NOT BALDWIN COUNTY OR THE STATE OF ALABAMA.
15. THE CONTRACTOR SHALL NOTIFY THE BALDWIN COUNTY PUBLIC WORKS ENGINEERING MANAGER TO DISCUSS CONDITION OF COUNTY MAINTAINED ROAD LEADING TO THE SITE PRIOR TO COMMENCING WORK IN BALDWIN COUNTY RIGHT-OF-WAY.
16. A.D.E.M. PERMIT MUST BE POSTED ON-SITE DURING CONSTRUCTION PERIOD.
17. VIDEO AND LAMP PIPES IN ACCORDANCE WITH REVISED SECTION 533 SPECIFICATIONS.
18. ALL WORK IN EXISTING R.O.W. ADJACENT TO PAVEMENT SHALL BE GRADED TO MATCH SHOULDER SLOPES. ALL DISTURBED AREAS SHALL BE SODDED.

**UTILITY NOTES**

1. THE CONTRACTOR SHALL NOTIFY AUSTIN ENGINEERING, INC., AND LOCAL JURISDICTIONAL INSPECTOR (IF IN RIGHT-OF-WAY) 48 HOURS BEFORE THE BEGINNING OF EACH PHASE OF CONSTRUCTION.
2. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS IN THE PLAN.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
5. THE CONTRACTOR IS REQUIRED TO USE ALABAMA ONE-CALL CENTER TELEPHONE NUMBER FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS ARE NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS, HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. CONTRACTOR TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE BY HIS EQUIPMENT TO EXISTING UTILITIES, CROSS-DRAIN PIPES AND HEADWALLS.
8. THE WATER SYSTEM IN THE PUBLIC RIGHT-OF-WAY WILL BECOME THE PROPERTY OF THE LOCAL UTILITIES BOARD UPON COMPLETION.
9. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHED AND WET AREAS. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.

		<b>QUANTITIES</b>		<b>APPROX.</b>	
<b>ITEM</b>	<b>DESCRIPTION</b>	<b>QUANTITY</b>		<b>QUANTITY</b>	<b>UNIT</b>
201-A	CLEARING & GRUBBING	2.5		2.5	AC
210-A	UNCLASSIFIED EXCAVATION (ROADS)	2,147		2,147	CY
210-B	UNCLASSIFIED EXCAVATION (POND)	2,651		2,651	CY
210-C	UNSUITABLE MATERIAL EXCAVATION (UNDERCUT) (24" MIN. PER SOILS REPORT)	2,880		2,880	CY
210-D	BORROW EXCAVATION	2,880		2,880	CY
230-A	ROADBED PROCESSING	13.8		13.8	STA
301-A	CRUSHED AGGREGATE BASE COURSE, ONE LAYER, PER SECTION 825, 6" COMP THICKNESS	3,241		3,241	SY
401-A	BITUMINOUS TREATMENT A PRIME	3,241		3,241	SY
429-A	SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE LAYER, 1/2" MAX. AGGREGATE SIZE MIX, ESAL RANGE B, 165#/SY	3,241		3,241	SY
533-A1	18" CL 3 R.C. STORMSEWER PIPE, RGJ	26		26	LF
533-A2	24" CL 3 R.C. STORMSEWER PIPE, RGJ	140		140	LF
533-B	44"x27" CL 3 R.C. ARCH STORMSEWER PIPE, RAM-NEK	76		76	LF
533-AH1	15" HDPE PLASTIC STORMSEWER PIPE	15		15	LF
533-AH2	18" HDPE PLASTIC STORMSEWER PIPE	392		392	LF
533-AH2	24" HDPE PLASTIC STORMSEWER PIPE	703		703	LF
600-A	MOBILIZATION	1		1	LS
606-A	UNDERDRAIN 6", TYPE B (CONNECT TO DRAINAGE SYSTEM)	200		200	LF
610-A	RIP-RAP, CLASS II, 18" THICK	20		20	SY
610-D	FILTER FABRIC	20		20	SY
618-A	CONCRETE SIDEWALK, 5' WIDE, 4" THICK (BY HOMEBUILDER)	1,505		1,505	SY
619-A1	44"x27" SIDEDRAIN PIPE END TREATMENT, CL1, 4:1	2		2	EA
619-A2	15" SIDEDRAIN PIPE END TREATMENT, CL1, 3:1	1		1	EA
620-A	MINOR CONCRETE (CONC. ISLAND)	35		35	SY
621-C1	INLETS, TYPE "S", 1-WINGS	3		3	EA
621-C2	INLETS, TYPE "S", 2-WINGS	2		2	EA
621-C3	INLETS, TYPE "WEIR"	3		3	EA
621-C4	INLETS, OUTLET CONTROL STRUCTURE	2		2	EA
621-C5	INLETS, TYPE JUNCTION BOX	1		1	EA
623-A	CONCRETE CURB, TYPE "N"	63		63	LF
623-B	CONCRETE CURB & GUTTER, TYPE "R-3", 30"	2,812		2,812	LF
650-A	TOPSOIL (4" COMPACTED THICKNESS)	850		850	CY
652-A	SEEDING	2.0		2.0	AC
654-A	SOLID SOD	1,200		1,200	SY
656-A	MULCHING	2.0		2.0	AC
665-F	HAY BALES	50		50	EA
665-J	SILT FENCE, TYPE A	1,920		1,920	LF
740-B	CONSTRUCTION SIGNS	1		1	LS
000-1	WATTLES	450		450	LF
000-2	LIMESTONE CONSTRUCTION EXIT PAD	1		1	LS
000-3	EARTHEN DRAINAGE SWALE, 2' F.B., 2:1 SIDE SLOPES	1,456		1,456	LF
000-4	RE-GRADE EXIST. ROADSIDE DITCH	466		466	LF
000-5	CUT & PATCH EXIST. ASPHALT (UTILITY CROSSING)	7		7	SY
000-5	VIDEO STORM DRAIN PIPE IN R/W	1		1	LS

<b>WATER SYSTEM QUANTITIES</b>		
<b>DESCRIPTION</b>	<b>APPROX. QUANTITY</b>	<b>UNIT</b>
6" WATER LINE, C 900 P.V.C.	1,420	LF
6" GATE VALVE AND BOX	4	EA
6" TAPPING VALVE AND SLEEVE	1	EA
FIRE HYDRANTS	4	EA
SERVICE CONNECTIONS	22	EA
MISC. FITTINGS	1	LS
MISC. CONCRETE	1	LS
CONNECTION TO EXIST. WATER LINE	1	EA

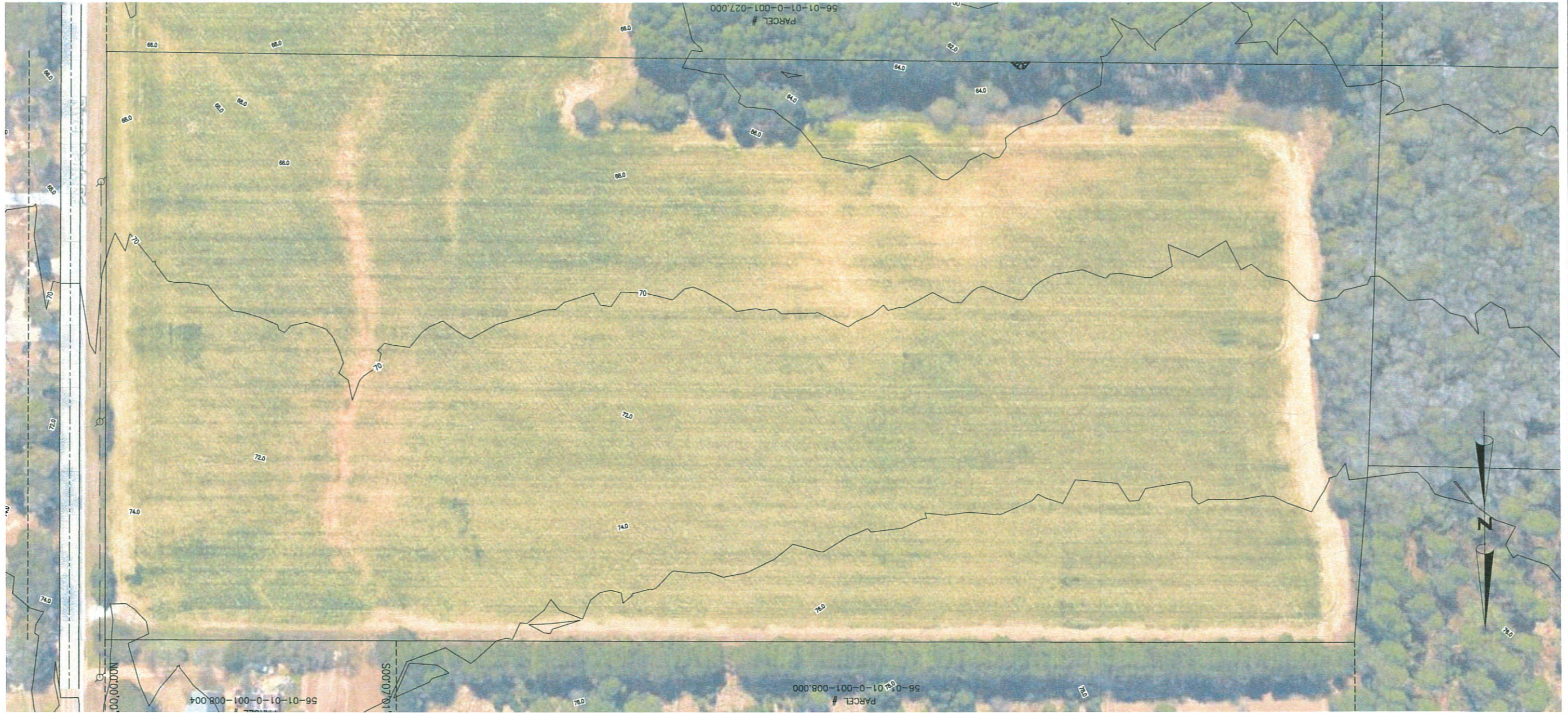



**RIVER PLACE  
CONSTRUCTION NOTES &  
SUMMARY OF QUANTITIES**

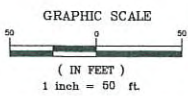
DESIGNED BY: JC	DATE: 2/13/2019
DRAWN BY: JC	DRAWING NO.:
CHECKED BY: MRA	SHEET 13
SCALE: N.T.S.	

**AUSTIN ENGINEERING**  
*INC.*

7778-B MCKINLEY AVE. MOBILE, AL 36608  
(251) 633-0997



05/17/2019



RIVER PLACE  
 AERIAL PLAN  
 COUNTY ROAD NO. 33  
 BALDWIN COUNTY, ALABAMA

DESIGNED BY: MRA	DATE: 5/09/2019
DRAWN BY: JLC	DRAWING NO.:
CHECKED BY: MRA	SHEET 14
SCALE: 1"=50'	

**AUSTIN ENGINEERING**  
*co., inc.*  
 7778-B MCKINLEY AVE. MOBILE, AL 36608  
 (251) 633-0997


56-01-01-0-10-96  
PARCEL #

BALDWIN COUNTY ROAD NUMBER 33 (80' R/W)  
(A.K.A. RIVER PARK ROAD)



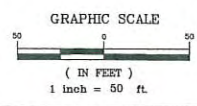
FUTURE DEVELOPMENT



PHASE I  
TOTAL AREA=18.06  
ACRES

**SITE GREEN SPACE LEGEND:**

	GREEN SPACE (10.05%)
	GREEN SPACE WITHIN DRAINAGE EASEMENT (14.93%)
	DEVELOPED AREA (75.57%)
NET DENSITY (25.77%)	



NO.	REVISIONS PER CITY COMMENTS	DATE
1	REVISIONS PER CITY COMMENTS	05/20/2019

RIVER PLACE  
GREEN SPACE SITE LAYOUT  
COUNTY ROAD NO. 33  
BALDWIN COUNTY, ALABAMA

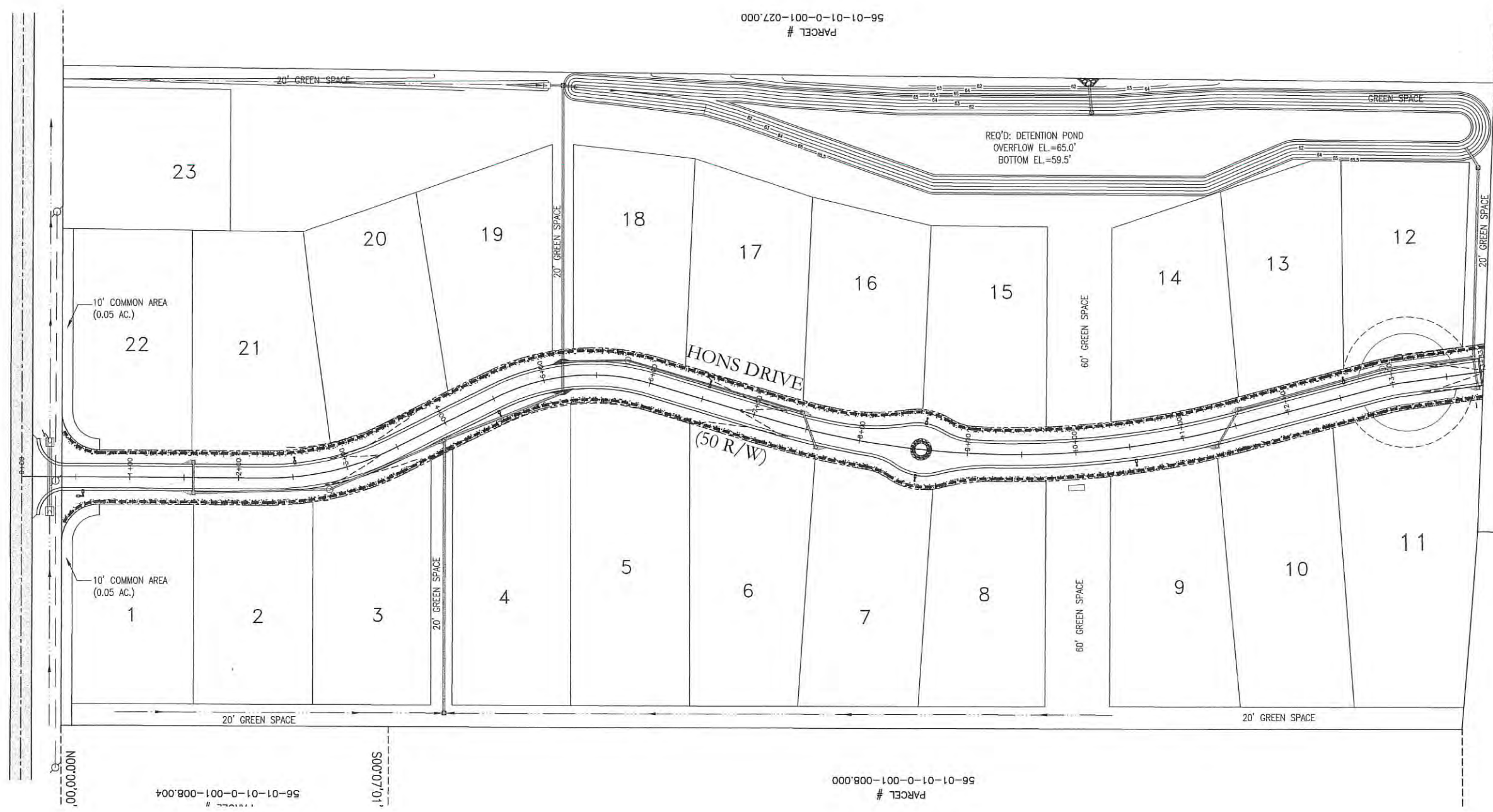
DESIGNED BY: MRA	DATE: 5/9/2019
DRAWN BY: JLC	DRAWING NO.:
CHECKED BY: MRA	SHEET 15
SCALE: 1"=50'	

**AUSTIN ENGINEERING CO. INC.**  
7778-B MCKINLEY AVE. MOBILE, AL 36608  
(251) 633-0997

56-01-01-0-001-027.000  
PARCEL #

FUTURE DEVELOPMENT

BALDWIN COUNTY ROAD NUMBER 33 (80' R/W)  
(A.K.A. RIVER PARK ROAD)

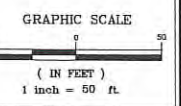


56-01-01-0-001-008.004  
PARCEL #

000800-100-0-10-10-99  
PARCEL #



05/17/2019



RIVER PLACE  
PEDESTRIAN CIRCULATION PLAN  
COUNTY ROAD NO. 33  
BALDWIN COUNTY, ALABAMA

DESIGNED BY: MRA	DATE: 5/9/2019
DRAWN BY: JLC	DRAWING NO.:
CHECKED BY: MRA	SHEET 16
SCALE: 1"=50'	

**AUSTIN ENGINEERING**  
**CO., INC.**  
7778-B MCKINLEY AVE. MOBILE, AL 36608  
(251) 633-0997

56-01-01-0-001-027.000  
PARCEL #

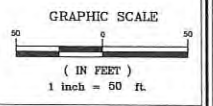
BALDWIN COUNTY ROAD NUMBER 33 (80' R/W)  
(A.K.A. RIVER PARK ROAD)



FUTURE DEVELOPMENT



05/17/2019



RIVER PLACE  
LIGHTING PLAN  
COUNTY ROAD NO. 33  
BALDWIN COUNTY, ALABAMA

DESIGNED BY: MRA	DATE: 5/15/2019
DRAWN BY: JLC	DRAWING NO.:
CHECKED BY: MRA	SHEET 17
SCALE: 1"=50'	

**AUSTIN ENGINEERING CO. INC.**  
7778-B MCKINLEY AVE. MOBILE, AL 36608  
(251) 633-0997





# Planning Commission

June 3, 2019

Subdivision Approval

Case: SD 19.26 Gayfer and Bishop Subdivision

**Project Name:**

Gayfer and Bishop Subdivision

**Site Data:**

Lot 1 - 0.543 acres +/-  
 Lot 2 - 0.543 acres +/-  
 Lot 3 - 0.704 acres +/-

**Project Type:**

Minor Subdivision

**Jurisdiction:**

City of Fairhope Corporate Limits

**Zoning District:**

R-4 Low Density Multi-Family

**PPIN:** 109947

**General Location:**

Northwest corner of Bishop Road  
 And Gayfer Road Extension

**Engineer of Record:**

S.E. Civil Engineering, LLC

**Owner:**

Ms. Betty Rivenbark

**Developer:**

Mr. Taylor D. Wilkins, III

**School District:**

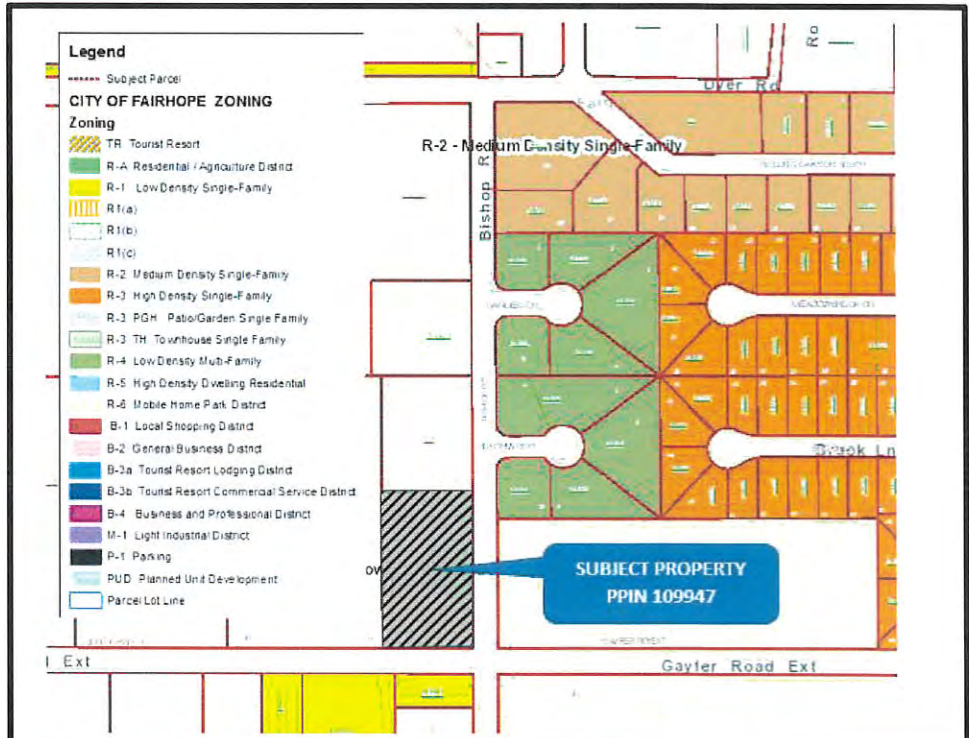
Fairhope Elementary, Middle and  
 High Schools

**Recommendation:**

Approval with conditions

**Prepared by:**

J. Buford King,  
 Interim Director of Planning and  
 Zoning



**Summary of Request:**

Public hearing to consider the request of S.E. Civil, LLC on behalf of property owner Taylor D. Wilkins ,III for a request for approval of Gayfer and Bishop Subdivision, a 3-lot Minor Subdivision. Subject property is located at the northwest corner of Bishop Road and Gayfer Road Extension. The subject property consists of approximately 1.79 acres +/- . Mr. Larry Smith, PE of S.E. Civil, LLC serves as the engineer of record (EOR) for subject application.

**Comments:**

**MINOR SUBDIVISION CRITERIA**

The following items are excerpts from the various checklists utilized by staff to evaluate subject application’s compliance with the *City of Fairhope Zoning Ordinance, City of Fairhope Subdivision Regulations* and other relevant ordinances and are included here to provide relevant background and rationale behind staff’s recommendation. Any items indicated in **red italic text** will be cured by conditions of approval, or in the case of a recommendation for denial of an application, provide rationale for that recommendation of denial. Any items initially marked “revise and resubmit” have been cured by the notations in **blue text**, which may include conditions of approval.

<i>Article IV, Section C.1.b.(7)</i> Building set back lines shall be shown on the plat as required by the zoning ordinance or in absence of zoning, as required by deed restrictions.		
<input type="checkbox"/> N/A	<input type="checkbox"/> Accepted	<input checked="" type="checkbox"/> Follow up information requested
<b><i>Comments: Is the 15’ northern side setback in lieu of allowable 10’ side setback specifically requested for subject development? Is perhaps a driveway contemplated within 3’ of the northern property line? The Engineer of Record (EOR) verified via e-mail correspondence the 15’ side setback is requested to mirror the required 15 drainage and utilities easements for the site.</i></b>		

<i>Article IV, Section C.1.b.(8)</i> Plan and profiles of all proposed utilities with connections (8) Plan and profiles of all proposed utility with connections to existing utility system and all proposed improvements. Approval of private utility connections for water and sewer shall be subject to the standards of Article VIII, Sections E. and G., respectively of the Fairhope Subdivision Regulations, and Chapter 12 of the Code of Ordinances of the City of Fairhope. The applicant shall submit one copy of utility letters stating availability of service. Utility letters and layout must be submitted from electric, water, sewer, phone, trash provider, and gas (if applicable), stating the property <i>may be adequately served</i> by such utility.		
<input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Accepted with comments	<input type="checkbox"/> Revise and Resubmit per comments
Cross Reference: <i>Approval of private utility connections for water and sewer shall be subject to the standards of Article VIII, Sections E. and G., respectively of the Fairhope Subdivision Regulations, and Chapter 12 of the Code of Ordinances of the City of Fairhope.</i>		
<b><i>Comments: Subject application is a minor subdivision not proposing or requiring installation of infrastructure. Letters of availability are included from Fairhope Public Utilities Water, Sewer, Natural Gas and Electrical Power as well as AT&amp;T for communications. Two fire hydrants are within 450’ of subject property to provide fire protection and a flow model is included for one hydrant tested.</i></b>		

<i>Article IV, Section C.1.b.(11)</i> Flow model data submitted to the standards of the COF Water Department.		
<input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Accepted with comments	<input type="checkbox"/> Revise and Resubmit per comments
<b><i>Comments: A flow model was conducted on the fire hydrant located near the cul-de-sac on Southwood Court. The flow model indicates 1104 gpm at 20 psi.</i></b>		

<i>Article IV, Section C.1.b.(13) and Article V, Section D.5.a.(9)</i> Tree protection plan for all required street trees or trees over 24” DBH. Tree protection fences shall be installed prior to land disturbance activities. (See Appendix G)		
<input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Accepted with comments	<input type="checkbox"/> Revise and Resubmit per comments
Cross Reference: <i>Ordinance number 1444, Tree Ordinance</i>		

*Comments: Subject application is a minor subdivision not proposing development activities at time of application. However, the applicant is advised subject property is zoned R-4 Low Density Multi Family zoning district, and as a result the Tree/Landscape Ordinance applies to subject property for any future development activities, including tree protection.*

Article IV, Section C.1.b.(16) Pedestrian circulation plan

N/A       Accepted with comments       Revise and Resubmit per comments

*Comments: Subject application is a minor subdivision not proposing development activities at this time, and no existing sidewalks are in the area of proposed subdivision. Applicant is advised the Planning Commission may require a pedestrian easement as a condition of approval.*

Article IV, Section C.1.b.(18) Applicants shall provide site data and all applicable permits relative to items such as soils, wetlands, flooding, drainage, natural features and potential archeological features.

N/A       Accepted       Follow-up information requested

*Comments: For file purposes please provide a copy of the wetland delineation for the site. Provided via follow-up correspondence as requested. Wetland buffer signage is in place on-site as verified by the Code Enforcement Officer.*

Article IV, Section C.1.d. Drainage plan prepared by professional engineer, including proposed method of storm water detention and means of controlling erosion during construction. Any portion of the land in the proposed subdivision subject to periodic inundation by storm drainage, overflow or ponding shall be clearly identified on the plat. Lands lying within the flood plain, V or A Zones, shall be clearly identified on the plat. Storm-water detention facilities shall be shown in the plans and calculations provided.

N/A       Accepted with comments       Revise and Resubmit per comments

Cross Reference: Article V, Section F.3.a., b., and c.

*Comments: Subject application is a minor subdivision not installing improvements or infrastructure at the time of this application. Subject property is zoned R-4 low density multifamily zoning district. The applicant is as advised that construction of any multifamily units on proposed lots will require a drainage design by a professional engineer.*

Article IV, Section C.1.g. State or County ROW detailed highway improvements plan:

If any state right-of-way or any improvement thereon is proposed to be changed or modified, a detailed Highway Improvements Plan, with the written approval of the responsible official of the Alabama Highway Department, showing all existing features within the rights-of-way and all proposed changes, including, but not limited to, changes in traffic patterns, markings, signs, curbs and barriers, neutral zones, signals, warnings, plantings and landscaping. There shall be submitted with and as a part of the Plan a written statement setting forth means proposed for traffic control and safety during construction and for restoration of the site. All of the foregoing shall also apply to rights-of-way controlled by the County, except that the County Engineer's approval shall appear on the Plat to be reviewed by the Planning Commission.

N/A with comments       Accepted       Revise and Resubmit per comments

Article IV, Section C.1.g. (continued)

*Comments: The Engineer of Record (EOR) provided a supporting document indicating the trip generation of the proposed subdivision does not warrant a traffic study. As a result, a highway improvement plan is not required.*

Article VI, Section D. Construction Standards-Sidewalks

Sidewalks shall be installed on all streets within the planning jurisdiction of the City of Fairhope, except on those streets which are eligible for the rural design standard expressed in Table 5.3, Appendix A of these regulations. On streets requiring sidewalks, concrete sidewalks which meet the City's standards and specifications expressed in Chapter 19 of the Code of Ordinances, as amended shall be installed. Sidewalks shall be designed and installed in accordance with good engineering practice.

N/A       Accepted with comments       Revise and Resubmit per comments

Cross Reference: Chapter 19 of the City of Fairhope Code of Ordinances, as amended.

*Comments: As mentioned in Article IV, Section C.1.b.(16) though no sidewalks are located in the vicinity of proposed subdivision, the applicant is advised the Planning Commission may require a pedestrian easement for future sidewalks as a condition of approval.*

Article VI, Section I. Construction Standards-Permanent Monuments

Concrete monuments four inches in cross section and three feet long, with a flat top shall be set at all points where the exterior boundaries of the subdivision intersect, including points of curvature and points of tangency on curved boundaries. The top of the monument shall have an "X" indented therein to identify the exact point and the top shall be set flush with grade. All interior lot corners shall be marked with a pipe not smaller than three-quarters inch diameter, 24 inches length and shall be driven flush with finish grade.

<input type="checkbox"/> N/A	<input type="checkbox"/> Accepted	<input checked="" type="checkbox"/> Follow up information requested
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**Comments:** *In lieu of placing concrete monuments at all corners as requested by this section, please place two (2) concrete monuments at an internal location and note the locations of the monuments on the plat. Staff will verify the placement of these monuments prior to signing the subdivision plat.*

The subdivision regulations contain the following criteria in Article IV.B.2. "Approval Standards". Each of these criteria is addressed below with either a "meets" or "does not meet" comment. If any of the criteria is not met, a denial will be recommended.

**Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:**

**a. The proposed subdivision is not consistent with the City's Comprehensive Plan, and/or the City's Zoning ordinance, where applicable;**

- Meets

**b. The proposed subdivision is not consistent with the City's Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;**

- meets

**c. The proposed subdivision is not consistent with these Regulations;**

- meets

**d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations; or**

- meets

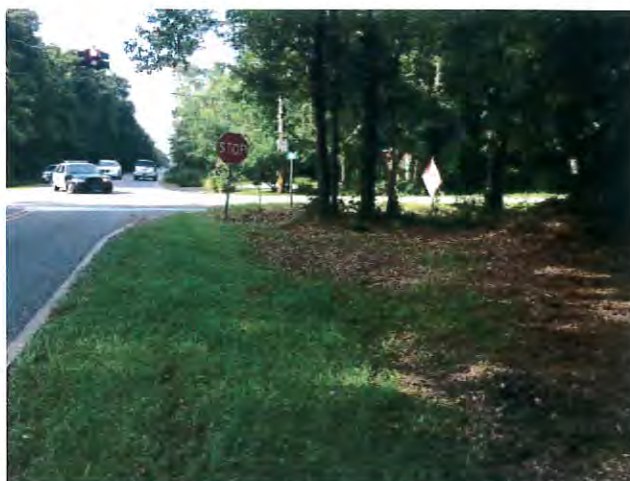
**e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City."**

- meets

**Site Photos:**



Subject property looking west along Gayfer Ave.



Subject property looking south along Bishop Road

**Site Photos (continued):**



Looking northwest toward subject property at the Gayfer-Bishop intersection



Looking west inward to subject property from Bishop Road

**Recommendation:**

Staff recommends **APPROVAL** of case # SD 19.26 Gayfer and Bishop Subdivision.

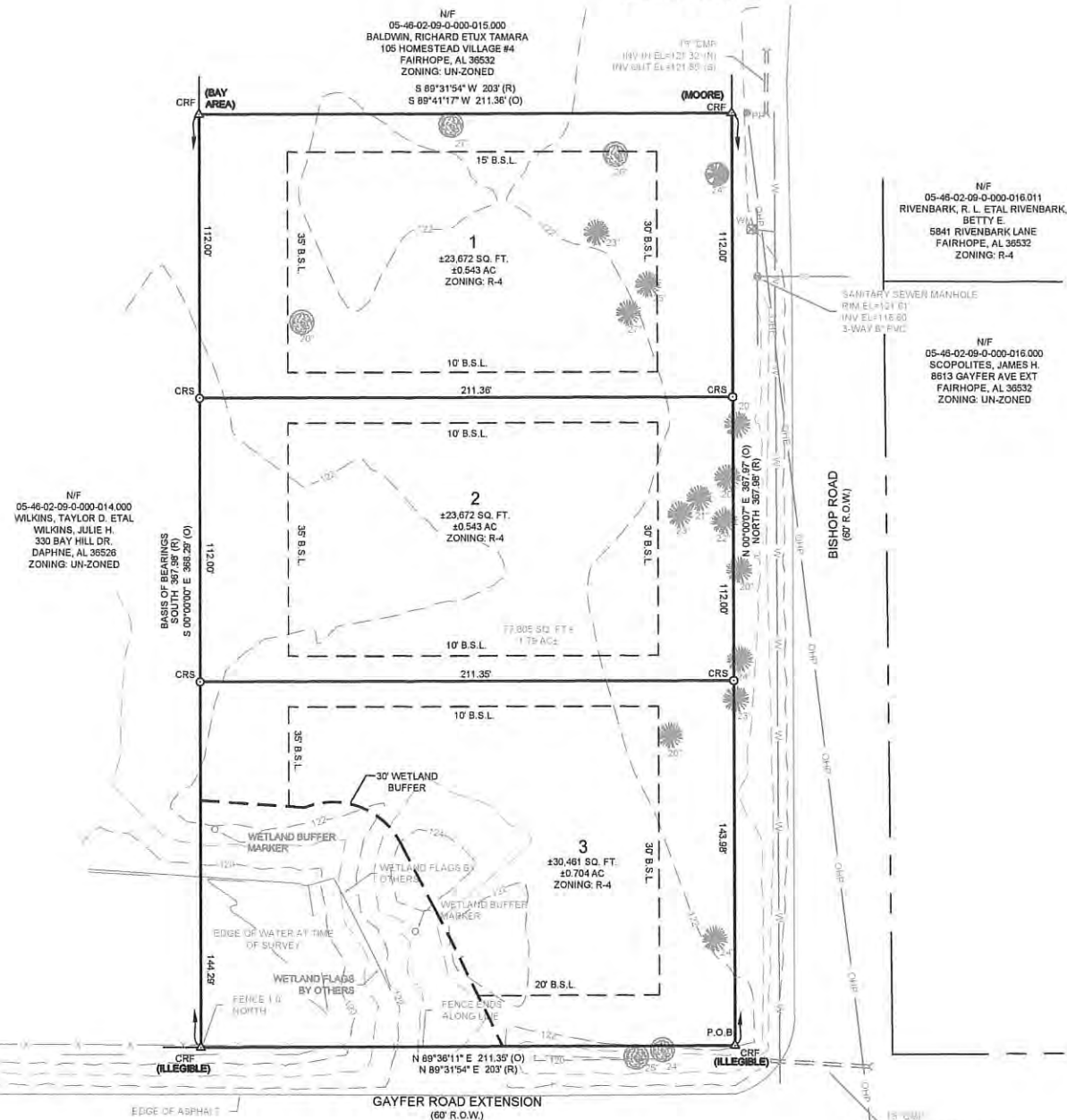
The Development Review Committee (DRC) meeting at which this item was discussed may be viewed at the following internet address:

<https://www.youtube.com/watch?v=CGg4kcsFpfU>

# Gayfer and Bishop Subdivision

June 2019

- LEGEND**
- ▲ CRF CAPPED IRON ROD FOUND
  - △ CRF OPEN TOP IRON PIPE FOUND
  - △ CRF REBAR IRON FOUND
  - △ CRF IRON PIPE FOUND
  - CRF CAPPED IRON ROD SET
  - CRF RECORD
  - CRF OBSERVED
  - CRF RIGHT OF WAY
  - CRF POINT OF COMMENCEMENT
  - CRF NOW OR FORMERLY
  - CRF POINT OF BEGINNING
  - CRF WOOD FENCE
  - CRF LIGHT POLE
  - CRF POWER POLE
  - CRF SANITARY SEWER MANHOLE
  - CRF SANITARY SEWER VALVE
  - CRF ELECTRICAL TRANSFORMER
  - CRF GAS METER
  - CRF WATER METER
  - CRF WATER VALVE
  - CRF FIRE HYDRANT
  - CRF TELEPHONE PEDestal
  - CRF OAK TREE
  - CRF PECAN TREE
  - CRF PINE TREE



**SITE DATA:**

- ACREAGE IN TOTAL TRACT: 77,805 SQ. FT. (1.79 ACRES, MORE OR LESS)
- SMALLEST LOT SIZE: 23,672 SQ. FT. (0.543 ACRES, MORE OR LESS)
- TOTAL NUMBER OF LOTS: 3
- PROPERTY ZONED: R-4 LOW DENSITY MULTI-FAMILY, CITY OF FAIRHOPE
- DENSITY: 1.68 LOTS/ACRE

**LANDOWNER:**  
TAYLOR D. WILKINS, III  
P.O. BOX 7649  
SPANISH FORT, AL 36577

**ENGINEER:**  
S.E. CIVIL, LLC  
THOMAS LARRY SMITH, P.E.  
AL LICENSE NO. 26348  
1 S. SCHOOL STREET  
FAIRHOPE, AL 36532

**SURVEYOR:**  
SMITH, CLARK & ASSOCIATES  
DANIEL CLARK, P.L.S.  
P.O. BOX 7082  
SPANISH FORT, AL 36577



- NOTES:**
- TYPE OF SURVEY: SUBDIVISION
  - ALL CAPPED REBAR SET ARE BY SMITH, CLARK & ASSOCIATES (CA- 898)
  - RECORD DIMENSIONS BASED ON PLAT OF SUBDIVISION RECORDED ON INSTRUMENT NUMBER 1604663 IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.
  - THE LOTS ARE SERVED BY:  
AT&T - TELEPHONE  
CITY OF FAIRHOPE WATER, SEWER, ELECTRIC, AND GAS
  - BUILDING SETBACKS:  
FRONT YARD = 30 FEET  
REAR YARD = 35 FEET  
SIDE YARD = 10 FEET  
SIDE STREET = 20 FEET  
UNLESS OTHERWISE NOTED.
  - DRAINAGE SHALL BE REQUIRED AT THE TIME OF BUILDING PERMIT.
  - A BMP PLAN IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
  - ALL REQUIRED TESTING SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT.
  - THE FINISHED FLOOR ELEVATION OF THE LOTS SHALL BE FIFTEEN (15) INCHES ABOVE THE HIGHEST FINISHED GRADE AROUND THE BUILDING FOOTPRINT.
  - A LOTS HAVE A 15 FOOT DRAINAGE AND UTILITY EASEMENT ON SIDE AND REAR LOT LINES UNLESS OTHERWISE SHOWN. INTERIOR LOT LINES, THE EASEMENT WILL BE 7.5 FEET ON EACH SIDE.

**CERTIFICATE OF APPROVAL BY SEWER PROVIDER: (FAIRHOPE UTILITIES)**

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE UTILITIES, DO HEREBY APPROVE THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

**CERTIFICATE OF APPROVAL BY GAS PROVIDER: (FAIRHOPE UTILITIES)**

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE UTILITIES, DO HEREBY APPROVE THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

**CERTIFICATE OF APPROVAL BY TELEPHONE: (AT&T)**

THE UNDERSIGNED, AS AUTHORIZED BY AT&T, DO HEREBY APPROVE THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

**CERTIFICATE OF APPROVAL BY THE FAIRHOPE PLANNING AND ZONING DIRECTOR**

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE PLANNING DIRECTOR, HEREBY APPROVES THE WITHIN RE-PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE, BALDWIN COUNTY, ALABAMA.

THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

**CERTIFICATION OF SURVEYOR & DESCRIPTION OF PROPERTY**

BALDWIN COUNTY ALABAMA

COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; THENCE NORTH A DISTANCE OF 30.00 FEET TO A POINT, THENCE SOUTH 89°31'54" WEST A DISTANCE OF 30 FEET TO AN IRON PIN LOCATED ON THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF BISHOP ROAD AND THE NORTH RIGHT-OF-WAY LINE OF GAYFER STREET EXTENSION, THE POINT OF BEGINNING; THENCE NORTH 00°00'00" EAST A DISTANCE OF 387.97 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 89°41'17" WEST A DISTANCE OF 211.36 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 00°00'00" EAST A DISTANCE OF 388.29 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE NORTH 89°36'11" EAST A DISTANCE OF 211.35 FEET TO THE POINT OF BEGINNING CONTAINING 77,805 SQUARE FEET (1.79 ACRES), MORE OR LESS.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

DANIEL D. CLARK ALABAMA LICENSE # 27720 DATE \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY ELECTRIC PROVIDER: (FAIRHOPE UTILITIES)**

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE UTILITIES, DO HEREBY APPROVE THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

**CERTIFICATE OF APPROVAL BY WATER PROVIDER: (FAIRHOPE UTILITIES)**

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE UTILITIES, DO HEREBY APPROVE THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

ADJACENT PROPERTY OWNERS	
①	N/F 05-46-05-16-0-000-003.002 TAYLOR, FRANKLIN T. & LINDA KAY P.O. BOX 677 FAIRHOPE, AL 36533 ZONING: R-1
②	N/F 05-46-05-16-0-000-003.001 BYARS, JERRY ETAL BYARS, CAROLYN 20971 BISHOP ROAD FAIRHOPE, AL 36532 ZONING: R-1
③	N/F 05-46-05-16-0-000-002.000 DYSON, PHIL PORTER, (4) INT) ETAL PARKE P.O. BOX 754 POINTE CLEAR, AL 36564 ZONING: UN-ZONED



REVISION	DATE



**CERTIFICATION OF ENGINEER**

STATE OF ALABAMA  
COUNTY OF BALDWIN

I, THE UNDERSIGNED, A REGISTERED ENGINEER IN THE STATE OF ALABAMA, HOLDING CERTIFICATE NUMBER 26348, HEREBY CERTIFY THAT I HAVE DESIGNED THE WITHIN IMPROVEMENTS IN CONFORMITY WITH APPLICABLE CODES AND LAWS AND WITH THE PRINCIPALS OF GOOD ENGINEERING PRACTICE. I FURTHER CERTIFY THAT I HAVE OBSERVED THE CONSTRUCTION OF THE WITHIN IMPROVEMENTS, THAT THE SAME CONFORMS TO MY DESIGN, THAT THE WITHIN IS A TRUE AND ACCURATE REPRESENTATION OF IMPROVEMENTS AS INSTALLED AND THAT SAID IMPROVEMENTS ARE HEREBY RECOMMENDED FOR ACCEPTANCE BY THE CITY OF FAIRHOPE, ALABAMA.

DATED THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

STATE OF ALABAMA  
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT THE UNDERSIGNED, IS THE OWNER OF THE LAND SHOWN AND DESCRIBED IN THE SUBDIVISION, AND THAT THEY HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS TO PUBLIC AND PRIVATE USE AS NOTED, TOGETHER WITH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

**CERTIFICATION OF NOTARY PUBLIC**

STATE OF ALABAMA  
COUNTY OF BALDWIN

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY THAT TAYLOR D. WILKINS III, WHOSE NAME IS SUBSCRIBED TO THE CERTIFICATE OF LEASEHOLD OWNERSHIP AND DEDICATION, APPEARED BEFORE ME ON THIS DAY, IN PERSON, HEREBY ACKNOWLEDGE THAT HE SIGNED, SEALED AND DELIVERED SAID INSTRUMENT AT HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2019.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_

Gayfer and Bishop Subdivision  
SECTION 9 TOWNSHIP 6 SOUTH RANGE 2 EAST  
CITY OF FAIRHOPE, ALABAMA

JOB No. 20190448	DATE 4/22/19
DRAWN GPW	SCALE 1"=30'
SHEET 1 of 1	

Revised As Per Comments

RECEIVED  
MAY 17 2019  
BY: [Signature]

SD 19.26



# Planning Commission

June 3, 2019

Case: SD 19.27

**Project Name:**

Fairhope Falls Phase 2

**Property Owner /Applicant:**

Nathan Cox

**General Location:** The project is located on the south side of Hwy. 104 and west of Fish River.

**Project Type:** Major Subdivision (inside the City of Fairhope Planning Jurisdiction, and outside the City of Fairhope Police, Permitting and Corporate Limits).

**Number of lots:** 34

**Project Acreage:** Approx. 27.05 acres

**Zoning District:** Unzoned  
In Baldwin County

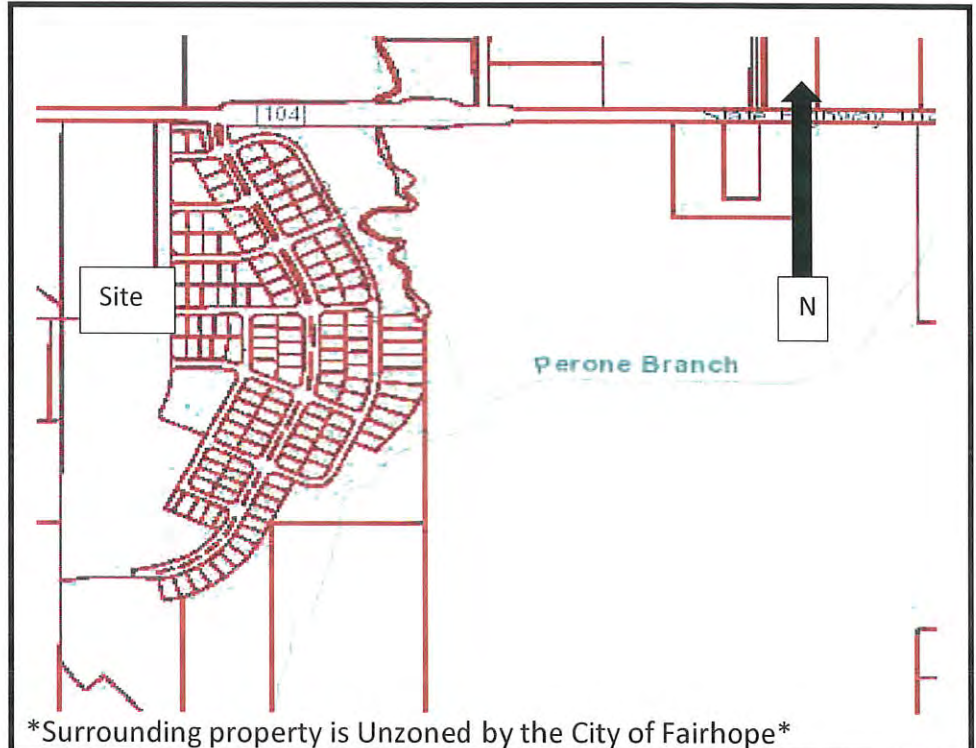
**PPIN Number:** 39102, 286553, 350160

**Engineer of record:** Mr. Jared Landry, Dewberry

**School District:** Fairhope Elementary, Intermediate and High Schools

**Report prepared by:** Nancy Milford, EI # 6537, CAPZO Certification

**Recommendation:** Approval with Conditions



\*Surrounding property is Unzoned by the City of Fairhope\*



**Summary of Request:** Public hearing to consider the request of TH Fairhope Falls 2018 LLC for Final Plat approval of Fairhope Falls, Phase Two, a 34-lot subdivision. The project is located on the south side of Highway 104 and west of Fish River. The largest lot in phase 2 is approximately 19,902 sf and the smallest lot is approximately 15,000 sf.

This development is the second phase of the larger overall development know as Fairhope Falls. Phase one of this development has already been constructed and consists of 147 lots.

**Site History:**

The original masterplan of Fairhope Falls was processed as a Village Subdivision. The preliminary plat was approved in 2006 and the plat approval was extended for two years. At the time of extension, the Planning Commission approved the extension conditional upon the applicant meeting the new subdivision regulations with a waiver from the 100-foot buffer requirement from Fish River. At the time, the applicant estimated that approximately 96% of the infrastructure was built and approximately one month from completion. The subdivision did not go any further and the plat extension expired without approval. The original developer went bankrupt and the property remained vacant for approximately 4 years.

A new owner bought the property and the application came back through the Planning Commission for preliminary plat and final plat processing. On December 3, 2012, the City of Fairhope Planning Commission approved the preliminary plat application specifying the removal of Lots 1,2, and 3 based on the wetland buffer line. The Planning Commission approved the final plat for Fairhope Falls Phase 1 in July 1, 2013. House construction in Phase 1 began sometime around 2016. The City of Silverhill changed its permit jurisdiction line and Fairhope Falls is now within the town of Silverhill Permit Jurisdiction.

The original preliminary plat for Phase 2 and 3 was tabled by Planning Commission on November 10, 2016. The application was tabled for two months due to an issue with the flow model.

January 2016, the applicant submitted for preliminary plat approval for Phases 2 and 3 and was approved. The applicant is currently submitting for final plat approval of Fairhope Falls phase 2.

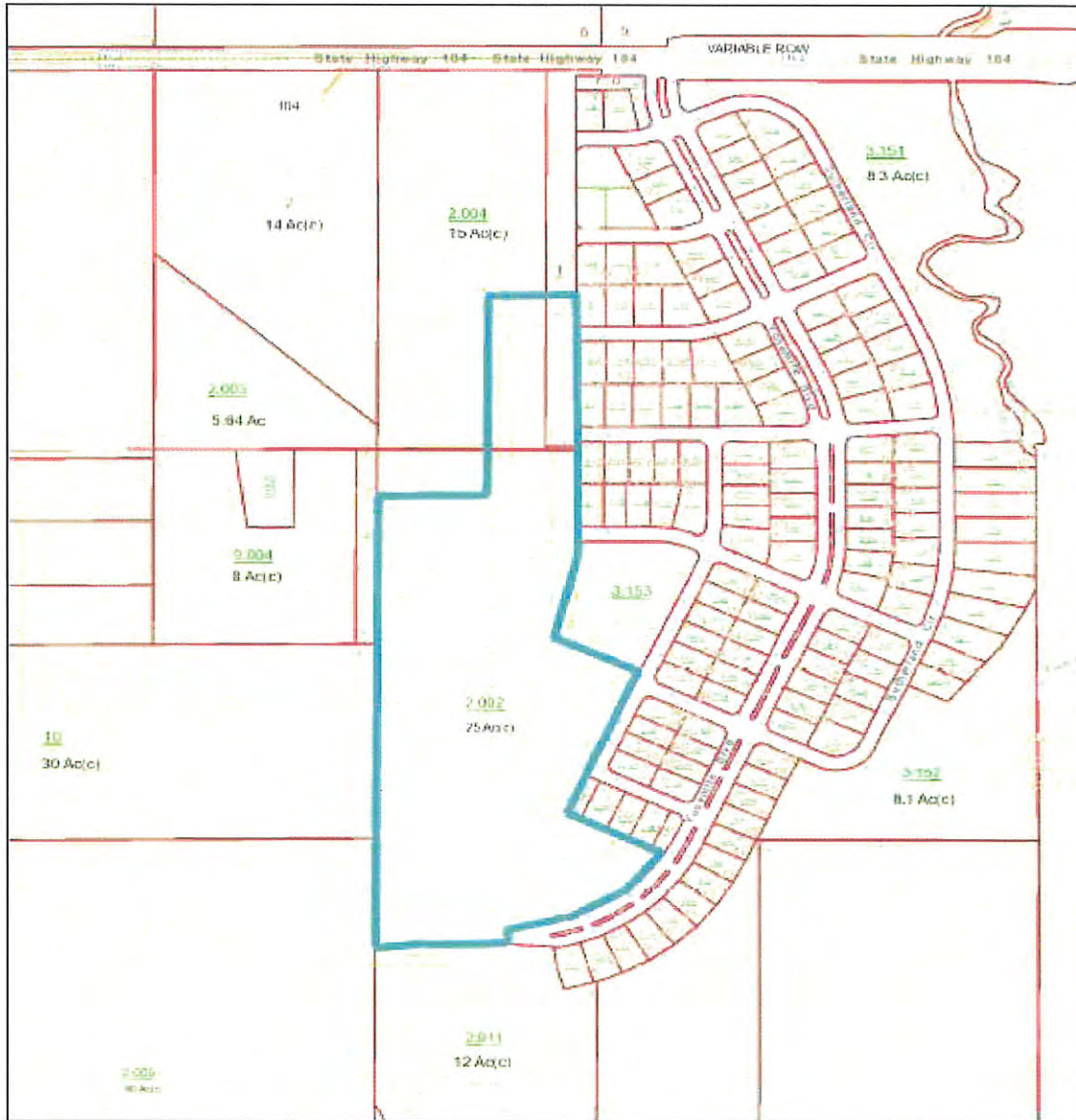
**Site History Table for Fairhope Falls Subdivision:**

Case Number	Applicant	Case Type	Subdivision Name	Number of Lots	Location	Zoning	PZ Date	PZ Decision
SD-06-22	Hatch Mott MacDonald	Village	Fairhope Falls	538	Outside		4/3/2006	Approved
SD-06-37	EDS	Preliminary	Fairhope Falls 1A, 1B, 2	150	Outside		8/7/2006	Approved
SD-13-09	Preble-Rish / GCOF Fairhope Falls, LLC	Final	Fairhope Falls, Ph. 1	147	Outside	n/a	7/1/2013	Approved
SD-12-08	Preble-Rish, LLC / Smart Living, LLC	Preliminary	Fairhope Falls, Ph. 1A, 1B & 2	150	Outside	n/a	12/3/2012	Approved
SD-19-27	Dewberry	Final	Fairhope Falls, Phase 2	34	Outside	n/a	6/3/2019	TBD
SD-16-27	Dewberry/Preble-Rish, LLC	Preliminary	Fairhope Falls, Phase 2 & 3	68	Outside	n/a	11/10/2016	Approved

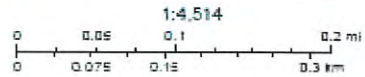


Below is a layout of how Fairhope Falls phase 2 fits on the three existing parcels:

### Viewer Map



- May 14, 2019
- polylineLayer
- Override 1
  - Misc
  - ⋮ Parcels
  - Lot Lines
  - ⋮ County Boundary



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

**Site Photos:** Fairhope Falls Phase 2



View toward the southwest of site



View toward the north side of site



View to west (temporary turn around).



View of common area, looking north.



View of common area, looking south. (Landry Ln.)



View of Hatchet Creek Ave. (transition from Ph1.)



View of traffic circle (Sophie Falls Ave.)



View of wetland buffer signage.



View of inlet requiring repair.



View of area of rip rap

**Comments:**

**Plat (*Article IV, Section D.1.b(12)*):**

The surveyor shall sign the plat upon submittal. The original surveyor no longer works at Dewberry. The other surveyor, Mr. John Avent, is out of town as of the writing for this staff report. Staff at Dewberry said the plat will be signed upon Mr. Avent's return.

**All Associated Investors (*Article IV, Section C.1.b(3)*):** The investors in this project have changed and Nathan Cox is now the sole investor.

**Errors and Omission Insurance (*Article IV, Section A.*):** Provided.

**Lots (*Article V Section E-Lot Standards*):** Setbacks appear to be as per the preliminary plat.

**Greenspace (*Article V.C. 3*):** The master plan for this application was approved prior to the current greenspace standards.

**Finished Floor Elevations (Article IV C 1.B (14)):** Finished floor elevations have been provided. No comments have been received with regards to the proposed elevations.

**Fire Hydrants (Article VI Section G):** Fire hydrants are required at every intersection and every 450 feet. The Water Department sent an email indicating that all water and sewer issues found at final inspection have been addressed.

**Storm Sewer (Article VI Section E.1-2):** The applicant has not submitted a storm water video for review. Public Works Director, Mr. Richard Johnson, told staff that the storm sewer video would not be required as the City of Fairhope would not be accepting the road and sewer improvements as the project is in Baldwin County. Baldwin County would be responsible for accepting the infrastructure. However, Planning staff does need a copy of the storm video for file purposes.

**Drainage (Article V Section F):** The original drainage report for the subdivision was approved at the time of preliminary plat. The Public Works Director, Mr. Richard Johnson, PE, or one of his designated representatives commented in DRC that his staff would not attend the inspection as Baldwin County will be the responsible authority.

The Operations and Maintenance Plan was submitted at the time of preliminary plat. The engineer of record shall provide his signature on the Operations and Maintenance Plan prior to recording the document. The applicant shall record the approved Operations and Maintenance Plan and Agreement.

**Streets (Article V Section D):** The streets in this subdivision are public. Road tests have been reviewed and approved by the Public Works Director. Baldwin County will ultimately be responsible for the improvements on the project. The previous City of Fairhope Public Works Director, commented during the preliminary plat DRC that the City was not in support of the 4 way stops in this location. At the time of preliminary plat, the applicant added two traffic circles based on the City of Fairhope DRC comments. However, since that time, the applicant met with Baldwin County. According to the applicant's engineer, the county provided documented feedback that they desired the 4 way stops to be consistent throughout. The county will ultimately be the owner of the right-of-way, therefore the City will have to defer to the County on this issue.

**Sidewalks: (Article V Section D.6):** Sidewalks in front of lots are being addressed with a performance guarantee. The applicant has provided a subdivision bond, a bond agreement and a signed engineer's estimate. The sidewalks in front of common areas were inspected. The City of Fairhope Right of Way inspector did provide some general comments. However, the County has the final authority over sidewalks in their right-of-way. Per Mr. Erik Cortinas sidewalks in front of lots are not within the City of Fairhope Permitting Jurisdiction.

**Street Trees (Article V Section D 1.b.(4) and Landscaping:** Any street trees and/or landscaping shall meet the requirements of the current Public Works Director. The approval of the original landscape plan was not completed as it occurred during the transitional period between Mayors and Public Works Directors. Staff met with Mr. Richard Johnson regarding the landscaping. The Public Works Director, Mr. Richard Johnson, has commented that the small common areas shall be planted with trees at a spacing of 50' (the same as the street trees for consistency.)

**Water and Sewer Department:** Mr. Richard Peterson, Director of Operations, has requested the applicant provide the required sanitary sewer video. He also requested clarification from the Planning Commission legal staff to determine if the City can waive the requirement for sewer video since the sewer will not be City of Fairhope infrastructure. The decision from the legal staff is that the video is a subdivision regulation

requirement and the applicant would have to submit a written waiver request if they did not want to submit the sanitary sewer video. The Water Department sent an email indicating that all water and sewer issues found at final inspection have been addressed.

**Street Lights (*Article VI.L Completion of Improvements*):** The applicant has submitted a street light invoice. Staff is verifying with the applicant that the invoice has been paid.

**Building Official Comments:** Mr. Erik Cortinas, Building Official, had no comments regarding this project. He has told staff that he will not inspect the project at the time of building construction for the sidewalks in common areas or in front of lots. He commented that Baldwin County is responsible for the sidewalks (as Baldwin County owns the right-of-way in this area) and the project is not within the City of Fairhope's permit jurisdiction. The project is within the City of Silverhill's permit jurisdiction.

**Final Inspection (*Article IV, Section D.4*):** The final inspection comments have been provided to the applicant. Staff is requesting the applicant's representative send staff a copy of the final inspection approval by Baldwin County of the proposed subdivision.

**Maintenance Bond (*Article VI Section E 4*):** The applicant has submitted the required maintenance bond package including the maintenance agreement, the maintenance bond and the engineer's cost estimate.

**Subdivision Bond: (*Article VI.L Completion of Improvements*):** The applicant has submitted a financial guarantee package for performance of the sidewalks and street trees.

**Recorded Plats (*Article IV Section D.7*):** All conditions of approval shall be satisfied in a timely manner. At the time of final plat, the applicant shall have all items completed so the Plat may be recorded within a 60-day time frame, per the City of Fairhope Subdivision Regulations.

**Other (*Article IV Section C.18*):** Any applicable outside agency permit shall be obtained.

**Waiver Requests (*Article VII*):** An application is required for any waivers to the subdivision regulations as per Article VII of the City of Fairhope Subdivision Regulations. The applicant has provided a written waiver requests regarding the requirement for a sanitary sewer video.

*The subdivision regulations contain the following criteria in Article IV.B.2. Approval Standards.*

***"2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:***

- a. The proposed subdivision is not consistent with the City's Comprehensive Plan, and/or the City's Zoning ordinance, where applicable;***
- b. The proposed subdivision is not consistent with the City's Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;***
- c. The proposed subdivision is not consistent with these Regulations;***
- d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;***  
***or***
- e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City."***

This site is located in the City of Fairhope Planning Jurisdiction. The applicant requested a waiver to the 100-foot buffer requirement from Fish River in preliminary stage of this development, due to the existence of installed infrastructure prior to the latest regulations. The site is located in the Silverhill Permit Jurisdiction and is outside of the City of Fairhope Police Jurisdiction. This application is not subject to the City of Fairhope's Zoning Ordinance and improvements (with the exception of the City of Fairhope Water) will be accepted by Baldwin County. This site appears to be in compliance with applicable regulations. Staff did not review this application for other agency responsibilities. The applicant is responsible for verifying and addressing any other agency requirements that may apply.

**Recommendation:** Staff recommends approval contingent upon the following conditions:

1. The applicant shall complete the final punch list (including the incomplete landscaping) to the approval of the City of Fairhope Supervisors.
2. The Planning Commission approval of the waiver request asking for approval to not submit the sanitary sewer video for the Baldwin County Sewer System or the applicant shall supply the sanitary sewer video.
3. The surveyor shall sign the plat.
4. The applicant's representative shall provide planning staff a copy of the final inspection approval by Baldwin County of the proposed subdivision and the storm sewer video.
5. Submit a copy of the storm sewer videos for Fairhope files.





# Planning Commission

June 3, 2019

Case: SD 19.28

**Project Name:** The Verandas, Phase 4

**Property Owner /Applicant:**  
Trae Corte

**General Location:** The project is located on the southwest corner of the intersection of State Highway 104 and Lawrence Road

**Project Type:** Major Subdivisions (outside the corporate limits, inside the City's permit jurisdiction and inside the Planning Jurisdiction.

**Number of lots:** 32

**Project Acreage:**  
57.64 acres

**Zoning District:** The project is unzoned in Baldwin County. It is located in the City of Fairhope Planning, Police and Permit Jurisdictions.

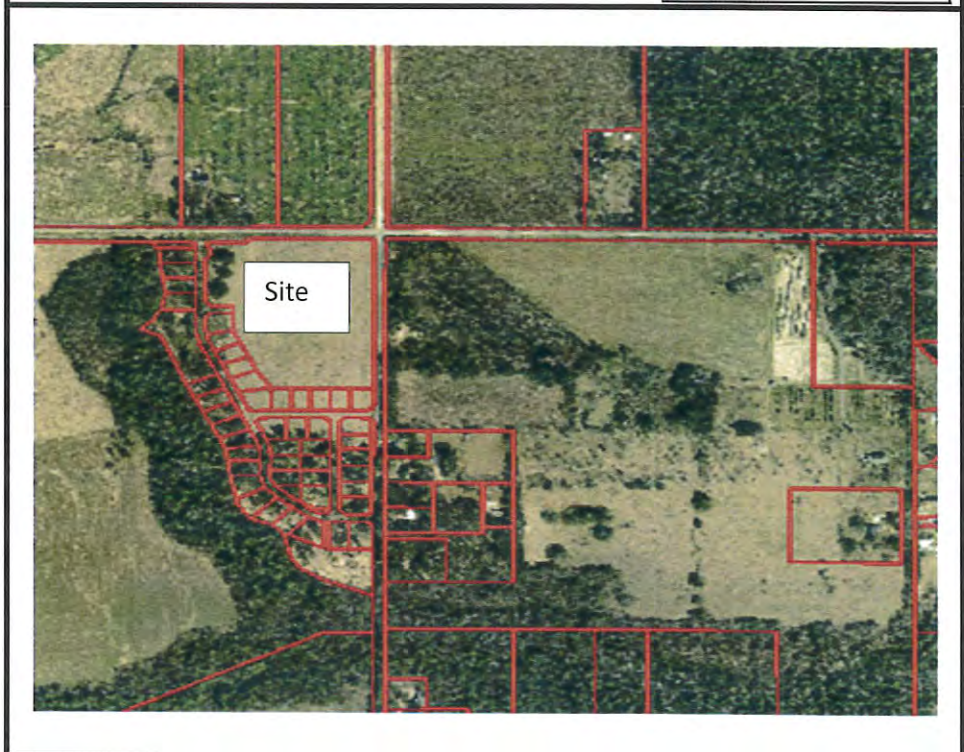
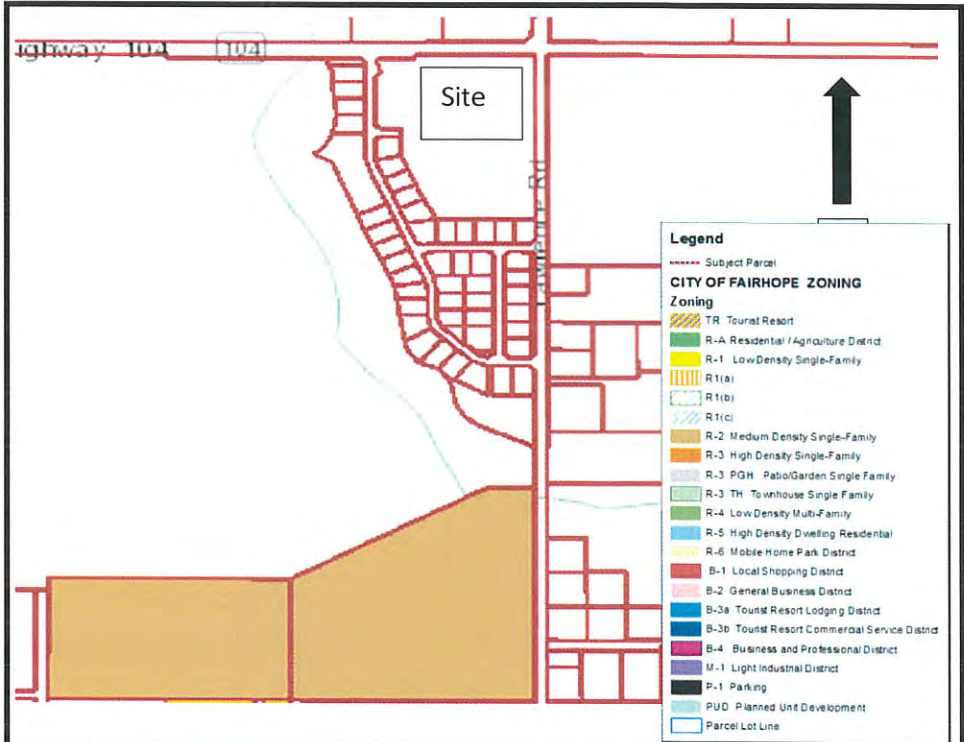
**PPIN Number:** 377688

**Engineer of record:** Jason Estes, PE  
Dewberry

**School District:** Fairhope Elementary, Middle and High Schools

**Report prepared by:** Nancy Milford,  
EIT #6537, CAPZO Certified

**Recommendation:** Approve with Conditions





**Summary of Request:** Public hearing to consider the request of The Verandas, LLC for Final Plat approval of The Verandas, Phase 4, a 32-lot subdivision. The project is located on the southwest corner of the intersection of State Highway 104 and Lawrence Road. The associated investor in this project is Trae Corte. The engineer of record is Mr. Jason Estes, of Dewberry. The total project acreage of Phase 4 is approximately 57.64 acres with largest lot being approximately 23,561 sf and the smallest lot being approximately 14,817 sf in size.

**Site History:**

The original Village Subdivision for The Verandas was reviewed and prepared by Mr. Jonathan Smith, Planning and Zoning Director in October 2016. The drainage and traffic studies were a condition of approval, along with the requirement for sidewalks along Hwy 104 and Lawrence Road. Baldwin County issued a letter that the County does not want sidewalks along Lawrence Road. Also, listed as conditions were “any commercial lots abutting residential lots shall comply with the incompatible land use buffer in the City’s Tree Ordinance” and the Public Works Director and City Horticulturist shall approve the landscape plan and traffic study at the time of preliminary plat.

The applicant chose to construct the phases out of sequence starting with Phase 2, which is to the east of the wetland transecting the overall development. The preliminary plat and final plat for Phase 2 was approved January 3, 2017 and April 2, 2018, respectively. The preliminary plat for Phase 4 was approved on June 3, 2019. Phase 4 is also east of the wetland.

Case	Applicant	Case Type	Subdivision Name	Lots	Location	Zoning	PZ Date	PZ Decision
SD-16-22	Trae Corte / Dewberry	Village Site Plan	The Verandas	214	Outside	unzoned	10/3/2016	Approved
SD-17-03	Dewberry/ Preble-Rish, LLC	Preliminary	The Verandas, Ph 2,3,4	110	Outside	n/a	1/3/2017	Approved
SD-16-37	Dewberry/ Preble-Rish, LLC	Preliminary	The Verandas, Phase 1	66	Outside	n/a	12/5/2016	Approved
SD-18-13	Dewberry/ Preble-Rish	Final	The Verandas, Phase 2	45	Outside	n/a	4/2/2018	Approved
SD-19-28	Dewberry	Final	The Verandas, Phase 4	32	Outside	N/A	6/3/2019	TBD

**Site Photos: The Verandas Phase 4**



View looking north of swale along Lawrence Rd.



View looking south of swale along Lawrence Rd.



**View of Subject Property.**



**View looking southwest**



**View toward the west.**



**View toward the north west.**



**View of poured sidewalk.**



**View looking to the east (Hwy 104 on left).**



Sidewalk poured after final inspection.



Sidewalk in common area along Hwy. 104.

**Comments:**

**Plat (Article IV, Section D.1.b(12):**

Plat/drawings:

The applicant provided the Surveyor’s Certificate on the plat but did not sign the plat. The surveyor shall sign the plat upon submittal.

**Lots (Article V Section E-Lot Standards):** Setbacks appear to be per the preliminary plat.

**Greenspace (Article V.C. 3):** The master plan for this application was approved prior to the current greenspace standards.

**Finished Floor Elevations (Article IV C 1.B (14):** Finished floor elevations have been provided and reviewed by the Building Official, Mr. Erik Cortinas. No comments have been received with regards to the proposed elevations.

**Flood Zones (Article V, Section F.5.e-f):** According to Mr. Erik Cortinas, there are no flood zones identified on the April 15, 2019 Flood Insurance Rate Maps for the subject property.

**Fire Hydrants (Article VI Section G):** Fire hydrants are required at every intersection and every 450 feet. The Water and Sewer Department sent an email commenting that all water and sewer issues were resolved immediately.

**Storm Sewer (Article VI Section E.1-2):** The applicant has not submitted a storm water video for review. Public Works Director, Mr. Richard Johnson, told staff that the sewer video would not be required as the City of Fairhope would not be accepting the road and sewer improvements as the project is in Baldwin County. Baldwin County would be responsible for accepting the infrastructure. Staff requests verification that the videos went to the County. Staff also requests a copy of the videos for our files.

**Drainage (Article V Section F):** The original drainage report for the subdivision was approved at the time of preliminary plat. The Public Works Director, Mr. Richard Johnson, PE, commented in DRC that his staff would not attend the inspection as Baldwin County will be the responsible authority. However, the City of

Fairhope right-of-way inspector did attend the final inspection and had some comments as it related to the City of Fairhope requirements which have been added to the City of Fairhope punch list.

Operations and Maintenance Plan was submitted at the time of preliminary plat. The engineer of record has provided his signature on the document. The applicant shall record the approved Operations and Maintenance Plan at the time of final plat recording.

**Streets (Article V Section D):** The streets in this subdivision are public. Road tests have been reviewed and approved by the Public Works Director. Baldwin County will ultimately be responsible for maintenance of the improvements on the project.

**Sidewalks: (Article V Section D.6):** Sidewalks in front of lots are being addressed with a performance guarantee. The applicant has not provided a subdivision bond at this time. The sidewalks in front of common areas have not been inspected at this time. Review comments by the Building Official of these sidewalks will not be in the final inspection letter comments, as the Building Official said that these sidewalks are the responsibility of Baldwin County.

**Street Trees (Article V Section D 1.b.(4) and Landscaping:** Any street trees and/or landscaping shall meet the requirements of the approved landscape plan. Landscaping in the common areas are not complete at this time.

**Water and Sewer Department:** Mr. Richard Peterson, Director of Operations, has requested the applicant provide the required sanitary sewer video. He also requested clarification from the Planning Commission legal staff to determine if the City can waive the requirement for sewer video since the sewer will not be City of Fairhope infrastructure. The decision from the legal staff is that the video is a subdivision regulation requirement and the applicant would have to submit a written waiver request if they did not want to submit the sanitary sewer video. The Water Department sent an email indicating that all water and sewer issues found at final inspection have been addressed.

**Gas Department:** The applicant is choosing to not have gas in this development; therefore, there is no certificate for the gas department.

**Lighting Plan:** The applicant has submitted a street light invoice and proof of payment.

**Building Official Comments:** Mr. Erik Cortinas, Building Official, had no comments regarding this project. He has told staff that he will inspect the project at the time of building construction for the sidewalks in front of lots. He commented that Baldwin County is responsible for the sidewalks (as they own the right-of-way in this area).

**Final Inspection (Article IV, Section D.4):** The final inspection letter with punch list items was sent on May 13, 2019. Staff is requesting the applicant's representative send staff a copy of the final inspection approval by Baldwin County of the proposed subdivision.

**Maintenance Bond (Article VI Section E 4):** The applicant has submitted the required maintenance bond package including the maintenance agreement, the maintenance bond and the engineer's cost estimate. There are some dates missing from the documents. They shall be corrected and resubmitted.

**Subdivision Bond:** The applicant has not submitted a completed financial guarantee package for performance of the sidewalks and street trees. It was missing the financial guarantee. The applicant shall provide the guarantee.

**Recorded Plats (*Article IV Section D.7*):** All conditions of approval shall be satisfied in a timely manner. At the time of final plat, the applicant shall have all items completed so the Plat may be recorded within a 60-day time frame, per the City of Fairhope Subdivision Regulations.

**Other (*Article IV Section C.18*):** Any applicable outside agency permit shall be obtained.

**Waiver Requests:** An application is required for any waivers to the subdivision regulations as per Article VII of the City of Fairhope Subdivision Regulations. The applicant has provided a written waiver requests regarding the requirement for a sanitary sewer video.

*The subdivision regulations contain the following criteria in Article IV.B.2. Approval Standards.*

***"2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:***

- a. The proposed subdivision is not consistent with the City's Comprehensive Plan, and/or the City's Zoning ordinance, where applicable;***
- b. The proposed subdivision is not consistent with the City's Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;***
- c. The proposed subdivision is not consistent with these Regulations;***
- d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;***  
***or***
- e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City."***

This site is located in the City of Fairhope Planning Jurisdiction. The site is located in the City of Fairhope Permit Jurisdiction and the City of Fairhope Police Jurisdiction. This application is not subject to the City of Fairhope's Zoning Ordinance and the improvements (with the exception of the City of Fairhope Water) will be accepted by Baldwin County. This site appears to be in compliance with applicable City of Fairhope regulations with the exception of the conditions of approval listed below. Staff did not review this application for other agency responsibilities. The applicant is responsible for verifying and addressing any other agency requirements that may apply.

**Recommendation:**

Staff recommends approval contingent upon the following conditions:

1. The applicant shall complete the final punch list (including incomplete landscaping) to the approval of the City of Fairhope Department Heads.
2. Planning Commission approval of the waiver request asking for approval to not submit the sanitary sewer video for the Baldwin County Sewer System or the applicant shall submit the sanitary sewer video.
3. The surveyor shall sign the plat.
4. The applicant's representative shall provide planning staff a copy of the final inspection approval by Baldwin County of the proposed subdivision and storm sewer video.
5. The required completed subdivision bond package shall be provided.
6. Submit a copy of the storm sewer videos for Fairhope files.







# Planning Commission

June 3, 2019

Utility Review

Case: UR 19.15 AT&T

**Project Name:**

AT&T Fiber Optic Installation throughout Fairhope's ROW

**Project Type:**

Utility Review

**Project Scope:**

Install 1932' of Fiber Optic Cable Via Directional bore and overlash 900' of Aerial Fiber Optic Cable

**Jurisdiction:**

City of Fairhope

**Zoning District:**

ROW

**General Location:**

Fairhope Ave to N. School St. to Equality Ave. to N. Bancroft St. to Pine St. to N. Section St.

**Applicant:**

AT&T

**Owner:**

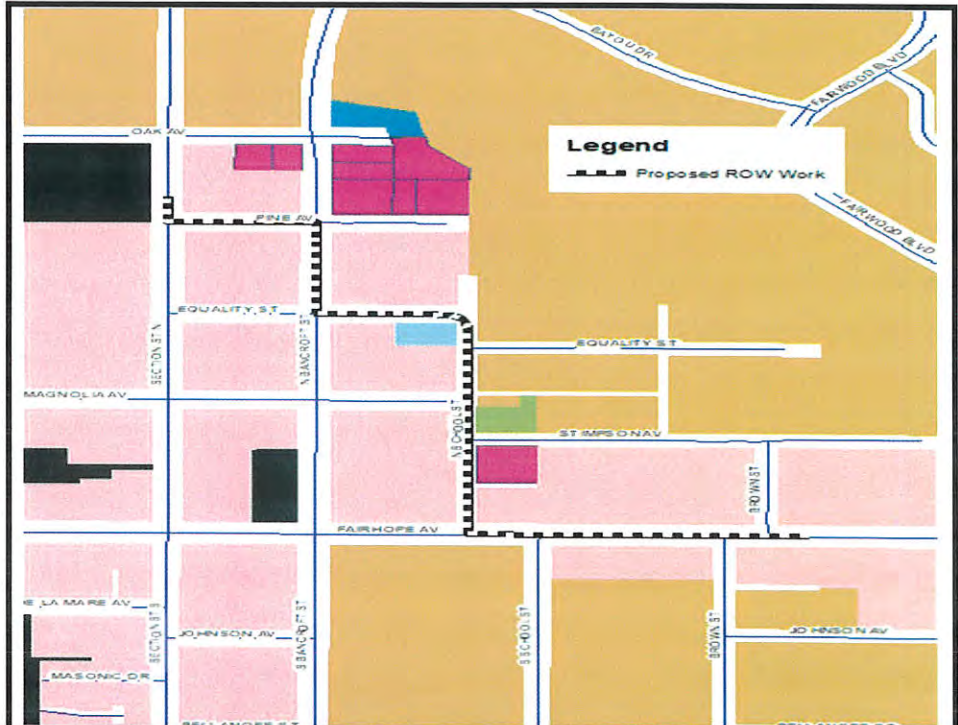
City of Fairhope Right-of-Ways

**Prepared by:**

Mike Jeffries, QCI  
Planning Technician

**Recommendation:**

Approve with Conditions





**Summary of Request:** Request of AT&T for an 11.52.11 Utility Review and approval of the proposed underground installation of approximately 1932 linear feet of fiber optic cable and overlashing of approximately 900' of aerial fiber optic cable to existing copper cable within the City of Fairhope's ROW's. The installation will be a directional bore or aerial where indicated on drawings along Fairhope Ave to N. School St. to Equality Ave. to N. Bancroft St. to Pine St. to N. Section St. The project will require the installation of 3 flush to grade handholes and 2 pedestals as indicated on the drawings provided.

**Comments:**

The proposed utility construction falls within the Corporate limits of Fairhope. The comments below are typical general comments for City of Fairhope right-of-way projects. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the Baldwin County Highway Department or ALDOT.

**GENERAL COMMENTS**

No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

**SUPERINTENDENT AND DEPARTMENT HEAD COMMENTS**

The applicant shall contact Alabama One Call to locate all existing utilities.

**Public Works Standard Comments:**

- Handholes shall not be located within driplines of Heritage Trees (as defined by the Tree Ordinance).
- Any proposed trenching shall not be within the dripline of trees.
- If within a tree dripline, consult with the City of Fairhope Horticulturist before proceeding with earth work.
- Trees shall not be negatively impacted.

The applicant shall provide drawings locating their utilities with other utilities and the sidewalks. Any boxes/handholes cannot be placed in the sidewalk. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate work with Richard D. Johnson, PE, Public Works Director, to resolve any potential conflicts.

All conduit/cable shall be placed at depth from existing grade per industry and/or County Standards. A minimum horizontal and/or vertical clearance (separation) of 36" must be maintained from stormwater and utility infrastructures. No handholes, boxes, or other above ground infrastructure shall be installed within drainage easements. Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency. No grade change shall result from the utility installation. The applicant is to avoid any tree drip lines with handholes and equipment.

The material under the sidewalk shall be compacted and the repair work shall be to the satisfaction of the Building Official or his designated representative. The applicant shall contact the Building Department for inspection prior to placing concrete.

**Code Enforcement Officer's Standard Comments:**

- The applicant, or subcontractor, shall obtain a ROW permit from the City of Fairhope Building Department prior to beginning work.
- Subcontractors shall have a current business license with the City of Fairhope and shall have a copy of the ROW permit available for review at all times, and shall be posted on site or in the window of contractor's vehicles.
- Any ROW cuts shall be stabilized (covered) at the end of each day and disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project.

- Mulch / seed shall only be acceptable as temporary cover.
- Sod shall be watered as needed to ensure survival.
- Inlets shall be protected.
- If site is within 100' of a critical area (wetland, etc.), no red soils/clay are allowed as fill material, per the City's Red Clay/Soil Ordinance.

***Building Official's Standard Comments:***

- BMP's shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- All plans and permits shall be available for review at all times along with the City of Fairhope permit application.
- If required, appropriate ALDOT or Baldwin County Highway Department permits shall be obtained prior to the issuance of a right-of-way (ROW) permit.
- Contractor is advised to review and comply with the Building Official's best practices flyer.

***Water and Sewer Standard Comments:***

- All existing utilities must be located, and proper separation shall be maintained between utilities.
- All mechanical equipment shall be screened by painting the equipment Munsell Green.

***Natural Gas Standard Comments:***

- Contractor shall provide proper separation from the gas main and all other utilities.

The applicant is advised of the following:

- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department or other applicable jurisdiction (permit not valid until paid for and picked up by contractor).
- The ROW permit shall be kept with the contractor or subcontractor at all times during site work. The ROW permit shall be posted on the job site or in the window of contractor(s) vehicle.
- All contractors/subcontractors are subject to City of Fairhope Business License procedures.

This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:

1. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
2. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
3. City of Fairhope Erosion and Sediment Control Ordinance (#1398).

State and Federal permits shall be on file with the City of Fairhope Building Department, prior to the issuance of City of Fairhope permits.

The applicant shall provide as-built profiles of the installed lines, showing the exact depth.

**Recommendation:**

Staff recommends approval of UR 19.15 conditional upon the following:

- 1) The applicant shall follow the general comments related to utility work, as stated above.
- 2) Applicant and applicant's contractor shall follow the *Right of Way Installation Permitting and Work Procedures* document provided by the Building Official.
- 3) A tree is proposed to be trimmed on the south side of Fairhope Ave. to the west of Ace Hardware. Paul Merchant the City's Horticulturalist shall be contacted to oversee the trimming of the tree.



# Planning Commission

June 3, 2019

Utility Review

Case: UR 19.16 AT&T

**Project Name:**

AT&T Fiber Optic Installation throughout Fairhope's ROW

**Project Type:**

Utility Review

**Project Scope:**

Install 636' of Fiber Optic Cable Via Directional bore.

**Jurisdiction:**

City of Fairhope

**Zoning District:**

ROW

**General Location:**

S. Summit St. to St. James Ave. to S. Bayview St.

**Applicant:**

AT&T

**Owner:**

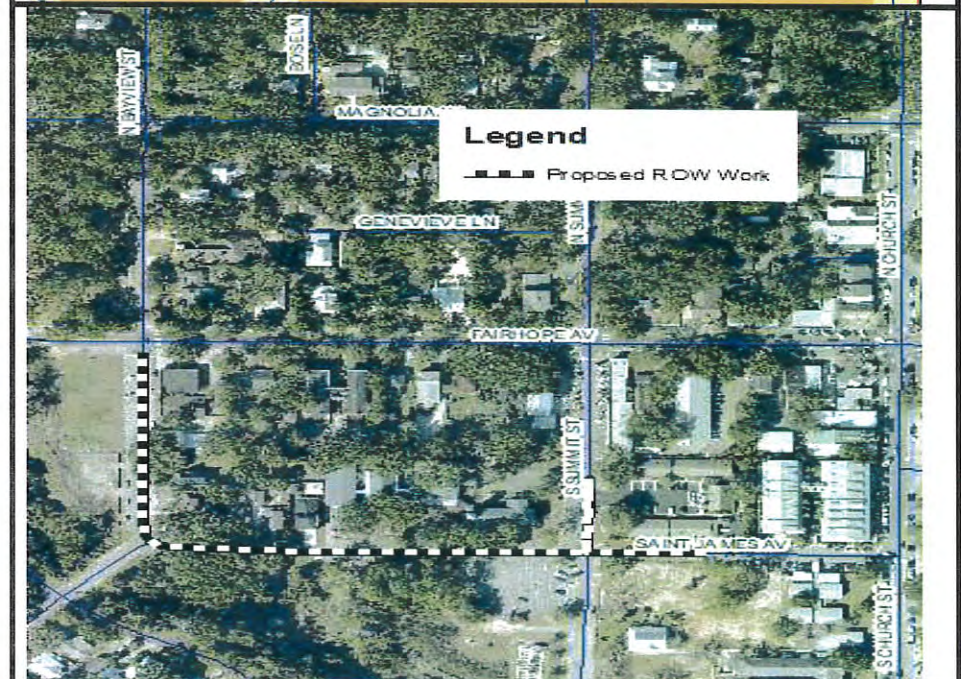
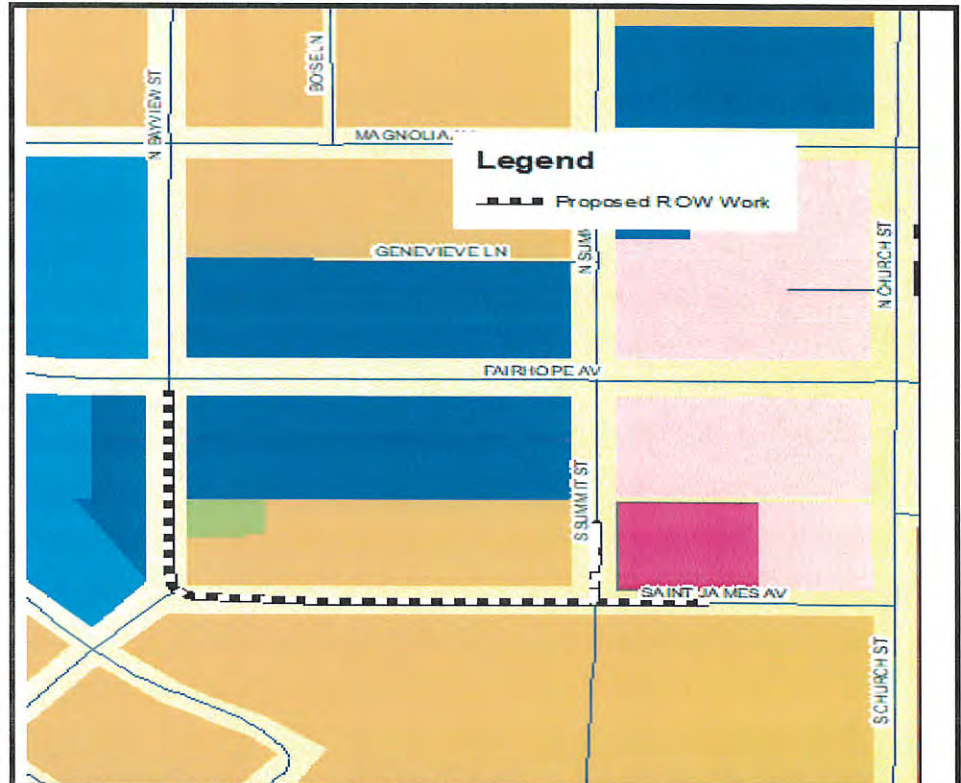
City of Fairhope Right-of-Ways

**Prepared by:**

Mike Jeffries, QCI  
Planning Technician

**Recommendation:**

Approve with Conditions



**Summary of Request:** Request of AT&T for an 11.52.11 Utility Review and approval of the proposed underground installation of approximately 636 linear feet of fiber optic cable and 1.5" HDPE conduit within the City of Fairhope's ROW's. The installation will be a directional bore where indicated on drawings along S. Summit St. to St. James Ave. to S. Bayview St. Not all work is continuous. Some areas of work are only under roads. The project will require the installation of 6 flush to grade handholes as indicated on the drawings provided.

**Comments:**

The proposed utility construction falls within the Corporate limits of Fairhope. The comments below are typical general comments for City of Fairhope right-of-way projects. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the Baldwin County Highway Department or ALDOT.

**GENERAL COMMENTS**

No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

**SUPERINTENDENT AND DEPARTMENT HEAD COMMENTS**

The applicant shall contact Alabama One Call to locate all existing utilities.

**Public Works Standard Comments:**

- Handholes shall not be located within driplines of Heritage Trees (as defined by the Tree Ordinance).
- Any proposed trenching shall not be within the dripline of trees.
- If within a tree dripline, consult with the City of Fairhope Horticulturist before proceeding with earth work.
- Trees shall not be negatively impacted.

The applicant shall provide drawings locating their utilities with other utilities and the sidewalks. Any boxes/handholes cannot be placed in the sidewalk. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate work with Richard D. Johnson, PE, Public Works Director, to resolve any potential conflicts.

All conduit/cable shall be placed at depth from existing grade per industry and/or County Standards. A minimum horizontal and/or vertical clearance (separation) of 36" must be maintained from stormwater and utility infrastructures. No handholes, boxes, or other above ground infrastructure shall be installed within drainage easements. Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency. No grade change shall result from the utility installation. The applicant is to avoid any tree drip lines with handholes and equipment.

The material under the sidewalk shall be compacted and the repair work shall be to the satisfaction of the Building Official or his designated representative. The applicant shall contact the Building Department for inspection prior to placing concrete.

**Code Enforcement Officer's Standard Comments:**

- The applicant, or subcontractor, shall obtain a ROW permit from the City of Fairhope Building Department prior to beginning work.
- Subcontractors shall have a current business license with the City of Fairhope and shall have a copy of the ROW permit available for review at all times, and shall be posted on site or in the window of contractor's vehicles.
- Any ROW cuts shall be stabilized (covered) at the end of each day and disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project.
- Mulch / seed shall only be acceptable as temporary cover.

- Sod shall be watered as needed to ensure survival.
- Inlets shall be protected.
- If site is within 100' of a critical area (wetland, etc.), no red soils/clay are allowed as fill material, per the City's Red Clay/Soil Ordinance.

***Building Official's Standard Comments:***

- BMP's shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- All plans and permits shall be available for review at all times along with the City of Fairhope permit application.
- If required, appropriate ALDOT or Baldwin County Highway Department permits shall be obtained prior to the issuance of a right-of-way (ROW) permit.
- Contractor is advised to review and comply with the Building Official's best practices flyer.

***Water and Sewer Standard Comments:***

- All existing utilities must be located, and proper separation shall be maintained between utilities.
- All mechanical equipment shall be screened by painting the equipment Munsell Green.

***Natural Gas Standard Comments:***

- Contractor shall provide proper separation from the gas main and all other utilities.

The applicant is advised of the following:

- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department or other applicable jurisdiction (permit not valid until paid for and picked up by contractor).
- The ROW permit shall be kept with the contractor or subcontractor at all times during site work. The ROW permit shall be posted on the job site or in the window of contractor(s) vehicle.
- All contractors/subcontractors are subject to City of Fairhope Business License procedures.

This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:

1. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
2. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
3. City of Fairhope Erosion and Sediment Control Ordinance (#1398).

State and Federal permits shall be on file with the City of Fairhope Building Department, prior to the issuance of City of Fairhope permits.

The applicant shall provide as-built profiles of the installed lines, showing the exact depth.

**Recommendation:**

Staff recommends approval of UR 19.15 conditional upon the following:

- 1) The applicant shall follow the general comments related to utility work, as stated above.
- 2) Applicant and applicant's contractor shall follow the *Right of Way Installation Permitting and Work Procedures* document provided by the Building Official.



# Planning Commission

June 3, 2019

Utility Review

Case: UR 19.17 AT&T

**Project Name:**

AT&T Fiber Optic Installation throughout Fairhope's ROW

**Project Type:**

Utility Review

**Project Scope:**

Install 1231' of Copper Communications Cable Via Directional bore.

**Jurisdiction:**

City of Fairhope

**Zoning District:**

ROW

**General Location:**

St. James Ave. to S. Bayview ST.

**Applicant:**

AT&T

**Owner:**

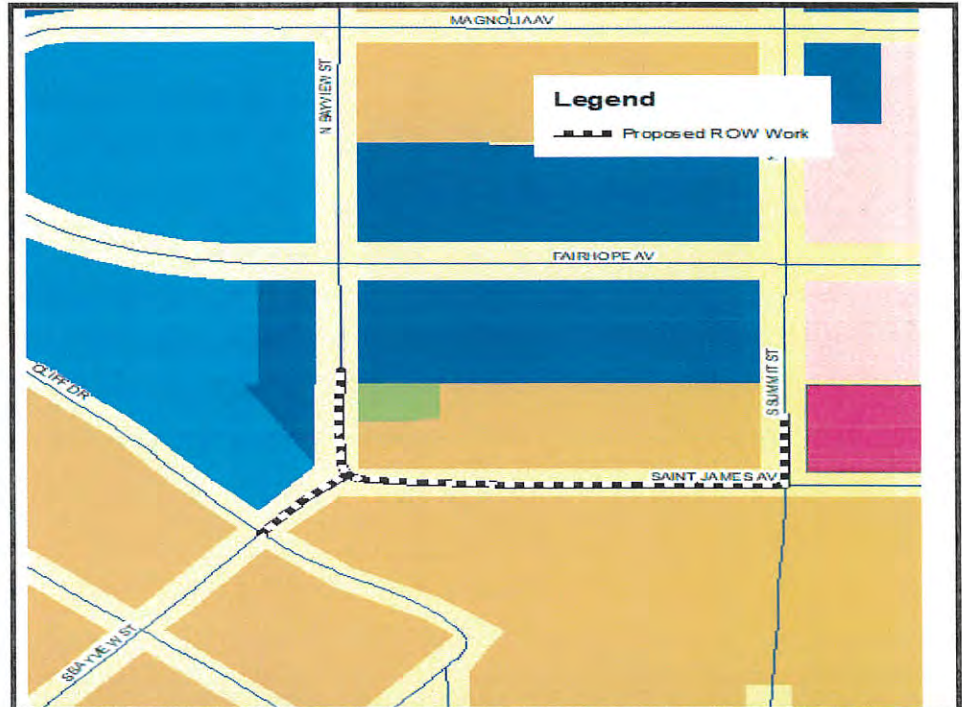
City of Fairhope Right-of-Ways

**Prepared by:**

Mike Jeffries, QCI  
Planning Technician

**Recommendation:**

Approve with Conditions



**Summary of Request:** Request of AT&T for an 11.52.11 Utility Review and approval of the proposed underground installation of approximately 1231 linear feet of copper communications cable and 1.5" HDPE conduit within the City of Fairhope's ROW's. The installation will be a directional bore where indicated on drawings along St. James Ave. to S. Bayview St. The project will require the installation of 4 flush to grade handholes and 2 pedestals as indicated on the drawings provided. Also, this project is the removal of associated aerial facilities for the removal of Fairhope Utility poles.

**Comments:**

The proposed utility construction falls within the Corporate limits of Fairhope. The comments below are typical general comments for City of Fairhope right-of-way projects. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the Baldwin County Highway Department or ALDOT.

**GENERAL COMMENTS**

No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

**SUPERINTENDENT AND DEPARTMENT HEAD COMMENTS**

The applicant shall contact Alabama One Call to locate all existing utilities.

***Public Works Standard Comments:***

- Handholes shall not be located within driplines of Heritage Trees (as defined by the Tree Ordinance).
- Any proposed trenching shall not be within the dripline of trees.
- If within a tree dripline, consult with the City of Fairhope Horticulturist before proceeding with earth work.
- Trees shall not be negatively impacted.

The applicant shall provide drawings locating their utilities with other utilities and the sidewalks. Any boxes/handholes cannot be placed in the sidewalk. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate work with Richard D. Johnson, PE, Public Works Director, to resolve any potential conflicts.

All conduit/cable shall be placed at depth from existing grade per industry and/or County Standards. A minimum horizontal and/or vertical clearance (separation) of 36" must be maintained from stormwater and utility infrastructures. No handholes, boxes, or other above ground infrastructure shall be installed within drainage easements. Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency. No grade change shall result from the utility installation. The applicant is to avoid any tree drip lines with handholes and equipment.

The material under the sidewalk shall be compacted and the repair work shall be to the satisfaction of the Building Official or his designated representative. The applicant shall contact the Building Department for inspection prior to placing concrete.

***Code Enforcement Officer's Standard Comments:***

- The applicant, or subcontractor, shall obtain a ROW permit from the City of Fairhope Building Department prior to beginning work.
- Subcontractors shall have a current business license with the City of Fairhope and shall have a copy of the ROW permit available for review at all times, and shall be posted on site or in the window of contractor's vehicles.
- Any ROW cuts shall be stabilized (covered) at the end of each day and disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project.

- Mulch / seed shall only be acceptable as temporary cover.
- Sod shall be watered as needed to ensure survival.
- Inlets shall be protected.
- If site is within 100' of a critical area (wetland, etc.), no red soils/clay are allowed as fill material, per the City's Red Clay/Soil Ordinance.

***Building Official's Standard Comments:***

- BMP's shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- All plans and permits shall be available for review at all times along with the City of Fairhope permit application.
- If required, appropriate ALDOT or Baldwin County Highway Department permits shall be obtained prior to the issuance of a right-of-way (ROW) permit.
- Contractor is advised to review and comply with the Building Official's best practices flyer.

***Water and Sewer Standard Comments:***

- All existing utilities must be located, and proper separation shall be maintained between utilities.
- All mechanical equipment shall be screened by painting the equipment Munsell Green.

***Natural Gas Standard Comments:***

- Contractor shall provide proper separation from the gas main and all other utilities.

The applicant is advised of the following:

- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department or other applicable jurisdiction (permit not valid until paid for and picked up by contractor).
- The ROW permit shall be kept with the contractor or subcontractor at all times during site work. The ROW permit shall be posted on the job site or in the window of contractor(s) vehicle.
- All contractors/subcontractors are subject to City of Fairhope Business License procedures.

This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:

1. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
2. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
3. City of Fairhope Erosion and Sediment Control Ordinance (#1398).

State and Federal permits shall be on file with the City of Fairhope Building Department, prior to the issuance of City of Fairhope permits.

The applicant shall provide as-built profiles of the installed lines, showing the exact depth.

**Recommendation:**

Staff recommends approval of UR 19.17 conditional upon the following:

- 1) The applicant shall follow the general comments related to utility work, as stated above.
- 2) Applicant and applicant's contractor shall follow the *Right of Way Installation Permitting and Work Procedures* document provided by the Building Official.





# Planning Commission

June 3, 2019

Utility Review

Case: UR 19.18 AT&T

**Project Name:**

AT&T Fiber Optic Installation throughout Fairhope's ROW

**Project Type:**

Utility Review

**Project Scope:**

Install 630' of Fiber Optic Cable Via Directional bore.

**Jurisdiction:**

City of Fairhope

**Zoning District:**

ROW

**General Location:**

Fox Hollow Phase II Subdivision

**Applicant:**

AT&T

**Owner:**

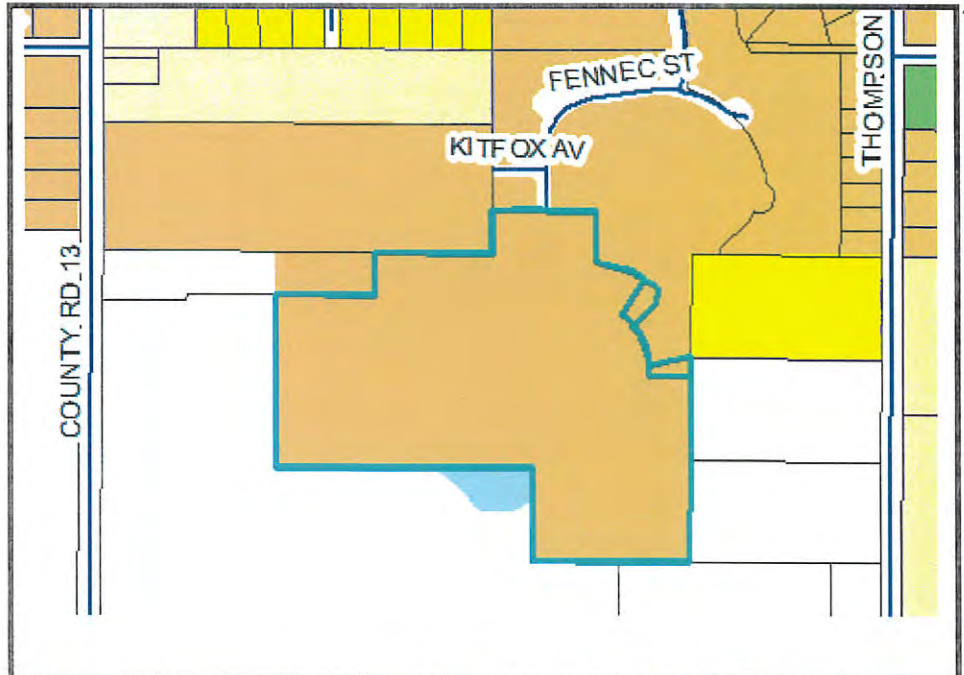
City of Fairhope Right-of-Ways

**Prepared by:**

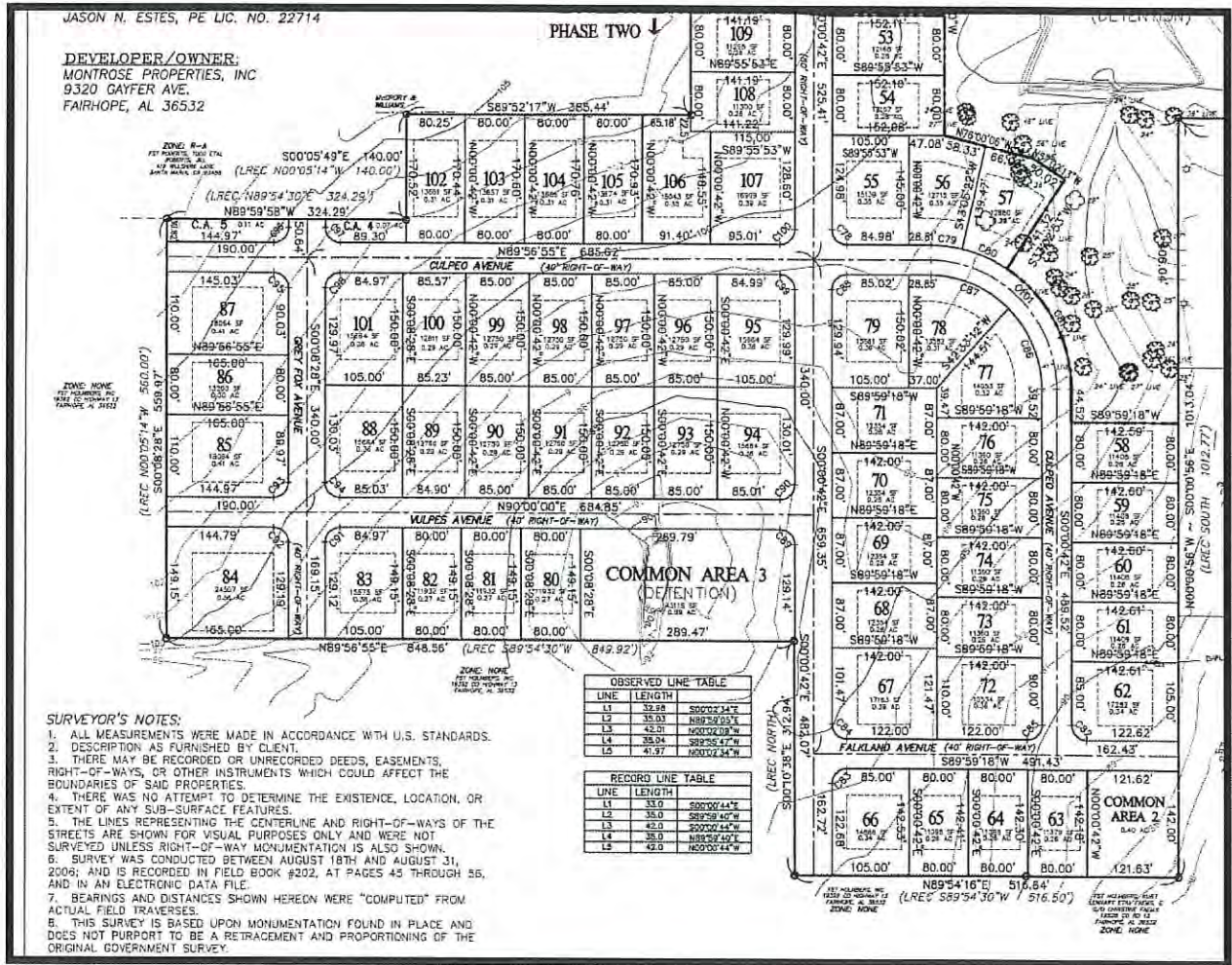
Mike Jeffries, QCI  
Planning Technician

**Recommendation:**

Approve with Conditions



# Fox Hollow Phase Two



**Summary of Request:** Request of AT&T for an 11.52.11 Utility Review and approval of the proposed underground installation of approximately 630 linear feet of fiber optic cable and 1.5" HDPE conduit within the City of Fairhope's ROW's. The installation will be a directional bore where indicated on drawings in the Fox Hollow Phase II Subdivision. The project will require the boring under the road in this new phase of Fox Hollow in various locations as indicated on the drawings provided to provide service.

**Comments:**

The proposed utility construction falls within the Corporate limits of Fairhope. The comments below are typical general comments for City of Fairhope right-of-way projects. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the Baldwin County Highway Department or ALDOT.

**GENERAL COMMENTS**

No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

**SUPERINTENDENT AND DEPARTMENT HEAD COMMENTS**

The applicant shall contact Alabama One Call to locate all existing utilities.

***Public Works Standard Comments:***

- Handholes shall not be located within driplines of Heritage Trees (as defined by the Tree Ordinance).
- Any proposed trenching shall not be within the dripline of trees.
- If within a tree dripline, consult with the City of Fairhope Horticulturist before proceeding with earth work.
- Trees shall not be negatively impacted.

The applicant shall provide drawings locating their utilities with other utilities and the sidewalks. Any boxes/handholes cannot be placed in the sidewalk. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate work with Richard D. Johnson, PE, Public Works Director, to resolve any potential conflicts.

All conduit/cable shall be placed at depth from existing grade per industry and/or County Standards. A minimum horizontal and/or vertical clearance (separation) of 36" must be maintained from stormwater and utility infrastructures. No handholes, boxes, or other above ground infrastructure shall be installed within drainage easements. Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency. No grade change shall result from the utility installation. The applicant is to avoid any tree drip lines with handholes and equipment.

The material under the sidewalk shall be compacted and the repair work shall be to the satisfaction of the Building Official or his designated representative. The applicant shall contact the Building Department for inspection prior to placing concrete.

***Code Enforcement Officer's Standard Comments:***

- The applicant, or subcontractor, shall obtain a ROW permit from the City of Fairhope Building Department prior to beginning work.
- Subcontractors shall have a current business license with the City of Fairhope and shall have a copy of the ROW permit available for review at all times, and shall be posted on site or in the window of contractor's vehicles.
- Any ROW cuts shall be stabilized (covered) at the end of each day and disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project.
- Mulch / seed shall only be acceptable as temporary cover.
- Sod shall be watered as needed to ensure survival.
- Inlets shall be protected.
- If site is within 100' of a critical area (wetland, etc.), no red soils/clay are allowed as fill material, per the City's Red Clay/Soil Ordinance.

***Building Official's Standard Comments:***

- BMP's shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- All plans and permits shall be available for review at all times along with the City of Fairhope permit application.
- If required, appropriate ALDOT or Baldwin County Highway Department permits shall be obtained prior to the issuance of a right-of-way (ROW) permit.
- Contractor is advised to review and comply with the Building Official's best practices flyer.

***Water and Sewer Standard Comments:***

- All existing utilities must be located, and proper separation shall be maintained between utilities.
- All mechanical equipment shall be screened by painting the equipment Munsell Green.